

Development Application

Planning Division
 9220 Kimmer Drive, Lone Tree, CO 80124
 303.708.1818 | www.cityoflonetree.com



CITY OF LONE TREE

Instructions: All sections must be completed and typed or legibly printed. All required attachments must be included. This application does not cover Building Division and Public Works submittal requirements and fees.		
Application Type		For Planning Division Use
Presubmittal	Final Plat	Project Name:
SIP	Re-Plat	Job #
SIP Amendment	Rezoning	Application Fee:
Preliminary Plan	Variance	Check/Transaction #:
Other		Date: Staff Initials:

Project Information	
Project Name:	Project Address: S. Havana Street & Rail Way Lone Tree, CO 80124
State Parcel ID:	Subdivision:
Acreage:	Lot #:
Existing Zoning:	Block #:
Proposed Rezoning:	Filing #:
Project Description (submit additional sheets if necessary):	

Owner and Representative Information	
Property Owner Information	Applicant Information if Different than Owner
Name (Individual or Organization):	Name (Individual or Organization):
Mailing Address: 9878 Schwab Way, Suite 415 Lone Tree, CO 80124	Mailing Address: 2305 W. Berry Ave Littleton, CO 80120
Phone:	Phone:
Email:	Email:

Letter of Authorization

Regarding Development Applications for Land Use Entitlements
(Form must be Filled Out if the Applicant is not the Property Owner)

City of Lone Tree
9220 Kimmer Dr., #100
Lone Tree, CO 80124

Regarding: State Parcel ID #2231-232-01-004 Lot 2-A-4
(Address of property to be developed, if unaddressed, please provide state parcel ID #)

To Whom It May Concern:

I/We, the owner(s) of the above described real property, authorize Rebecca Wilson
(Agency Representative)

of Bryant Flink Architecture & Design to act as an agent on my/our behalf for the purpose of
(Agency Name)

creating, filing and/or managing an application for Site Improvement Plan
(Type of development activity)

The undersigned hereby certifies to being the fee owner(s) or legally authorized representative of the fee owner(s) of the real property described above.

Keith D. Simon, Vice President
(Print Name of Property Owner or Authorized Representative)

[Signature]
(Signature of Property Owner or Authorized Representative)

State of Colorado

County of Douglas

The foregoing instrument was acknowledged before me this 2nd day of October, 2020

by Tamra M. Hirschman
(Print Name of Notary)

[Signature]
(Notary's official signature)

10/03/2021
(Commission expiration date)

NOTARY SEAL

TAMRA M HIRSCHMAN
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20174040957
MY COMMISSION EXPIRES 10/03/2021



CITY OF LONE TREE

Site Improvement Plan Project Narrative & Statement of Design Intent Template

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

303.708.1818 | www.cityoflonetree.com

Project Name RidgeGate Affordable Housing

Project # 1807

Project Location Rail Way & S Havana St.

Date October 23, 2020

Project Narrative

[ARTICLE XXVII - Site Improvement Plan \(SIP\) Project Narrative](#). The SIP process is intended to provide for development that enhances the quality of life in the City by promoting high-quality design and a strong economy, and by fostering a sustainable and healthy community. The SIP process is required to ensure the development will be in conformance with the [Comprehensive Plan](#), the [Design Guidelines](#), applicable chapters of [Municipal Code](#) and applicable [Planned Developments](#) and Sub-Area Plans.

Using this form or a separate page(s), the applicant shall provide a written narrative describing their project. Use the following outline (Sec. 16-27-60) as a guide when formulating your narrative – please disregard sections that do not apply to your project:

1. General information.

- a. Provide the subdivision name, filing number, planning area number when located in a Planned Development, lot and block number or street address and section, township and range if not in a subdivision, and name of project.

RidgeGate Section 14, East Filing No. 1, Second Amendment, Lot 2-A-4.

RidgeGate Affordable Housing

- b. Indicate zoning of the site and the zoning and current uses of adjacent land.

This project is located in the Lone Tree City Center Sub Area Plan, and is zoned mixed-use commuter station district MU-3.

Adjacent uses of land include the RTD Park-n-Ride (parking structure), RidgeGate Station Apartments (multifamily) and Schweiger Ranch (open space)

2. Development impacts. Describe overall impacts of the proposed development on adjacent lands and methods for mitigating those impacts.

The proposed multifamily project is situated on a site with a temporary detention pond for the vicinity. Prior to construction, the temporary pond will be relocated/rebuilt as a permanent detention area east of Havana St. The design team has been actively working with Merrick & Company in order to tie in the site's grading, utilities, and right-of-way with the adjacent lands. Water runoff for the site will be collected/sloped to inlets and piped to the existing storm line in S. Havana St.

As this project is residential with minimal parking, no adverse impacts are expected in terms of noise or traffic. A stop sign and crosswalk is proposed at the project's vehicular driveway for pedestrian safety.

3. Compliance with Intent and Approval Standards. Describe how the development complies with the Intent (Section 16-27-10) and Approval Standards (Subsection 16-27-90(a)) of Municipal Code.

The RidgeGate Affordable Housing project aims to showcase that attainable housing in Lone Tree can be as high-quality in design as any market-rate housing project. Through pedestrian connections at the streetscape, attractive dwelling units, and high-quality exteriors, the project will integrate into the RidgeGate community, but provide the needed economic diversity to foster a healthy neighborhood.

The project complies with the Comprehensive Plan, Design Guidelines, and the Lone Tree City Center subarea plan through use, massing, parking requirements, materiality, etc - as well as as complying with all applicable roadway, grading, drainage and erosion control standards per the Approval Standards. Reference the SIP plan set and Civil Construction Document for specific compliances.

4. Development phasing. Describe the proposed development schedule and phases of development for all proposed construction.

The proposed development is currently in design phases, and is expected to be submitted for Building Permits before the end of 2020. Construction is expected to start mid to end of March 2021, with a construction duration of 14 months. The project is not expected to be phased. Building opening is expected July 1, 2022.

5. Other project data.

- a. Total number of employees on maximum shift when known (for parking purposes).

2 employees

- b. Square footage of building.

90,688 SF

- c. Lot area.

1.819 acres

- d. Anticipated opening date.

July 1, 2022

6. Sustainability. Highlight ways in which the project furthers the City's environmental goals regarding sustainability. This may include a general description of the project location relative to other uses, public transit and trails; ease of travel to key destinations on foot or bicycle; water conservation and water quality measures; site layout; green building practices; or operational aspects of the use such as waste reduction, recycling or commuter trip reduction programs.

RidgeGate Affordable Housing is located directly adjacent to the RTD RidgeGate Parkway Station for the E, F and R Line, giving the project premium access to public transportation. Additionally, the project houses a large bicycle storage room for ease to vehicle-less transportation. The project is also located within walking distance to open space and trails (Schweiger Ranch and proposed South Greenway Vista Park, among other local parks).

Furthermore, the project will comply with Enterprise Green Community (EGC) sustainability provisions. The EGC checklist includes mandatory measures for being a low-impact development; installing energy efficient appliances, fans, plumbing fixtures and HVAC systems; requirements for a cool roof; requirements for native planting, among other criteria.

7. Variances if applicable. For those SIPs for which a variance from the standards in this Chapter, the Design Guidelines or Sub-Area Plans is requested, the narrative shall also explain the need for the variance. (Public notice may be required, see Section 16-26-60).

No variances from Lone Tree City Center subarea plan requested.

Statement of Design Intent

Please describe how the project meets the intent of the [City of Lone Tree Design Guidelines](#), including the city's Core Design Principles (p. 11). If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well.

Please use the outline below as a guide in formulating your response. You may also use this opportunity describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

1. Overall Design Concept. Briefly describe the use and overall concept for the project as a whole.

The overall concept of RidgeGate is to provide an inviting, high-quality, and functional home to those who might be otherwise priced out of market-rate units in the Denver Metro area. Keeping an exterior "residential feel" to the project was very important to the design team. This is accomplished in a few ways. First, at the vertical brick volumes with walk-up stoops along Rail Way - a nod to traditional rowhome architecture. Second, at the east side with a similar vertical rhythm the massing is broken up and individualized. The fifth floor also steps back on the east to further alleviate any visual bulk mass and added height.

In line with the City Center Subarea's encouragement for "active ground floors" in the MU-3 district, the RidgeGate Affordable Housing strives to create a vibrant and engaging pedestrian experience along Rail Way. This is accomplished through the raised planters and walk-up unit stoops, the Community Room patio for gathering and BBQs, and the high-quality materials selected for this pedestrian interface (brick, cedar soffiting, storefront, ground-face CMU, etc)

Including functional, welcoming interiors also aligns with the design goals of the project. The Community Room will feature a large gathering patio with BBQ, a modern kitchen, TV and lounge area, and a foosball table. Unit interiors are contemporary and open plan. All the modern comforts of market rate apartments, such as in-unit washer and dryers, are provided in each unit.

2. Context and Site. Describe how the project relates functionally and visually to the context of the surrounding area. Consider issues of form and character, the natural environment, vehicular and pedestrian access and circulation, etc.

The RidgeGate Affordable Housing project relates directly to the function of buildings immediately adjacent. Similar to the RidgeGate Station Apartments, RidgeGate Affordable Housing will also be a multifamily development - so the residential function/use of this project is appropriate to the area. Also in line with the apartment building to the north, RidgeGate Affordable housing will be of similar height and contemporary style. The right-of-way and pedestrian/public realm has been designed with cues taken from RideGate Station Apartments.

This project also ties into the RTD parking structure and rail station across the street on Rail Way. Tenants in RidgeGate Affordable Housing are expected to rely heavily on the rail station for commuting. This project is also of similar height to the RTD parking structure

3. Public Realm. Describe how the project contributes to an inviting, safe and functional public realm. Consider public spaces, street/sidewalk – level experience, lighting, landscaping, and signage.

The pedestrian experience of the project was carefully considered. The Community Room and building entry are centrally located along Rail Way and feature full storefront glazing for transparency and light. Additionally these areas are proposed to have real cedar soffits with recessed lighting which will further highlight the main pedestrian entry and activate the streetscape.

A monument sign is proposed at the corner of Rail Way and S. Havana Street, surrounded with landscape and landscape lighting to establish the project's prominence at the pedestrian realm.

4. Architectural Design. Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a unified, functional and high-quality design. Consider building form and composition, façade composition and articulation, and materials, colors, and lighting.

One of the biggest architectural goals for the RidgeGate Affordable Housing project was to include high-quality materials and forms to articulate a distinctly residential feel, despite the height of the building. On the west elevation, the units undulate along Rail Way creating a "townhome or rowhome" appearance. These vertical stacks are clad in brick as traditional rowhomes are - but with the use of light gray/sand bricks (instead of traditional red or brown) to reflect the unique color tones of local geology.

The height of the building is also broken up on the east elevation with a fifth-floor step-back, thereby reducing the massing appearance. Views from Havana St., which is located lower than the site, were also taken into account on this elevation. The underside of the parking garage has been considered in terms of lighting and ceiling treatment.

Street activation was also an important goal of the project, and tying into the Guiding Principles of the City Center subarea plan. Each "rowhome" along Rail Way has a stoop/patio and planter at ground level, reflecting a walk-up style neighborhood. The Community Room is also located on the ground level at the northwest corner with full storefront and a patio.

Applicant/Preparer Contact Information

Name: *Rebecca Wilson*

Business: *Bryant Flink Architecture & Design*

Address: *2305 West Berry Avenue
Littleton, CO 80120*

Phone: *(720) 638-9921*

Email: *rwilson@bryantflink.com*

Owner Contact Information if Different from Applicant

Name: *Keith Simon, Vice President*

Business: *Coventry Development Corporation*

Address: *9878 Schwab Way, Suite 415
Lone Tree, CO 80124*

Phone: *(720) 279 - 2581*

Email: *ksimon@coventrydevelopment.com*

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R

APPROVAL CERTIFICATE

THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON _____ (Date).

By: _____ (Printed Name)
 _____ (Signature) _____ (Date)
 Title: Community Development Director

By: _____ (Printed Name)
 _____ (Signature) _____ (Date)
 Title: Director of Public Works

By: _____ (Printed Name)
 _____ (Signature) _____ (Date)
 Title: Mayor

The owner(s) of the lands described herein, hereby agree(s) (1) to develop and maintain the property described herein in accordance with this approved Site Improvement Plan and in compliance with Chapter 16 of the Lone Tree Municipal Code and that (2) the heirs, successors and assigns of the owner(s) shall also be bound. The signatures of the owner(s)'s representative(s) below indicate that any required authorizations to enter this agreement, including any corporate authorizations, have been obtained.

(Name of Owner)

 (Signature of Owner)

 (Printed Name and Title)

 State of _____)
) ss.
 County of _____)
 Subscribed and sworn to before me this _____ day of _____, 20____, by _____

Witness my hand and official seal.
 My commission expires _____ / _____ / _____

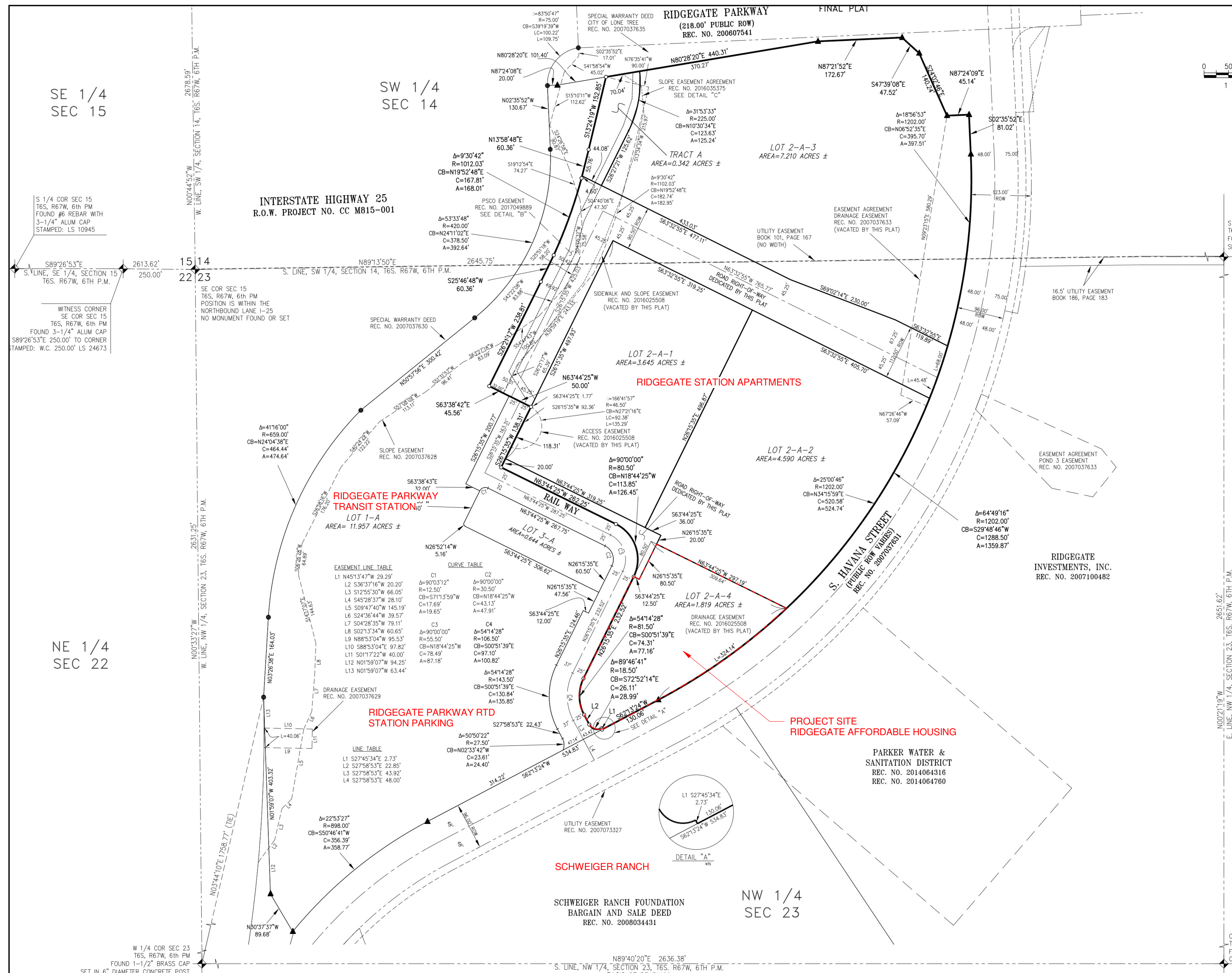
Notary Public

SIP NOTES

- The property herein subject to all applicable requirements of the Lone Tree Zoning Code, including, but not limited to, maintenance, lighting, parking, signage, and outdoor storage, except as may otherwise be addressed in an approved Development Plan or Sub-Area Plan.
- The applicant assumes responsibility to ensure the project is completed in accordance with the approved SIP and any associated materials sample boards and further assumes the risk associated with any changes or omissions made without prior City approval. Modifications to structures or sites may require an amendment to the SIP as determined by the Director. Unauthorizes changes or omissions may result in corrective actions, delay of permits or citations for zoning violations with associated fines and legal measures. Building plans shall conform to the approved SIP.
- All present and future owners and occupants of land hereby subdivided or subject to a Site Improvement Plan are hereby notified that the Property is located within proximity to Centennial Airport and is subject to the terms of that certain Aviation Notice recorded at Reception No. 2020016189 on March 4, 2020 in the records of the Douglas County Clerk and Recorder. Proximity to Centennial Airport may have any number of impacts on the Property occupants, the Property, and the development, improvement, use, enjoyment or occupancy of the Property, including without limitation odors, aircraft noise, vibration, fumes, fuel particles, exhaust, and the operation and passage of aircraft above or near the Property. Individual sensitivities to the potential Centennial Airport impacts can vary from person to person, and potential airport impacts can vary from location to location with the Property and from time to time. Records and information concerning Centennial Airport and potential airport impacts are publicly available through various federal, state, and local governmental agencies, including Centennial Airport. All present and future owners and occupants are solely responsible for evaluating and determining whether the airport impacts, if any, are acceptable to them.

The City of Lone Tree requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owner shall be responsible for the maintenance of all drainage facilities, including inlets, pipes, culverts, channels, ditches, hydraulic structures and detention basins located on their land unless modified by the subdivider's agreement. Should the owner fail to adequately maintain said facilities, the City of Lone Tree shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs will be assessed to the property owner.

The owner/developer is responsible for installation of all roadway signage, including no parking/fire lane signage, as required by the City Public Works Department and Fire District.



VICINITY MAP

SHEET INDEX	
SHEET NUMBER	SHEET NAME
1.0	COVER SHEET
2.1	SITE PLAN (LOWER)
2.2	SITE PLAN (UPPER)
3.0	LANDSCAPE PLAN
3.1	LANDSCAPE NOTES AND DETAILS
3.2	LANDSCAPE DETAILS
4.0	IRRIGATION PLAN
4.1	IRRIGATION NOTES AND DETAILS
4.2	IRRIGATION DETAILS
5.1	GRADING PLAN (LOWER)
5.2	GRADING PLAN (UPPER)
6.0	UTILITY PLAN
7.0	SITE FURNISHINGS DETAILS
8.0	LIGHTING/PHOTOMETRIC PLAN
8.1	LIGHTING DETAILS
9.0	BUILDING ELEVATIONS
9.1	BUILDING ELEVATIONS
9.2	DETAILS
10.0	RENDERINGS
10.1	RENDERINGS
10.2	PHOTO SIMULATION
10.3	MATERIALS BOARD

B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120

(303) 209-0073

www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
1	11/23/20	SIP SUBMITTAL #2

RIDGEGATE AFFORDABLE HOUSING

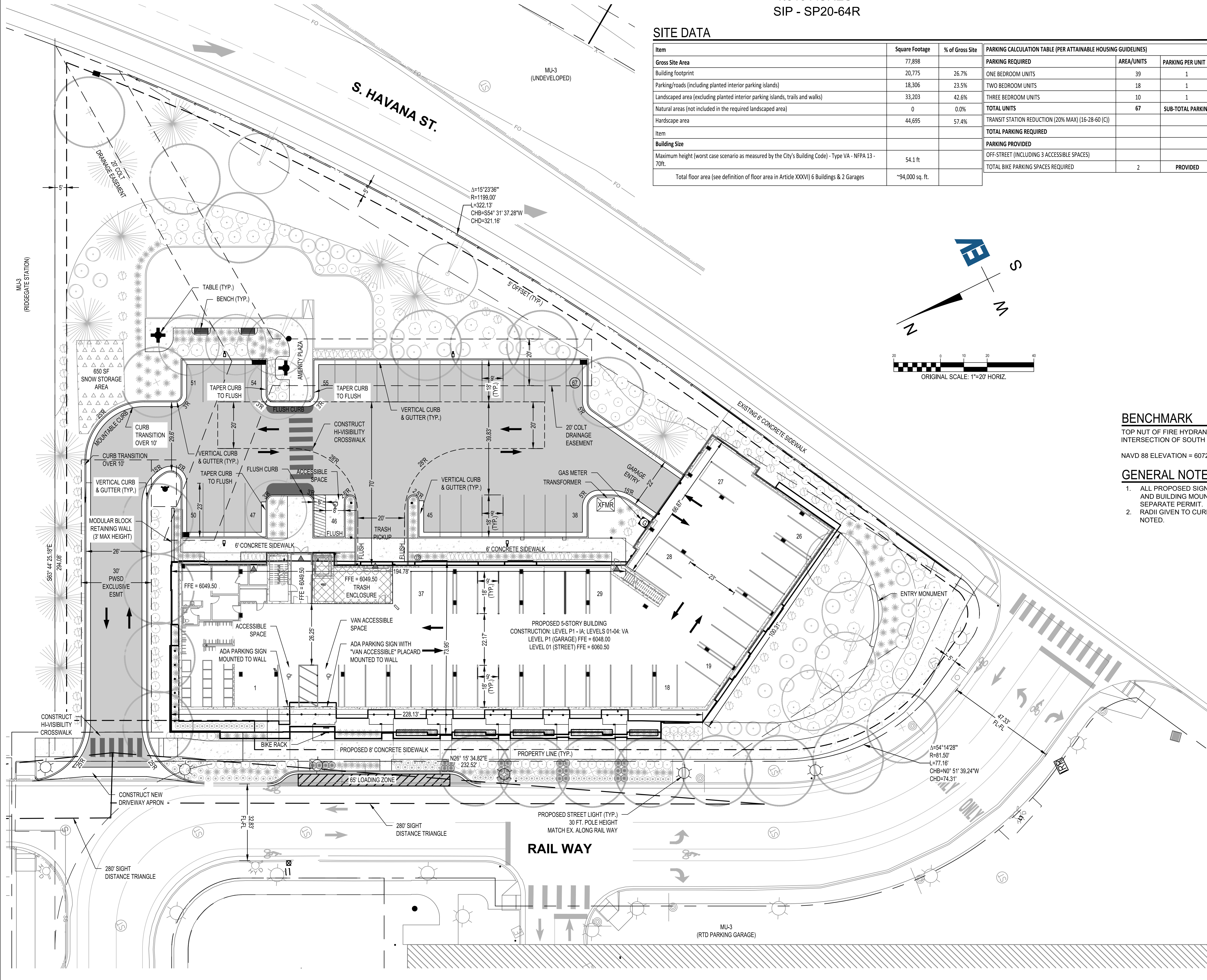
RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R

SITE DATA

Item	Square Footage	% of Gross Site	PARKING CALCULATION TABLE (PER ATTAINABLE HOUSING GUIDELINES)			
Gross Site Area	77,898					
Building footprint	20,775	26.7%	PARKING REQUIRED	AREA/UNITS	PARKING PER UNIT	TOTAL
Parking/roads (including planted interior parking islands)	18,306	23.5%	ONE BEDROOM UNITS	39	1	39
Landscaped area (excluding planted interior parking islands, trails and walks)	33,203	42.6%	TWO BEDROOM UNITS	18	1	18
Natural areas (not included in the required landscaped area)	0	0.0%	THREE BEDROOM UNITS	10	1	10
Hardscape area	44,695	57.4%	TOTAL UNITS	67	SUB-TOTAL PARKING	67
Item			TRANSIT STATION REDUCTION (20% MAX) (16-28-60 (C))			13
Building Size			TOTAL PARKING REQUIRED			54
Maximum height (worst case scenario as measured by the City's Building Code) - Type VA - NPPA 13 - 70ft.	54.1 ft		PARKING PROVIDED			67
Total floor area (see definition of floor area in Article XXXVII) 6 Buildings & 2 Garages	~94,000 sq. ft.		OFF-STREET (INCLUDING 3 ACCESSIBLE SPACES)			67
			TOTAL BIKE PARKING SPACES REQUIRED	2	PROVIDED	4

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	ASPHALT
[Symbol]	[Symbol]	CONCRETE
[Symbol]	[Symbol]	LOADING ZONE
[Symbol]	[Symbol]	SNOW STORAGE
[Symbol]	[Symbol]	TRASH ENCLOSURE (INTERNAL)
[Symbol]	[Symbol]	TOP OF CURB
[Symbol]	[Symbol]	FLOWLINE
[Symbol]	[Symbol]	EDGE OF ASPHALT
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	LOT LINE
[Symbol]	[Symbol]	EASEMENT LINE
[Symbol]	[Symbol]	RIGHT OF WAY (R.O.W.) LINE
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL / BOX
[Symbol]	[Symbol]	EXTERIOR LIGHTING
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	EXIT DOOR LOCATION
[Symbol]	[Symbol]	TRASH RECEPTACLE
[Symbol]	[Symbol]	TRAFFIC CONTROL SIGN
[Symbol]	[Symbol]	TRAFFIC DIRECTION ARROW
[Symbol]	[Symbol]	ELECTRICAL EQUIPMENT / TRANSFORMER



BENCHMARK

TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTHWEST INTERSECTION OF SOUTH HAVANA STREET AND RAIL WAY.

NAVD 88 ELEVATION = 6072.07 sFT

GENERAL NOTES

- ALL PROPOSED SIGNS, FREE STANDING MONUMENTS, AND BUILDING MOUNTED SIGNS WILL REQUIRE A SEPARATE PERMIT.
- RADII GIVEN TO CURB FACE UNLESS OTHERWISE NOTED.

BASIS OF BEARING

BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, AS BEARING N89°40'20"E BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 23, BEING A FOUND 1-1/2" BRASS CAP, SET IN A 6" DIAMETER CONCRETE POST AND THE CENTER QUARTER CORNER OF SAID SECTION 23 BEING FOUND 6" X 10" STONE WITH A CHISELED + ON THE TOP.

FLOODPLAIN CERTIFICATION

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN OR 500-YEAR FLOODPLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08035C0063H FOR DOUGLAS COUNTY, COMMUNITY PANEL NUMBER 0063H, MAP DATED SEPTEMBER 09/04/2020.

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

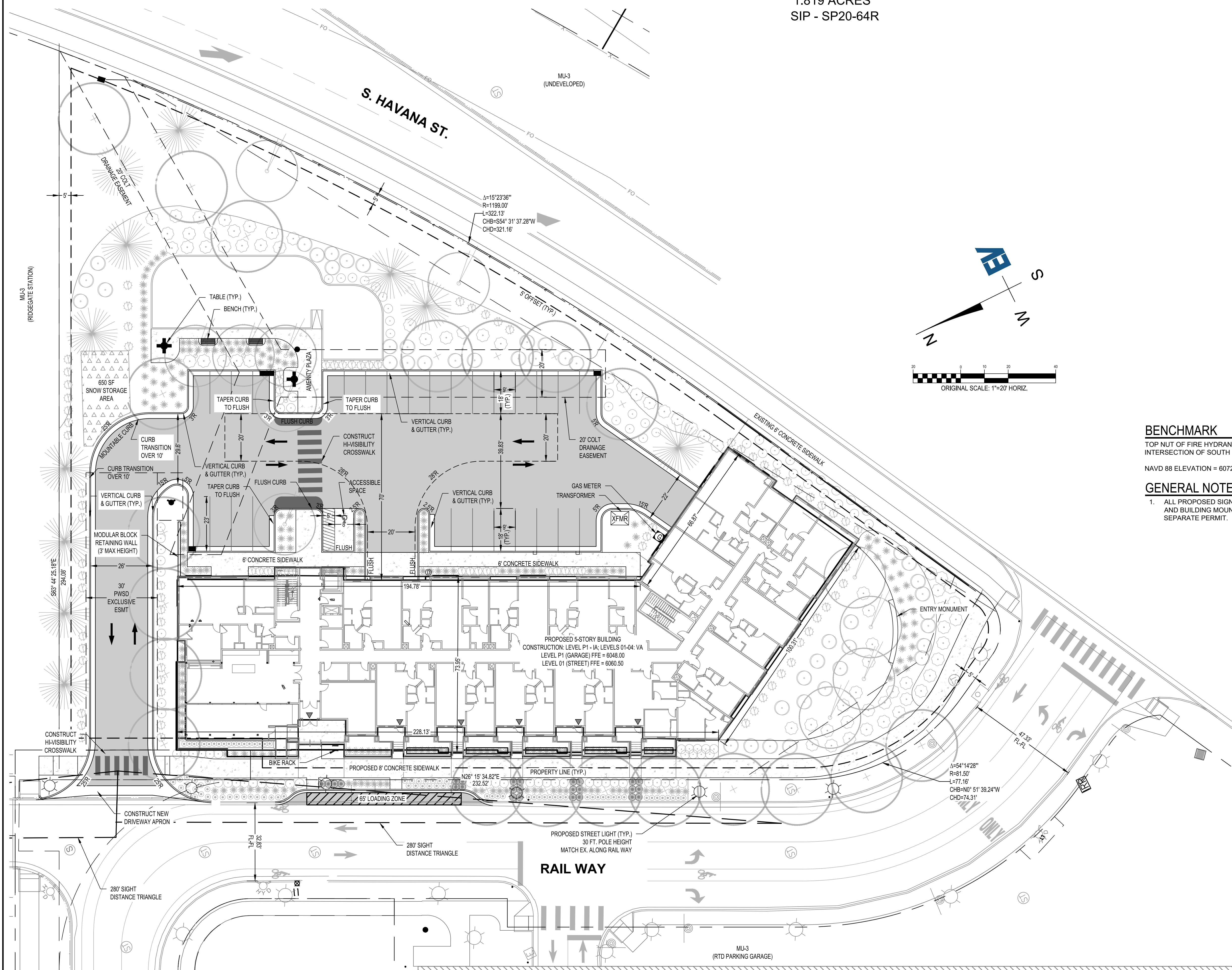
PREPARATION DATE:		10/23/2020
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Pattern]	[Pattern]	ASPHALT
[Pattern]	[Pattern]	CONCRETE
[Pattern]	[Pattern]	LOADING ZONE
[Pattern]	[Pattern]	SNOW STORAGE
[Pattern]	[Pattern]	TRASH ENCLOSURE (INTERNAL)
[Line]	[Line]	TOP OF CURB
[Line]	[Line]	FLOWLINE
[Line]	[Line]	EDGE OF ASPHALT
[Line]	[Line]	PROPERTY LINE
[Line]	[Line]	LOT LINE
[Line]	[Line]	EASEMENT LINE
[Line]	[Line]	RIGHT OF WAY (R.O.W.) LINE
[Symbol]	[Symbol]	STORM SEWER MANHOLE
[Symbol]	[Symbol]	STORM SEWER INLET
[Symbol]	[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	[Symbol]	WATER VALVE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	ELECTRICAL BOX
[Symbol]	[Symbol]	GAS METER
[Symbol]	[Symbol]	TELEPHONE PEDESTAL / BOX
[Symbol]	[Symbol]	EXTERIOR LIGHTING
[Symbol]	[Symbol]	ADA PARKING SYMBOL
[Symbol]	[Symbol]	EXIT DOOR LOCATION
[Symbol]	[Symbol]	TRASH RECEPTACLE
[Symbol]	[Symbol]	TRAFFIC CONTROL SIGN
[Symbol]	[Symbol]	TRAFFIC DIRECTION ARROW
[Symbol]	[Symbol]	ELECTRICAL EQUIPMENT / TRANSFORMER



BENCHMARK
 TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTHWEST INTERSECTION OF SOUTH HAVANA STREET AND RAIL WAY.
 NAVD 88 ELEVATION = 6072.07 sFT

GENERAL NOTES
 1. ALL PROPOSED SIGNS, FREE STANDING MONUMENTS, AND BUILDING MOUNTED SIGNS WILL REQUIRE A SEPARATE PERMIT.

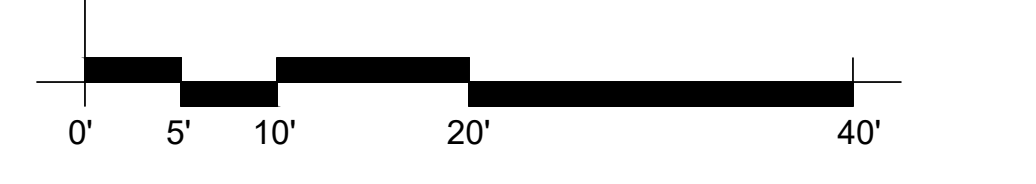
BASIS OF BEARING
 BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, AS BEARING N89°40'20"E BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 23, BEING A FOUND 1-1/2" BRASS CAP, SET IN A 6" DIAMETER CONCRETE POST AND THE CENTER QUARTER CORNER OF SAID SECTION 23 BEING FOUND 6" X 10" STONE WITH A CHISELED + ON THE TOP.

FLOODPLAIN CERTIFICATION
 THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN OR 500-YEAR FLOODPLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08035C0063H FOR DOUGLAS COUNTY, COMMUNITY PANEL NUMBER 0063H, MAP DATED SEPTEMBER 09/04/2020.

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:		10/23/2020
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R

LEGEND

DECIDUOUS TREES (Circle with cross)

ORNAMENTAL TREES (Circle with dot)

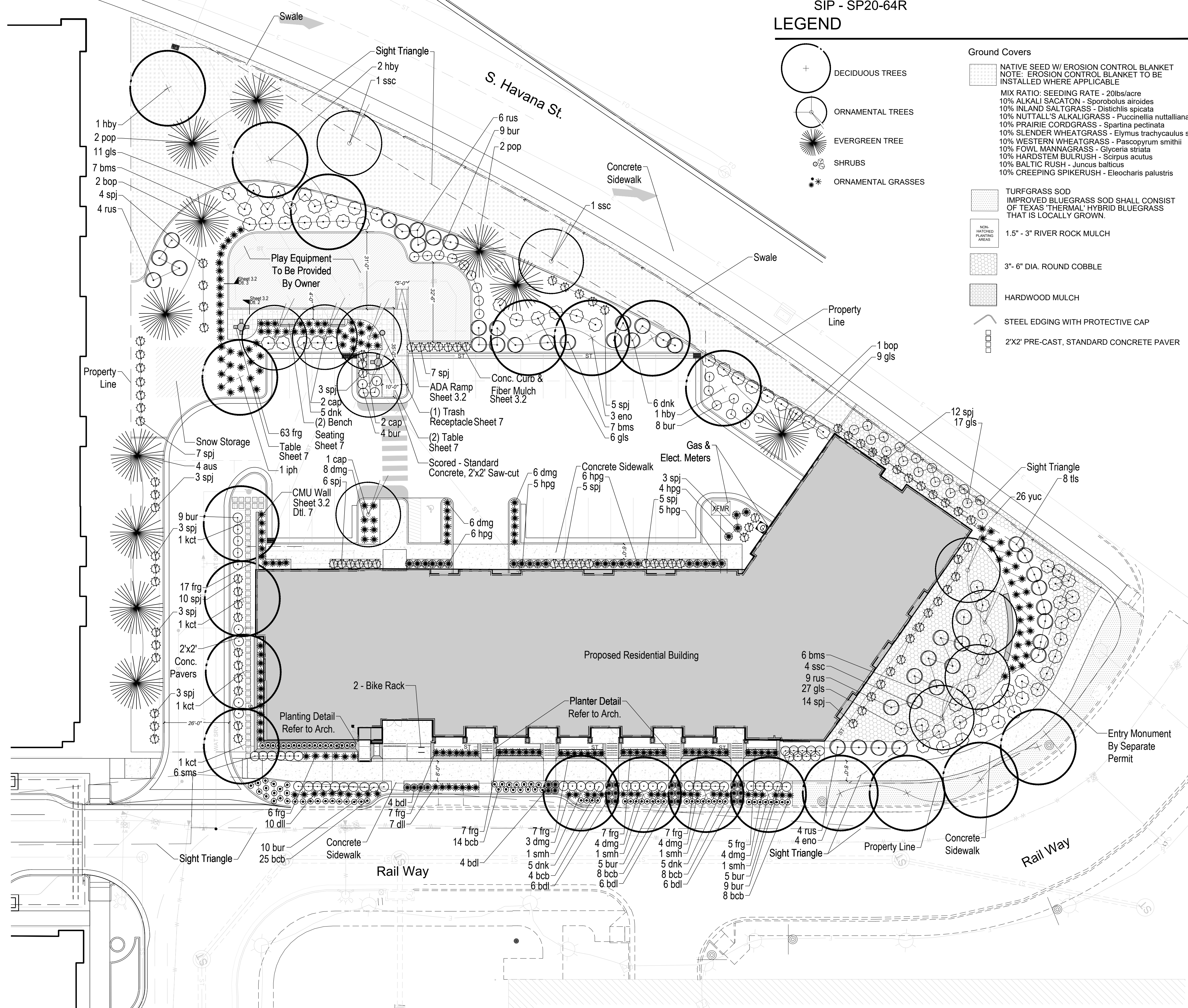
EVERGREEN TREE (Starburst)

SHRUBS (Circle with horizontal lines)

ORNAMENTAL GRASSES (Starburst with dots)

Ground Covers

- NATIVE SEED W/ EROSION CONTROL BLANKET
NOTE: EROSION CONTROL BLANKET TO BE INSTALLED WHERE APPLICABLE
- MIX RATIO: SEEDING RATE - 20lbs/acre
 10% ALKALI SACATON - Sporobolus airoides
 10% INLAND SALTGRASS - Distichlis spicata
 10% NUTTALL'S ALKALIGRASS - Puccinellia nuttalliana
 10% PRAIRIE CORDGRASS - Spartina pectinata
 10% SLENDER WHEATGRASS - Elymus trachycaulus spp.
 10% WESTERN WHEATGRASS - Pascopyrum smithii
 10% FOWL MANNAGRASS - Glycyrrhiza striata
 10% HARDSTEM BULRUSH - Scirpus acutus
 10% BALTIC RUSH - Juncus balticus
 10% CREEPING SPIKERUSH - Eleocharis palustris
- TURFGRASS SOD
IMPROVED BLUEGRASS SOD SHALL CONSIST OF TEXAS 'THERMAL' HYBRID BLUEGRASS THAT IS LOCALLY GROWN.
- NON-HARDWOOD PLANTING AREAS
- 1.5" - 3" RIVER ROCK MULCH
- 3" - 6" DIA. ROUND COBBLE
- HARDWOOD MULCH
- STEEL EDGING WITH PROTECTIVE CAP
- 2'X2' PRE-CAST, STANDARD CONCRETE PAVER



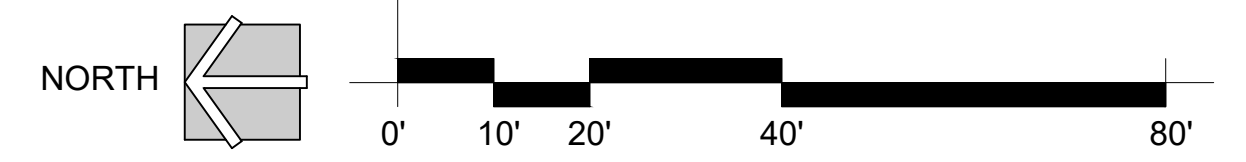
PLANT SCHEDULE

QUAN.	SYM.	COMMON/BOTANICAL NAME	INSTALLED SIZE	COND.	NATIVE	WATER NEEDS
DECIDUOUS TREES						
6	kct	KENTUCKY COFFEE TREE Gymnocladus dioicus	2" CAL. SINGLE TRUNK	B & B	NO	XERIC
4	smh	SHADEMASTER HONEYLOCUST Gleditsia triacanthos 'Shademaster'	2" CAL. SINGLE TRUNK	B & B	NO	XERIC
4	hby	COMMON HACKBERRY Celtis Occidentalis	2" CAL. SINGLE TRUNK	B & B	NO	XERIC
7	eno	ENGLISH OAK Quercus robur	2" CAL. SINGLE TRUNK	B & B	NO	XERIC
ORNAMENTAL TREES						
5	cap	CALLERY PEAR Pyrus calleryana	2" CAL. SINGLE TRUNK	B & B	NO	LOW - MODERATE
6	ssc	PRAIRIE FIRE CRABAPPLE Malus sp. 'Prairie Fire'	2" CAL. SINGLE TRUNK	B & B	YES	LOW
EVERGREEN TREES						
4	pop	PONDEROSA PINE Pinus ponderosa	6' HT.	B & B	YES	XERIC
4	aus	AUSTRIAN PINE Pinus nigra	6' HT.	B & B	NO	LOW - MODERATE
3	bop	PINYON PINE Pinus cembroides var. edulis	6' HT.	B & B	NO	XERIC
DECIDUOUS SHRUBS						
8	tls	THREE LEAF SUMAC Rhus trilobata	5 GAL.	CONT.	YES	XERIC
23	rus	RUSSIAN SAGE Perovskia arcticifolia	5 GAL.	CONT.	NO	XERIC
60	bur	BURNING BUSH 'Dwarf Nana' Eounymus alata 'Dwarf Nana'	5 GAL.	CONT.	NO	LOW-MODERATE
21	dnk	SUMMERWINE NINEBARK Physocarpus opulifolius 'Nana'	5 GAL.	CONT.	YES	LOW
20	bms	BLUE MIST SPIREA Caryopteris x clandonensis	5 GAL.	CONT.	YES	LOW
76	gls	GRO-LOW SUMAC Rhus aromatica 'Gro-Low'	5 GAL.	CONT.	YES	LOW
EVERGREEN SHRUBS						
93	spj	SPARTAN JUNIPER Juniperus chinensis 'Spartan'	5 GAL.	CONT.	NO	LOW
ORNAMENTAL GRASSES						
126	frg	KARL FOERSTER FEATHER REED Calamagrostis acuti. 'Karl Foerster'	1 GAL.	CONT.	NO	LOW
35	dmj	DWARF MAIDEN GRASS Miscanthus sinensis 'Yaku Jima;	1 GAL.	CONT.	YES	LOW
26	yuc	IVORY TOWER YUCCA Yucca Filamentosa 'Ivory Tower'	1 GAL.	CONT.	YES	XERIC
26	bdl	BLUE DUNE LYME GRASS Elymus arenarius 'Blue Dune'	1 GAL.	CONT.	NO	XERIC
17	dli	DAYLILY Stella d'Oro Daylily	1 GAL.	CONT.	NO	XERIC
67	bcj	BURGUNDY CARPET BUGLE Ajuga reptans	1 GAL.	CONT.	NO	XERIC
26	hpg	HARDY PAMPAS GRASS Erianthus ravennae	1 GAL.	CONT.	NO	XERIC

□ TOTAL NATIVE / ADAPTIVE (XERIC) PLANT MATERIAL (INCLUDES NATIVE SEED = 64%)



BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:			
REVISION / COMMENTS			
NO.	DATE	SIP SUBMITTAL #1	DESCRIPTION
1	10/23/2020	SIP SUBMITTAL #1	
2	11/23/2020	SIP SUBMITTAL #2	

STACKlot
landscape architecture | planning | entitlements | urban design
 5639 south curtice street
 littleton, colorado 80120
 303.883.2735
 stacklot.com

GENERAL IRRIGATION NOTES:

1. ALL LANDSCAPE AREAS SHALL INCLUDE ADEQUATE, PERMANENT, AUTOMATIC IRRIGATION OF ALL PLANT MATERIAL, EXCEPT CERTIFIED XERIC LANDSCAPING. REFER TO IRRIGATION PLANS.

GENERAL PLANTING NOTES:

1. PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
4. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
5. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
6. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
7. LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
8. FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
9. ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP ONE-THIRD (1/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF THE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
10. AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
11. PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUNK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
12. COMMERCIAL GRADE 3/8 INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
13. LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
15. PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
16. PLANTING BEDS RECEIVING MULCH MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
17. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
19. PLANT SYMBOLS ON SHEET L3.0 ARE SYMBOLS ONLY. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF PLANT SPECIES PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORTS AND CIVIL UTILITY LAYOUT PLANS.
20. **WEED BARRIER** - POROUS FABRIC TO BE INSTALLED IN ALL SHRUB BEDS. SUBMIT SAMPLE FOR APPROVAL.
21. A MINIMUM OF FOUR (4) CUBIC YARDS OF COMPOST PER EACH ONE THOUSAND (1,000) SQUARE FEET OF SOIL SHOULD BE INCORPORATED TO A DEPTH OF AT LEAST FOUR (4) TO SIX (6) INCHES BY ROTOTILLING OR OTHER SUITABLE MEASURE.
22. ALL PLANT MATERIAL WITHIN SIGHT TRIANGLES SHALL BE MAINTAINED BELOW 24 INCHES AS MEASURED FROM STREET FLOWLINE WITHIN THE SIGHT TRIANGLE.

PERFORMANCE GUARANTEE:

ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.

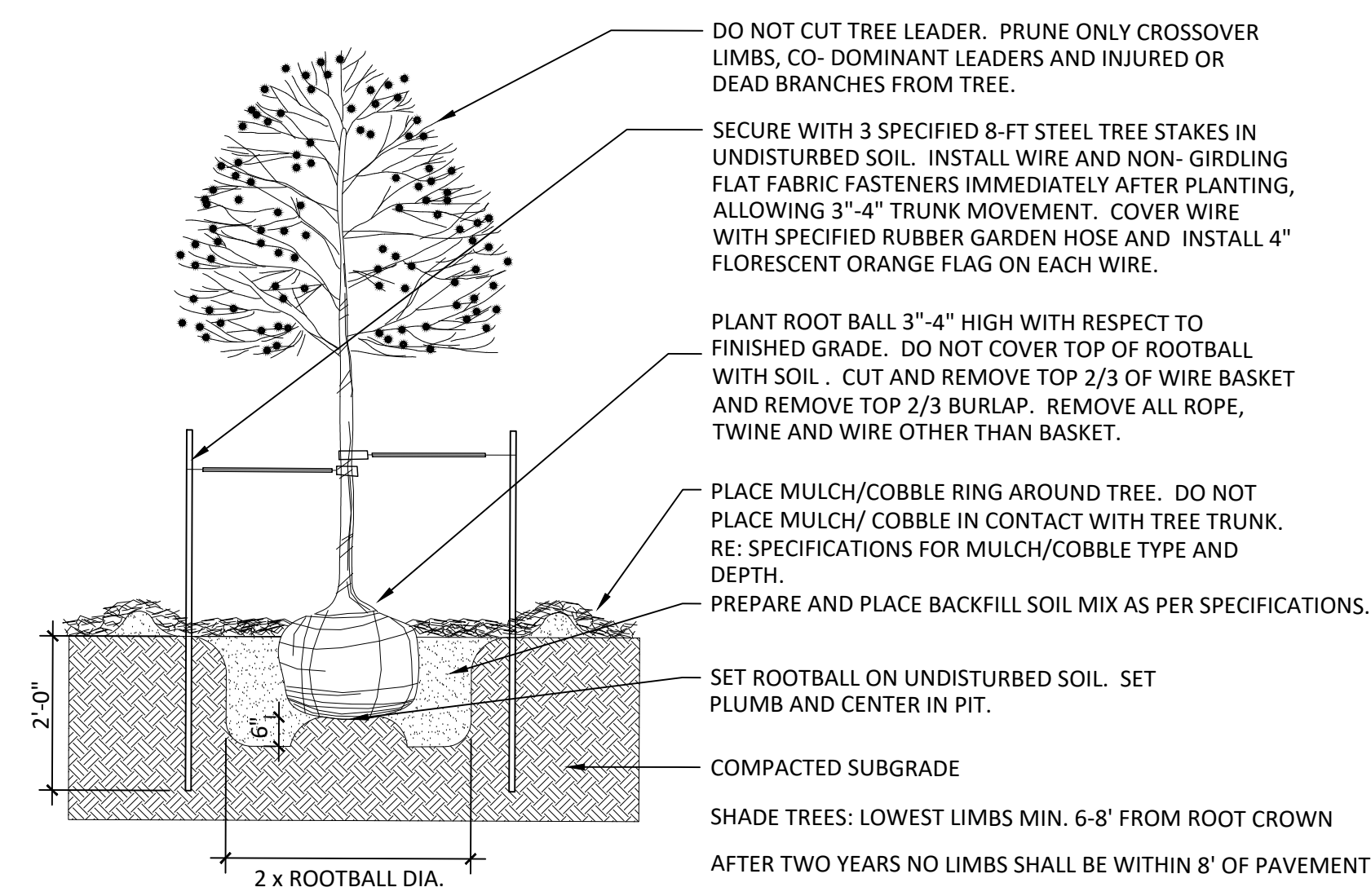
PLANT INSTALLATION SCHEDULE:

ALL PLANT MATERIALS MUST BE INSTALLED & PLANTED WITHIN THE FOLLOWING, SCHEDULED INSTALLATION TIMEFRAMES. ANY DEVIATION FROM THE FOLLOWING PLANT INSTALLATION SCHEDULE MUST BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT OF RECORD.

PLANT TYPE	INSTALLATION TIMEFRAME	RECOMMENDATIONS
TREE		
SHRUB	Mid-March to Mid-October	Plant in early fall, not in hot temps.
ORNAMENTAL GRASS		
PERENNIAL	Late-May to June	Plant after frost danger Not in hot temps. (over 95 Degrees)
ANNUAL		
TURF	Mid-August to Mid-September	Not in hot temps. (over 95 Degrees)

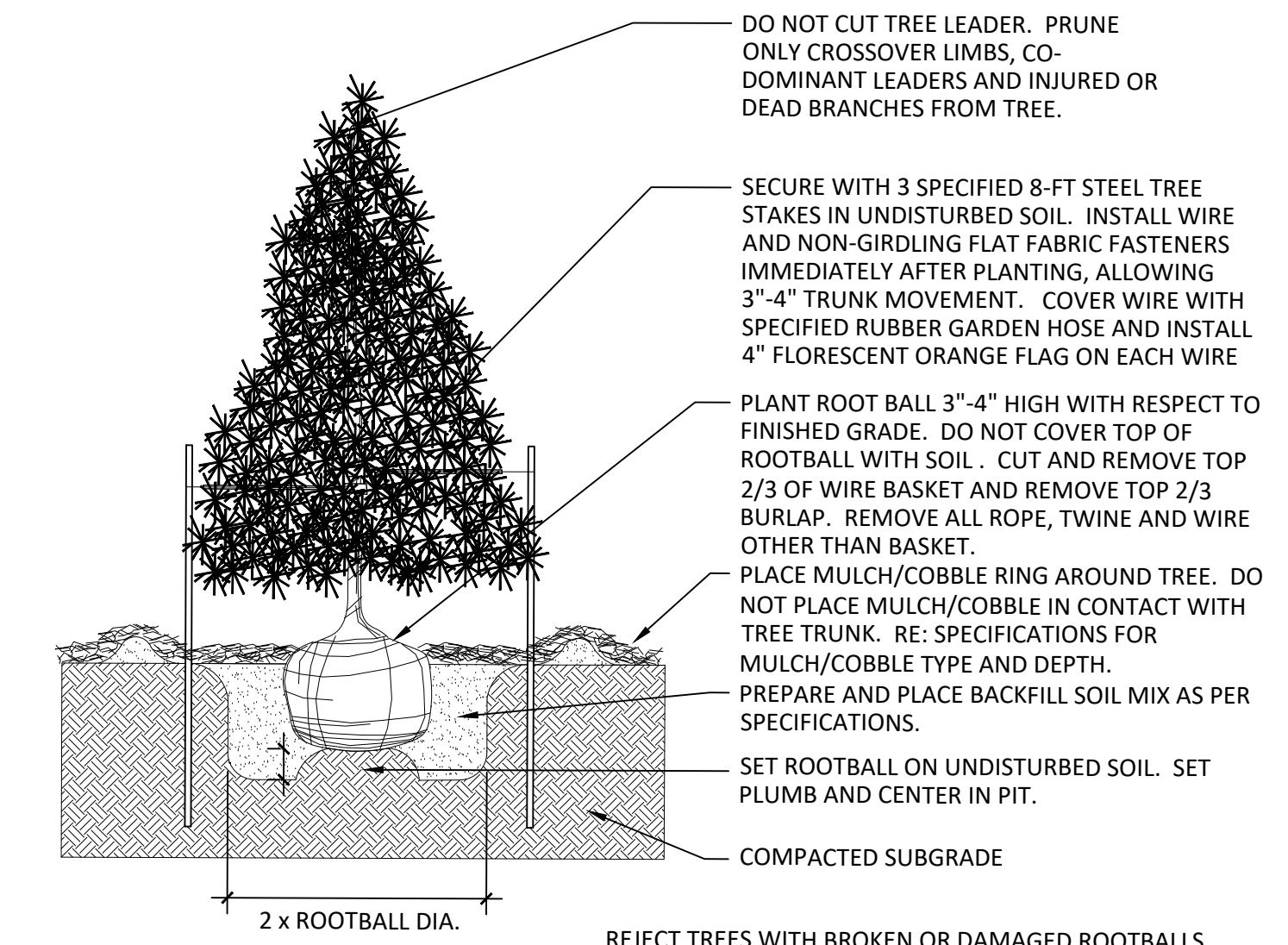
RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
1.819 ACRES
SIP - SP20-64R



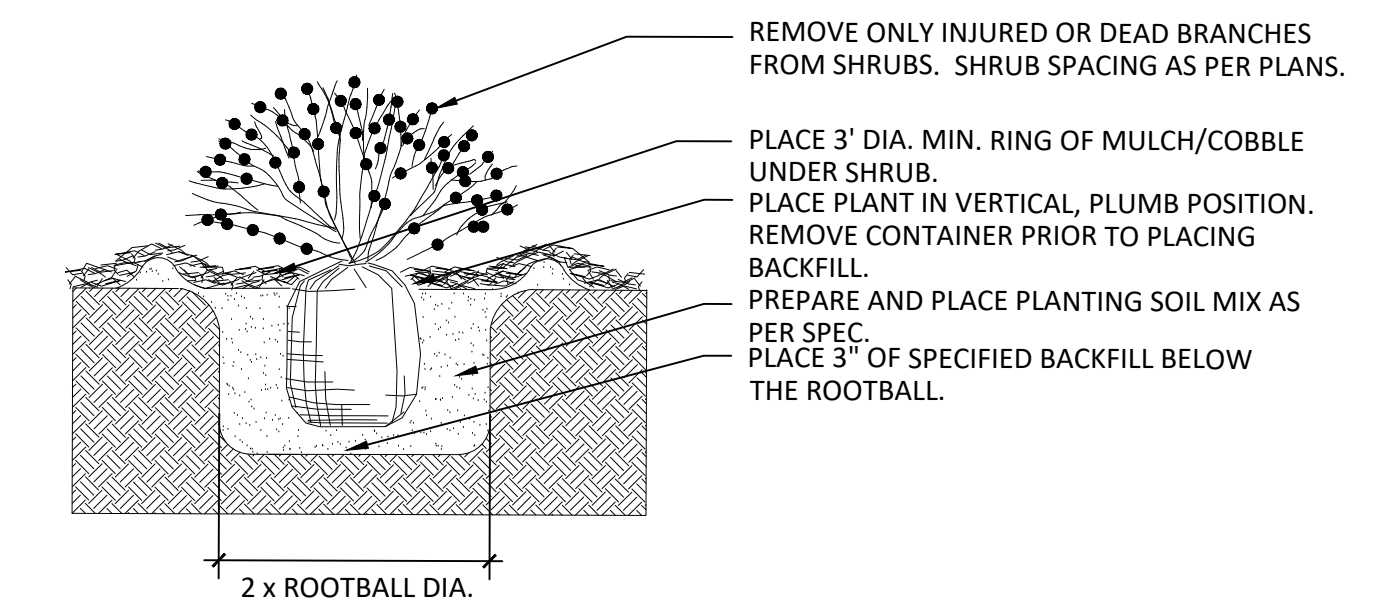
1 DECIDUOUS TREE

NOT TO SCALE



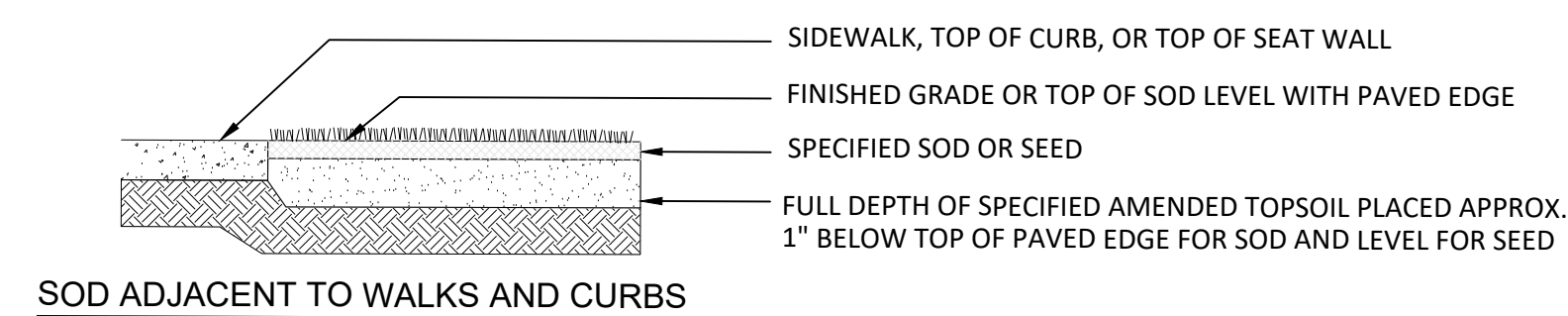
2 EVERGREEN TREE PLANTING

NOT TO SCALE

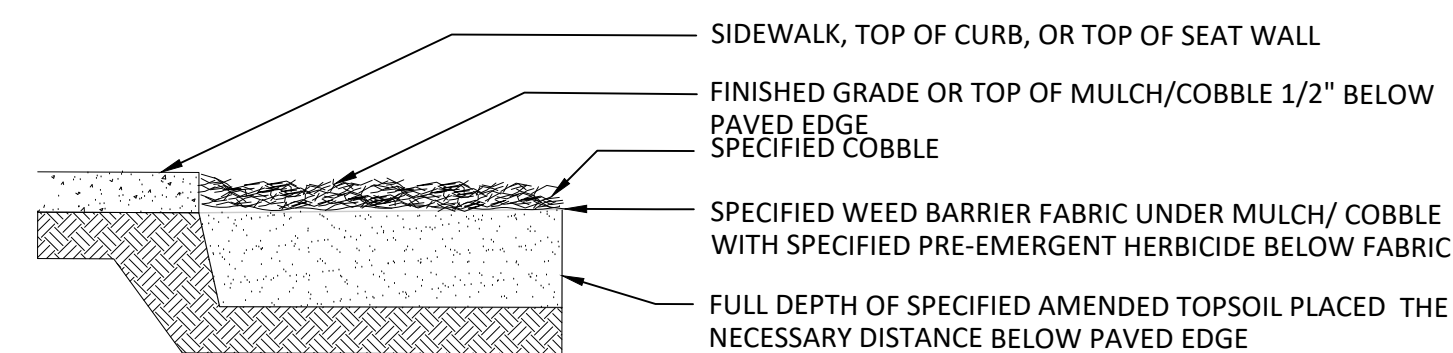


4 SHRUB PLANTING

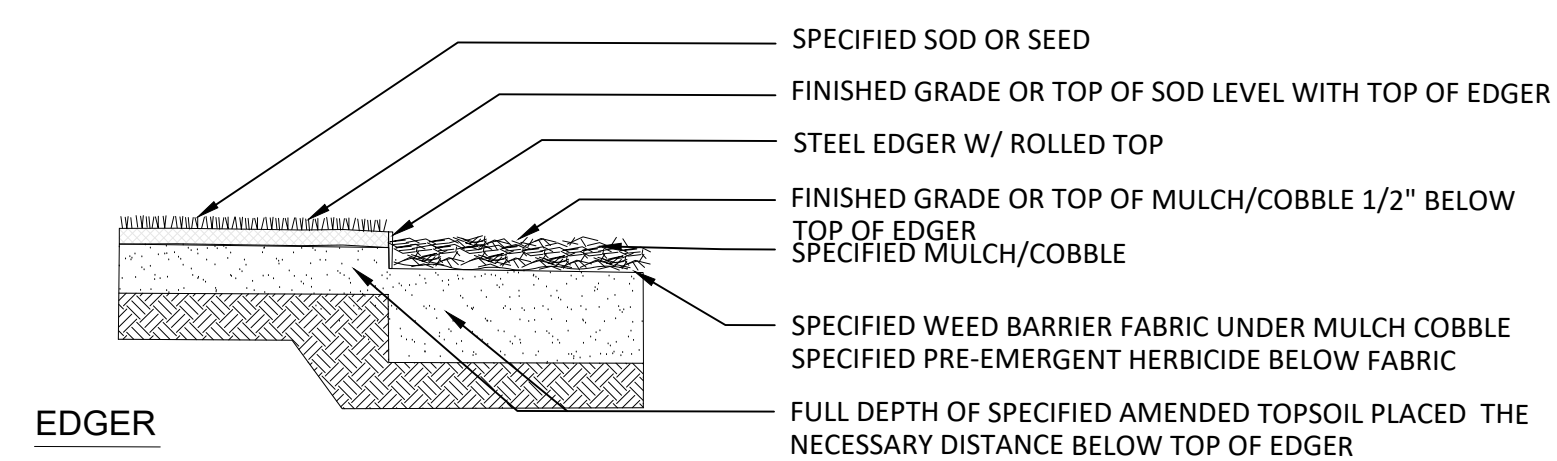
NOT TO SCALE



SOD ADJACENT TO WALKS AND CURBS



MULCH ADJACENT TO WALKS AND CURBS



3 EDGE TREATMENT

NOT TO SCALE



BRYANT FLINK ARCHITECTURE & DESIGN
2305 WEST BERRY AVENUE
LITTLETON, CO 80120

(303) 209-0073

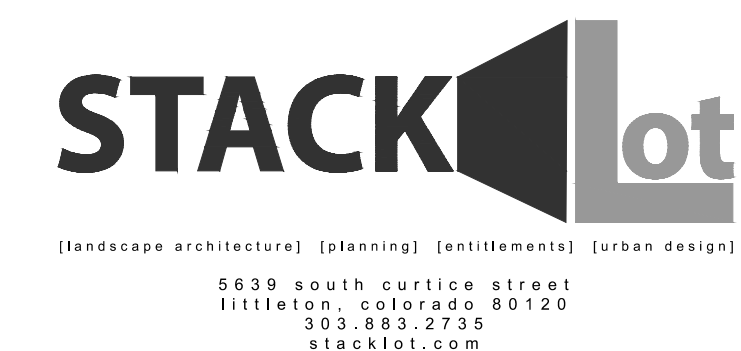
www.bryantflink.com

CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	10/23/2020	SIP SUBMITTAL #1
2	11/23/2020	SIP SUBMITTAL #2

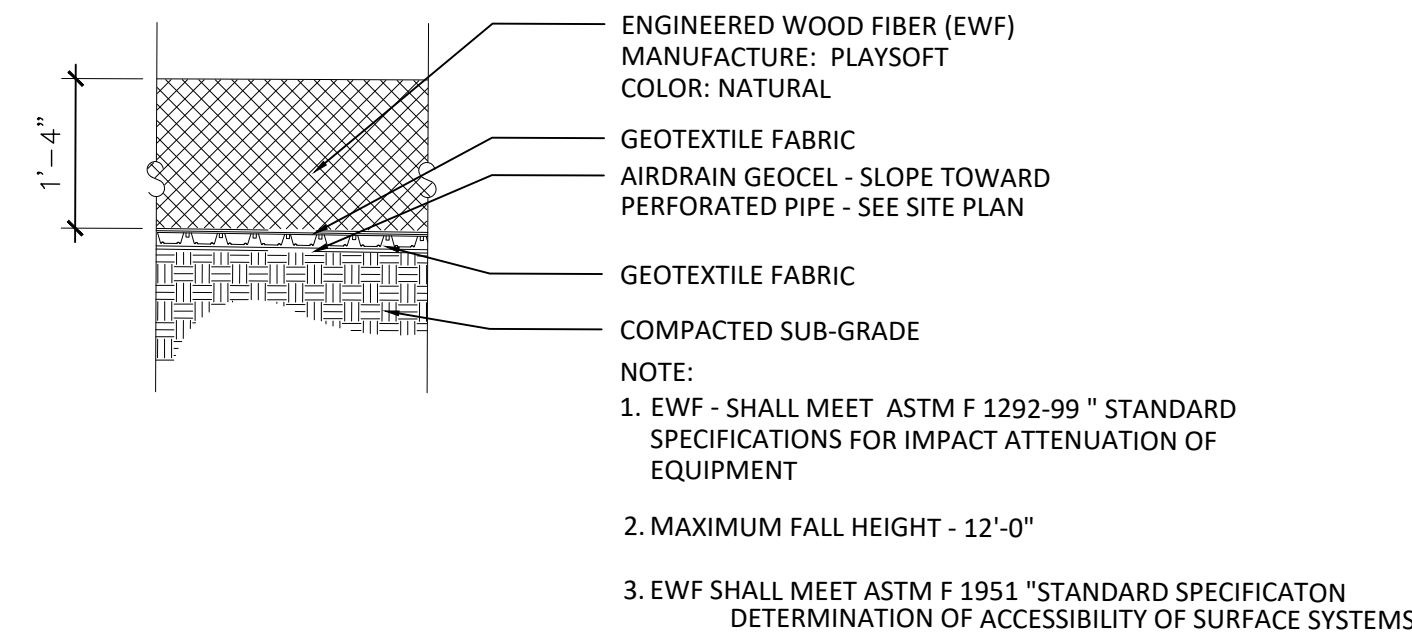


Landscape Notes
& Details

SHEET 3.1 OF 22

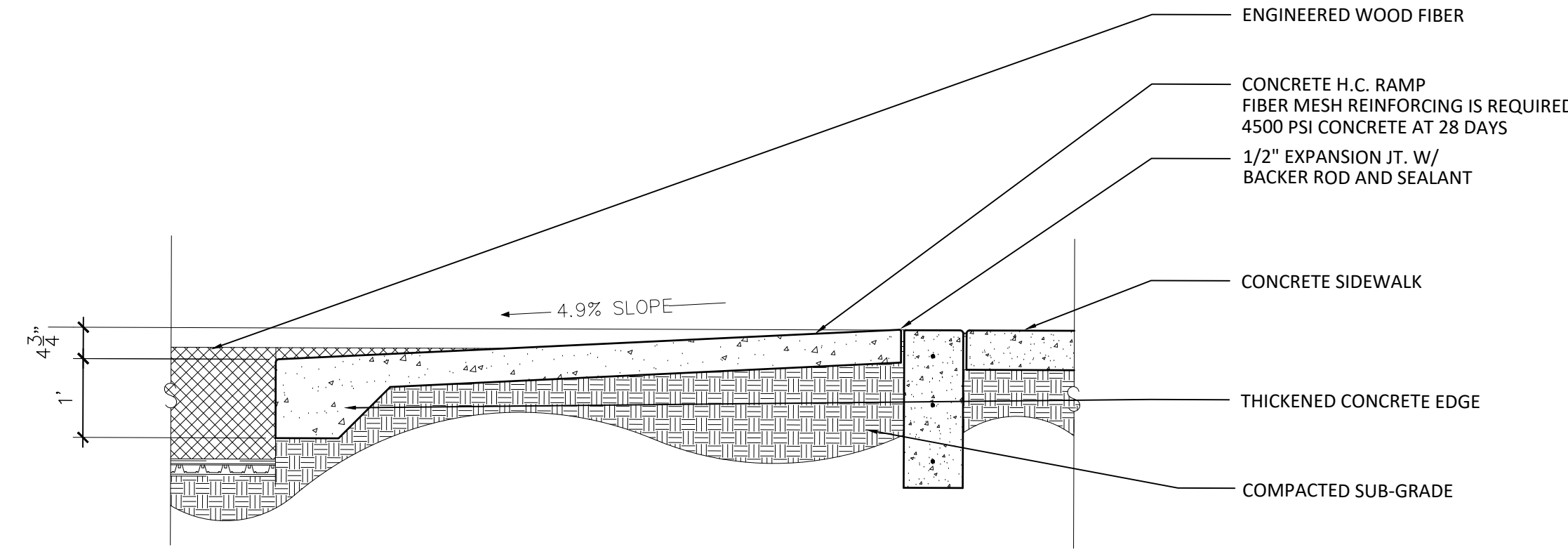
RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



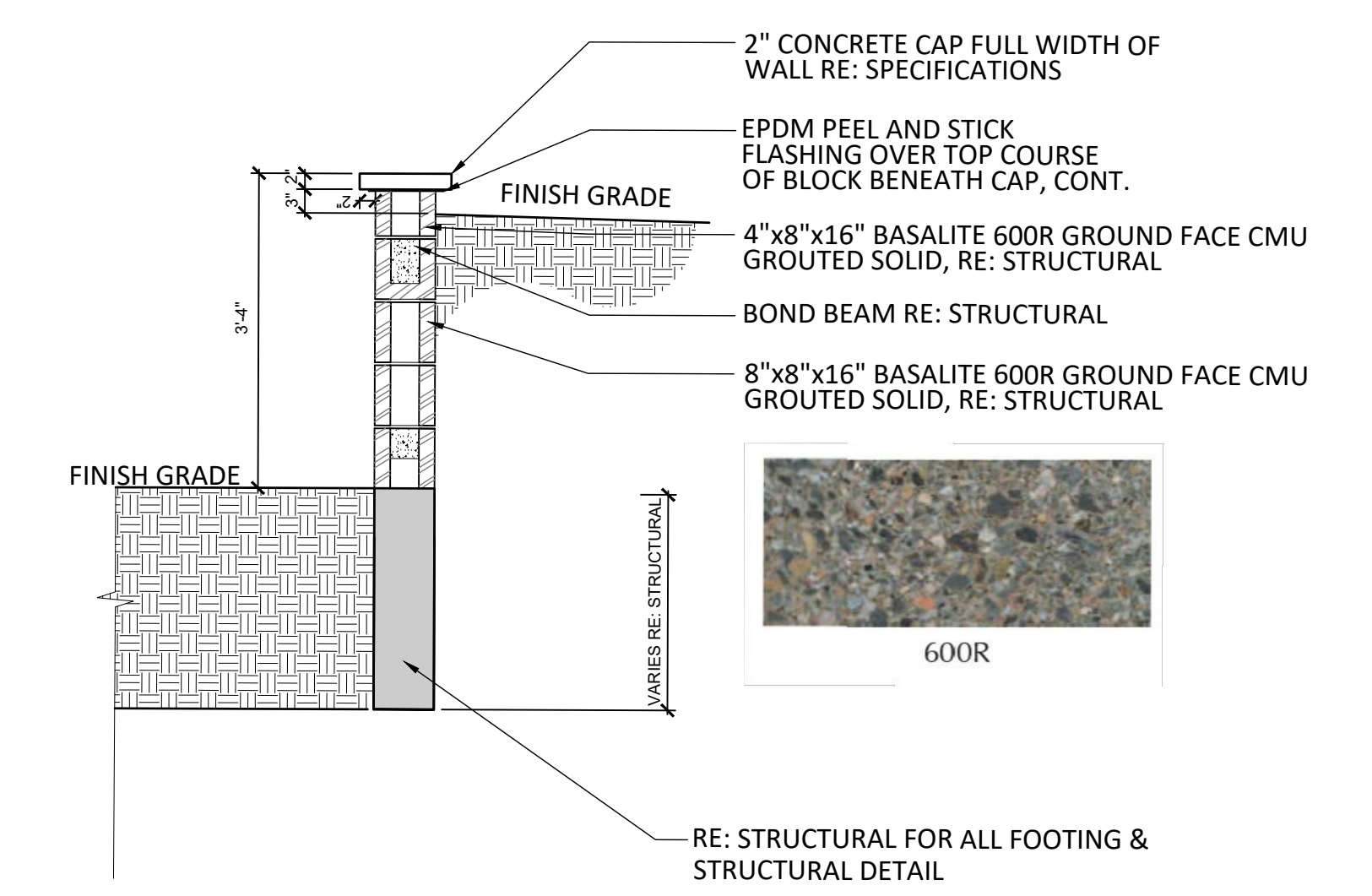
1 PLAY AREA FIBER MULCH

NOT TO SCALE



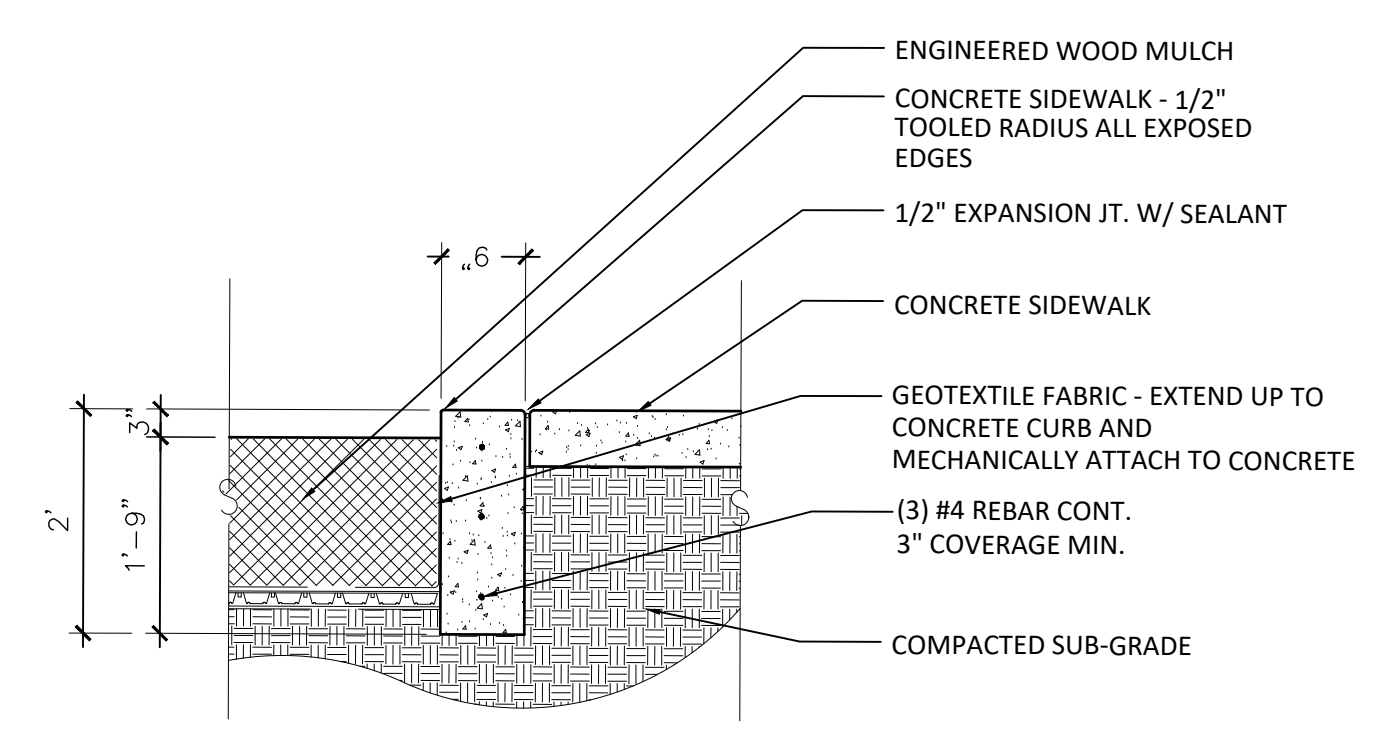
4 PLAY AREA ACCESS RAMP

NOT TO SCALE



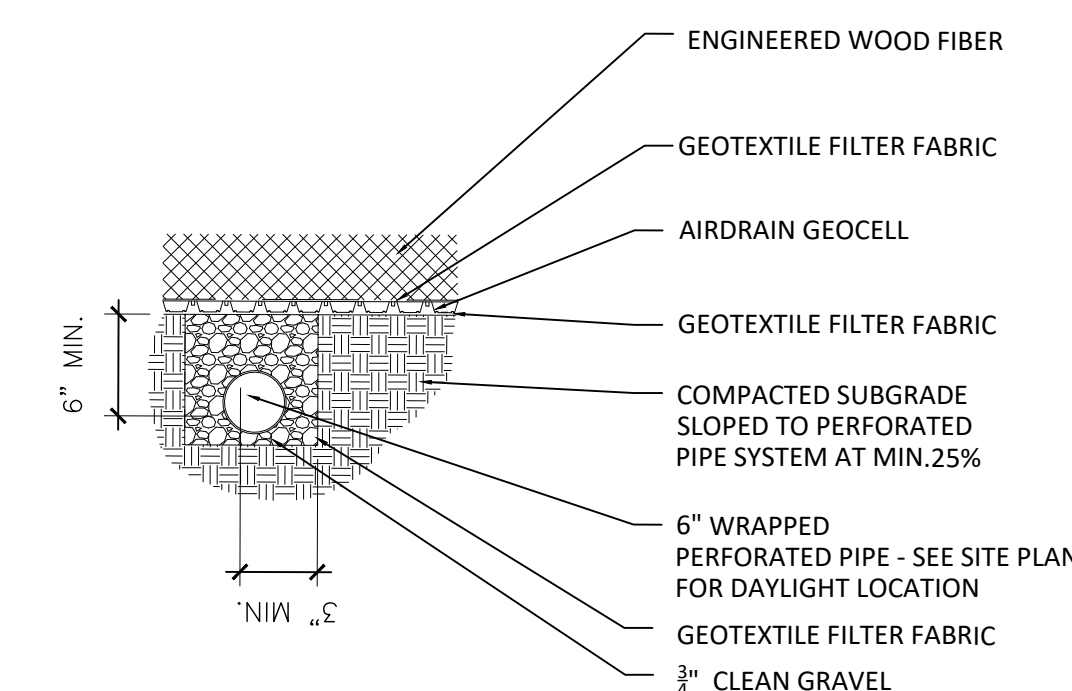
7 CMU LANDSCAPE WALL

NOT TO SCALE



2 PLAY AREA CURB ENCLOSURE W/ CONC.

NOT TO SCALE



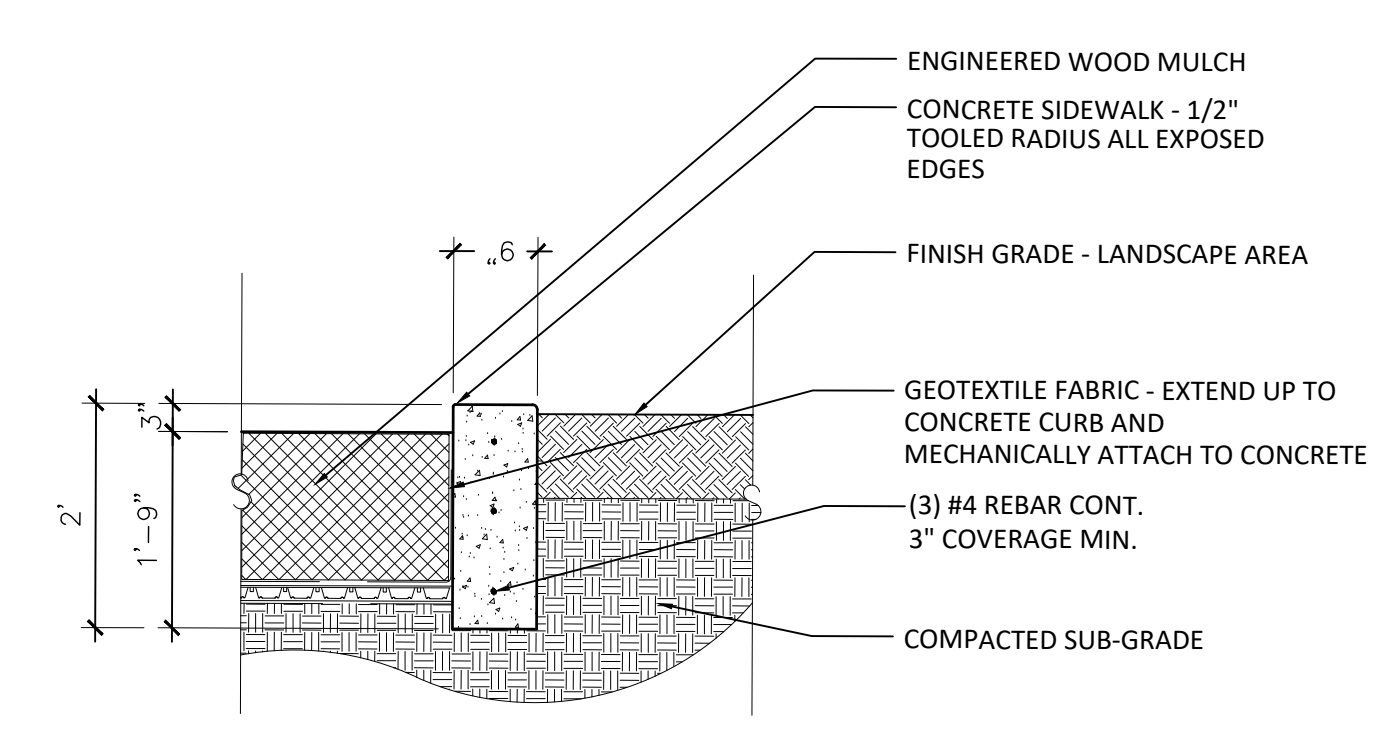
AIR DRAIN SPECIFICATION
 SIZE: 32" X 32" X 1"
 WEIGHT: 3.1 LB
 STRENGTH: 233 PSI (UNFILLED)
 6747 PSI (FILLED)
 RESIN: 100% RECYCLED (PIR)
 COPOLYMER WITH IMPACT MODIFIER
 "NO BREAK" POLYMER MATERIAL
 COLOR: BLACK
 (3% CARBON BLACK ADDED FOR UV PROTECTION)

MANUFACTURE:
 AIRFIELD SYSTEMS, LLC
 8028 N. MAY AVE, STE
 201 OAKLAHOMA CITY,
 OK 73120
 PHONE: (405) 359-3775
 FAX: (405) 348-9945

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

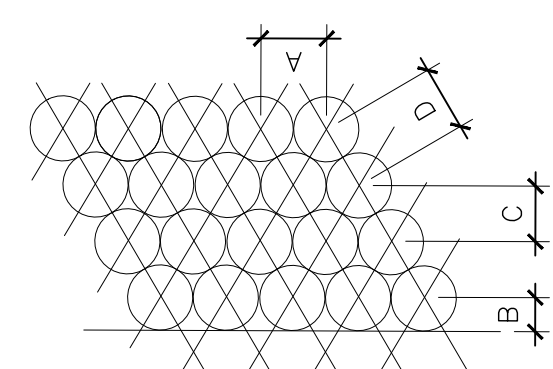
5 PLAY AREA UNDERDRAIN

NOT TO SCALE



3 PLAY AREA CONC. ENCLOSURE W/ GRASSES

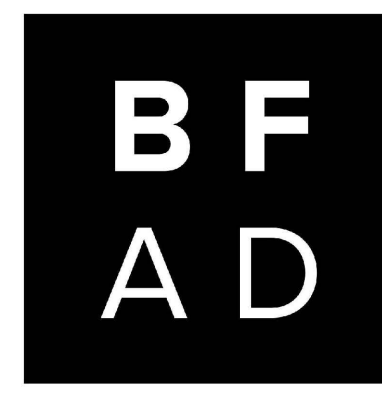
NOT TO SCALE



PLANT SPACING	A	B	C	D
6"	6"	6"	5"	6"
8"	8"	6"	7"	8"
12"	12"	6"	10"	12"
18"	18"	8"	15"	18"
24"	24"	18"	20"	24"
30"	30"	18"	26"	30"
36"	36"	24"	31"	36"
48"	48"	24"	41"	48"

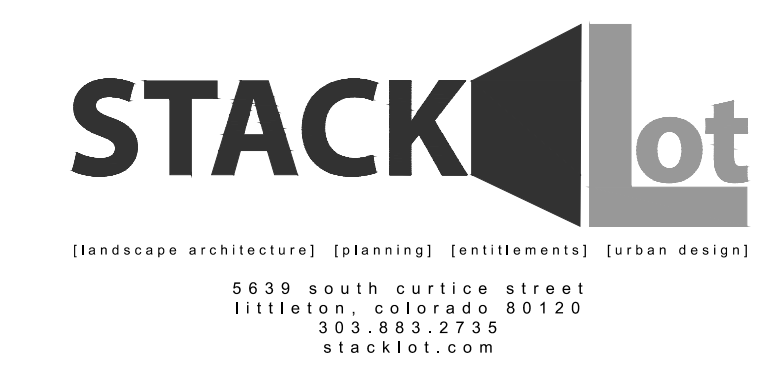
6 PLANT SPACING

NOT TO SCALE



BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE:			
REVISION / COMMENTS			
NO.	DATE	SIP SUBMITTAL #1	DESCRIPTION
1	10/23/2020	SIP SUBMITTAL #1	
2	11/23/2020	SIP SUBMITTAL #2	



RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R

ZONE CHART

C CONTROLLER TO BE FIELD VERIFIED TO ACCOMMODATE FOR ADDITIONAL STATIONS/ZONES

STATION I.D.	STATION NUMBER	VALVE SIZE	GPM	ZONE TYPE	RUN TIME			
					SUN	MON	WED	FRI
a	1	1"	0.56	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
b	2	1"	2.78	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
c	3	1"	0.42	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
d	4	1"	3.42	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
e	5	1"	23.44	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
f	6	1"	3.32	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
g	7	1"	0.60	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
h	8	1"	2.29	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
i	9	1"	7.83	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
j	10	1"	10.50	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
k	11	1"	3.60	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
l	12	1"	3.07	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
m	13	1"	1.51	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
n	14	1"	3.00	DRIP	5 MIN.	5 MIN.	5 MIN.	5 MIN.
o	15	1-1/2"	25.22	SPRAY	5 MIN.	5 MIN.	5 MIN.	5 MIN.
p	16	1-1/2"	23.28	SPRAY	5 MIN.	5 MIN.	5 MIN.	5 MIN.
q	17	1-1/2"	21.34	SPRAY	5 MIN.	5 MIN.	5 MIN.	5 MIN.

LEGEND

- ELECTRIC REMOTE VALVE DESIGNATOR
- B** VALVE I.D. LETTER
 - POPUP** VALVE TYPE
 - 1 1/2"** VALVE SIZE
 - 26.52** GALLONS PER MINUTE OR DRIP
- RAINBIRD 1806 SAM PRS SERIES (FULL)
 - RAINBIRD 1806 SAM PRS SERIES (HALF)
 - RAINBIRD 1806 SAM PRS SERIES (QUARTER)
 - RAINBIRD 1806 SAM PRS SERIES (VARIABLE ARC)
 - RAINBIRD 5000 SERIES - 12" BODY
- *CONTRACTOR TO CONFIRM BRAND/MODEL OF SPRAY ZONE EQUIPMENT

- +** ELECTRIC REMOTE VALVE - RAINBIRD PEB
- 2" IRRIGATION MAINLINE - CONTRACTOR TO CONFIRM SIZE, CAPACITY AND LOCATION
- IRRIGATION LATERAL LINE - CLASS 200 IRRIGATION LATERAL LINE DIA. SIZE
- IRRIGATION SLEEVE - 40 SCHEDULE

- C** 24 STATION RAINBIRD ESP-LXME
- R** RAIN BIRD WR2 RAIN / FREEZE SENSOR INSTALL ON ROOF OF BUILDING
- M** RAIN BIRD PGA - ANGLE 2" ELECTRIC MASTER VALVE, ANGLE. INSTALL DOWNSTREAM OF BACKFLOW
- POINT TO CONNECTION 1" FEBCO 825 YA SERIES - INSTALL IN A STL. CAGE ENCLOSURE W/IN LANDSCAPE AREA.

- ▶▶** BACKFLOW PREVENTER
- HOSE BIB

IRRIGATION AREA SUMMARY

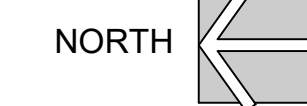
- SOD AREA: 1,832 SF
- NATIVE SEED: 9,620 SF
ALL NATIVE SEED AREA SHALL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT
- DRIP ZONE AREA: 15,328 SF

NOTES

- PIPE AND / OR OTHER EQUIPMENT MAY BE SHOWN IN CONCRETE, ASPHALT, OR OFF-SITE FOR DIAGRAMMATIC PURPOSES. INSTALL ALL PIPE AND / OR EQUIPMENT ON-SITE AND IN LANDSCAPE AREAS, EXCEPT WHEN NECESSARY TO CROSS PARKING, DRIVES AND SIDEWALKS.
- PERMANENT IRRIGATION SYSTEMS, ARE GENERALLY REQUIRED IN ALL CASES; HAND WATERING MAY BE USED FOR PLANTINGS IN FLOWERPOTS AND TEMPORARY IRRIGATION MAY BE USED FOR THE ESTABLISHMENT OF NATIVE GRASSES.
- THIS IRRIGATION PLAN ASSUMES A STATIC, IRRIGATION PRESSURE OF 40 PSI. IF PRESSURE TESTS ARE BELOW 40 PSI, THEN AN IRRIGATION PUMP OR SEPARATE IRRIGATION TAP AND METER MAY BE REQUIRED. CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR EITHER AN IRRIGATION PUMP OR SEPARATE IRRIGATION METER AND TAP TO ACCOUNT FOR THESE ADDITIONAL COSTS AFTER PRESSURE TESTS ARE PERFORMED.



BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	10/23/2020	SIP SUBMITTAL #1
2	11/23/2020	SIP SUBMITTAL #2



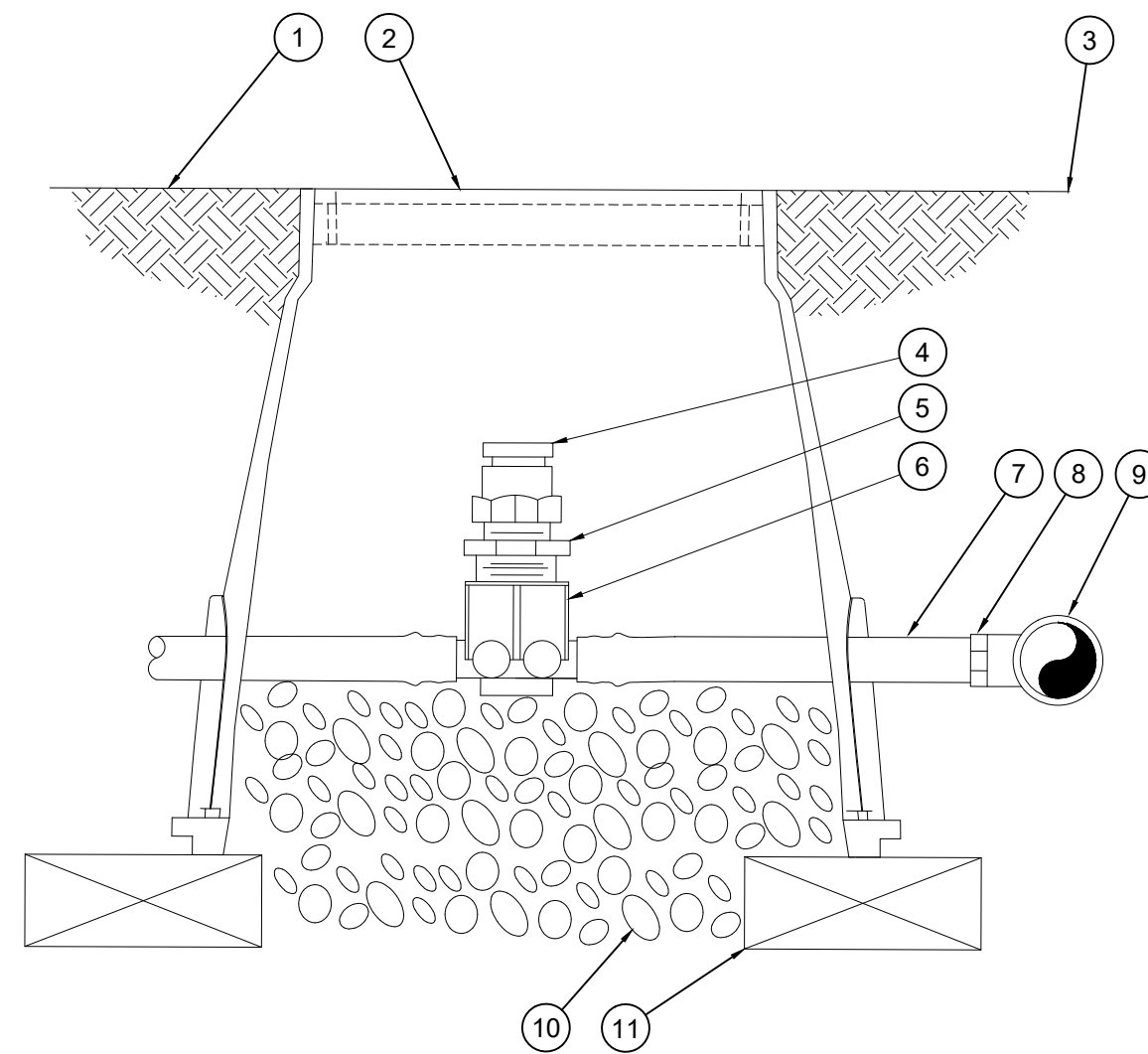
5839 SOUTH CURTICE STREET
 LITTLETON, COLORADO 80120
 303.883.2725
 stacklot.com

Irrigation Plan

SHEET 4.0 OF 22

RIDGEGATE AFFORDABLE HOUSING

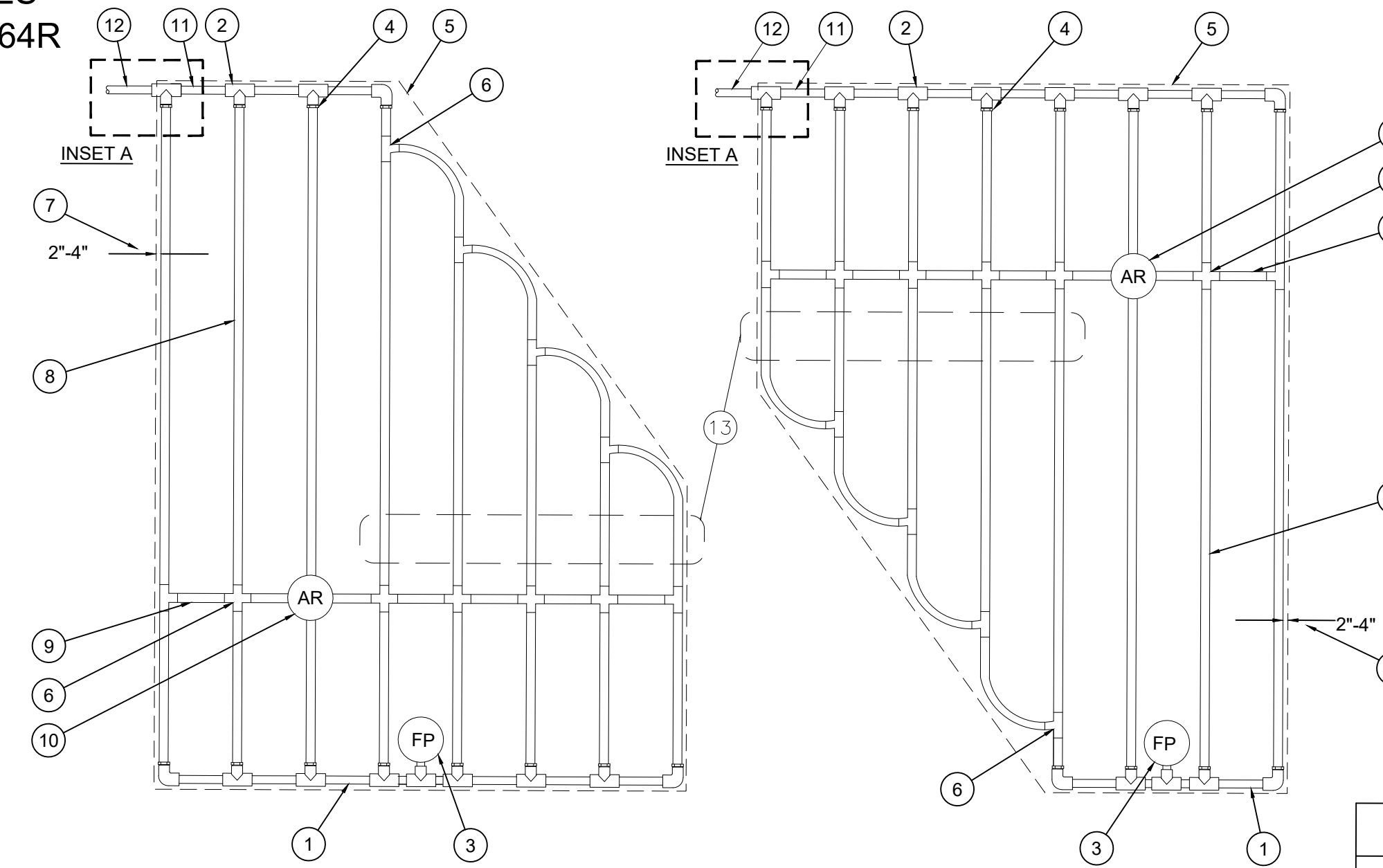
RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
1.819 ACRES
SIP - SP20-64R



1 SUBSURFACE AIR RELIEF VALVE

N.T.S.

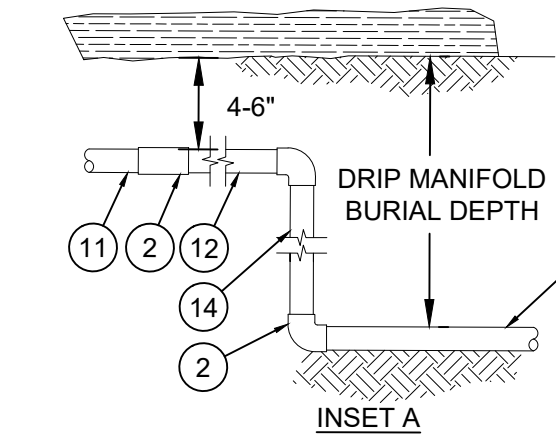
- 1 FINISH GRADE
- 2 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 3 FINISH GRADE
- 4 1/2" AIR RELIEF VALVE: RAIN BIRD ARV050
- 5 1/2" X 3/4" PVC REDUCER BUSHING
- 6 TO BE INSTALLED AT HIGH POINTS RAIN BIRD XFD-TFA FITTING
- 7 1/2" BLANK DRIPLINE TUBING: RAIN BIRD XF SERIES BARB X FEMALE THREAD CONNECTOR:
- 8 RAIN BIRD XFF-MA FITTING
- 9 PVC TEE CONNECTED TO PVC HEADER PIPE
- 10 BARB X MALE THREAD CONNECTOR: 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 11 BRICK (1 OF 2)



- NOTES:
1. 18" DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.
 3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.
 4. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

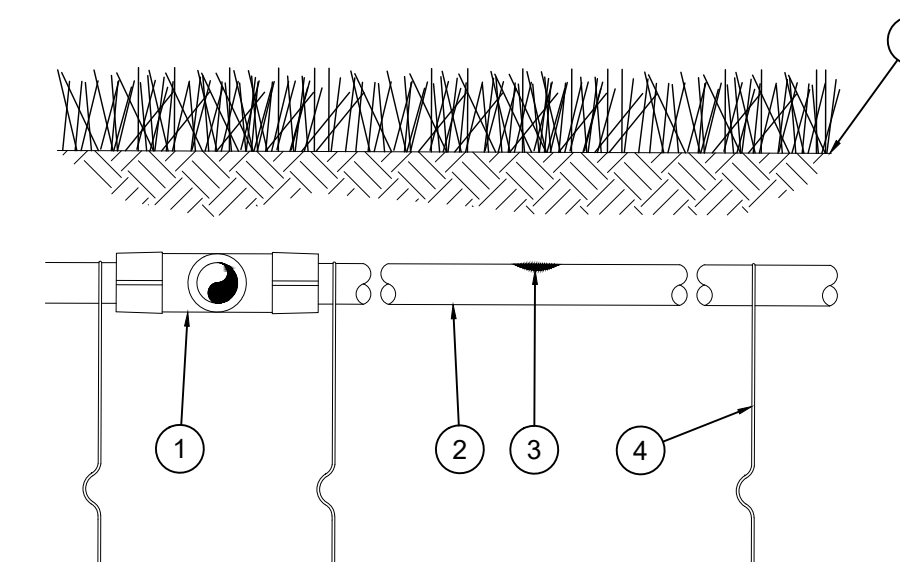
- 1 PVC EXHAUST HEADER
- 2 PVC SCH 40 TEE OR EL (TYPICAL)
- 3 FLUSH POINT (TYPICAL)
- 4 SEE RAIN BIRD DETAIL "XFS FLUSH POINT" OR "XFS FLUSH POINT WITH BALL VALVE"
- 5 RAIN BIRD XFF-MA FITTING (TYPICAL)
- 6 PERIMETER OF AREA
- 7 BARB X BARB INSERT TEE OR CROSS: RAIN BIRD XFD-CROSS (TYPICAL)
- 8 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 9 SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL) POTABLE: XFS DRIPLINE
- 10 RAIN BIRD XF SERIES BLANK TUBING
- 11 1/2" AIR RELIEF VALVE: RAIN BIRD MODEL: ARV050 SEE RAIN BIRD XFS DETAILS FOR AIR RELIEF INSTALLATION
- 12 PVC SUPPLY MANIFOLD
- 13 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 14 TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- 15 CLASS 200 LATERAL

Inlet Pressure psi	XFS Dripline Maximum Lateral Lengths (Feet)					
	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)
15	273	155	314	250	424	322
20	318	169	353	294	508	368
30	360	230	413	350	586	414
40	395	265	465	402	652	474
50	417	285	528	420	720	488
60	460	290	596	455	780	514



2 XFS - SUBSURFACE DRIP LAYOUT

N.T.S.

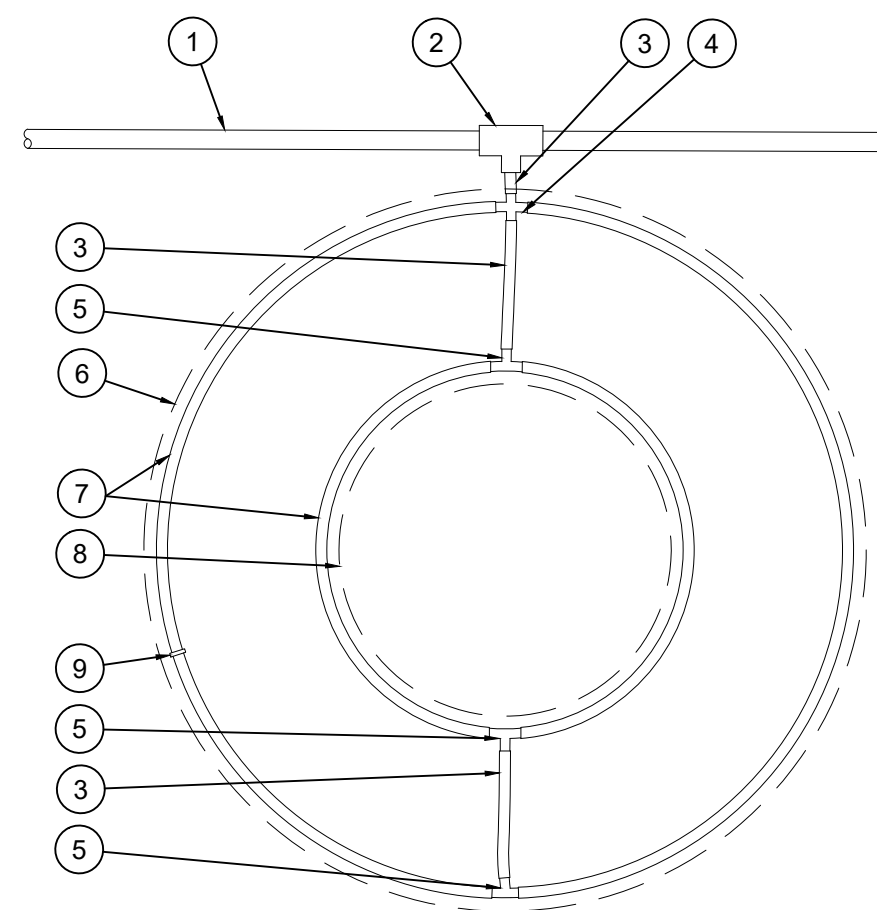


4 DRIPLINE BURIAL DETAIL

N.T.S.

- 1 EASY FIT COMPRESSION TEE: RAIN BIRD MDCFTTEE
- 2 SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE
- 3 INLINE DRIP EMITTER
- 4 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
- 5 TURF/FINISH GRADE OR SHRUB BED WITH MULCH

- NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 3. INSERTION PLOW AND TRENCHED INSTALLATIONS DO NOT REQUIRE TIE DOWN STAKES.



3 XFS - SUBSURFACE TREE DRIPLINE LAYOUT

N.T.S.

- 1 PVC DRIP MANIFOLD PIPE
- 2 PVC SCH 40 TEE OR EL
- 3 RAIN BIRD XF SERIES BLANK TUBING
- 4 BARB CROSS INSERT FITTING: RAIN BIRD XFD-CROSS
- 5 BARB TEE INSERT FITTING: RAIN BIRD XFF-TEE
- 6 PROJECTED CANOPY LINE OF TREE
- 7 SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFS DRIPLINE PLACE AS SHOWN (LENGTH AS REQUIRED)
- 8 ROOT BALL
- 9 TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED, SEE NOTES 2-3 BELOW)

- NOTES:
1. DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE RAIN BIRD XF-SDI DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

GENERAL NOTES

1. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND VERIFICATION OF ALL EXISTING UTILITIES AND STRUCTURES. DAMAGE DONE TO UTILITIES, STRUCTURES OR OTHER FINISHED WORK SHALL BE REPAIRED OR REPLACED AT THE IRRIGATION CONTRACTORS EXPENSE.
2. IRRIGATION CONTRACTOR SHALL CONNECT TO A DOMESTIC WATER LINE STUB BY OTHERS AS INDICATED ON THE PLANS. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO INSURE THE POINT OF CONNECTIONS ARE PROVIDED PER PLANS.
3. IRRIGATION CONTRACTOR SHALL INSTALL A 2 1/2" REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY AT THE POINT OF CONNECTION SHOWN ON THE IRRIGATION PLAN. CONNECTION SHALL BE MADE PER ALL APPLICABLE PERMITS AND CITY, COUNTY AND STATE REQUIREMENTS.
4. AVAILABLE IRRIGATION WATER PRESSURE AND GALLONS PER MINUTE AVAILABLE WERE NOT AVAILABLE AT THE TIME OF IRRIGATION DESIGN. IRRIGATION CONTRACTOR SHALL VERIFY AVAILABLE WATER PRESSURE AND GALLONS PER MINUTE AVAILABLE.
5. THE IRRIGATION CONTRACTOR SHALL SUBMIT PRESSURE LOSS CALCULATIONS TO THE IRRIGATION DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. PRESSURE LOSS CALCULATIONS SHALL BE FROM THE SITE'S WATER SUPPLY TO THE FURTHEST HEAD OF THE LARGEST ZONE AND THE FURTHEST HEAD FROM THE SITE WATER SUPPLY.
6. IRRIGATION PLAN IS A SCHEMATIC DRAWING TO REPRESENT DESIRED WATER COVERAGE. FIELD ADJUSTMENTS MAY BE NECESSARY TO AVOID UNFORESEEN OBSTACLES AND CONFLICTS.
7. IRRIGATION SYSTEM IS TO CONSIST OF SEPARATE DRIP ZONES, SPRAY HEAD ZONES AND ROTOR ZONES. EACH WITH A SEPARATE VALVE AND STATION ON THE CONTROLLER.
8. CONTRACTOR SHALL VERIFY PRESSURE PRIOR TO INSTALLATION OF SYSTEM. SYSTEM DESIGN BASED ON MINIMUM 40 PSI AT EACH IRRIGATION HEAD OR A MINIMUM OF 30 PSI AT EACH DRIP IRRIGATION ZONE.
9. VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
10. CONTACT LANDSCAPE ARCHITECT AND COORDINATE ALL REVIEWS PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT IN THE TURF AREAS AND PLANTING BEDS IN A MANNER SO AS TO CONFORM WITH THE VARIOUS DETAILS, PLAN NOTES, SPECIFICATION FROM LANDSCAPE ARCHITECT AND MANUFACTURER.
12. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING TREES AND UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO TREES OR UTILITIES. FIELD ADJUST SPRINKLER LOCATIONS SO AS TO AVOID CONFLICTS WITH UTILITIES (FIRE HYDRANTS, TRANSFORMERS, ETC.).
13. PROTECT AT ALL TIMES THE WORK FROM DAMAGE AND THEFT. REPLACE ALL DAMAGED OR STOLEN PARTS AT CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER.
14. CONTRACTOR TO INSTALL NEW RAIN BIRD ESP-LXME CONTROLLER. CONTRACTOR TO VERIFY 110V UNINTERRUPTED ELECTRICAL SERVICE FOR THE CONTROLLER. CONTRACTOR TO INSTALL CONTROLLER PER MANUFACTURER SPECIFICATIONS. CONTRACTOR TO INSTALL A RAIN BIRD WR2 WIRELESS RAIN / FREEZE SENSOR. LOCATION OF THE RAIN SENSOR TO BE APPROVED BY THE OWNER.
15. FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. INSTALL RAIN BIRD PRS-D PRESSURE REGULATING MODULES ON ALL VALVES OPERATING AT PRESSURES HIGHER THAN 10 PSI FROM OPERATION PSI AS STATED IN THE VALVE SCHEDULES FOR EACH ZONE.
16. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT WIND CONDITIONS, OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA'S DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING DESIGN. BRING SUCH OBSTRUCTIONS OR DIFFERENCE TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND COSTS FOR ALL NECESSARY REVISIONS.
17. PLACE VALVE BOXES 12" FROM AND PARALLEL TO CURBS AND WALKS. GROUPED VALVES TO BE EQUALLY SPACED.
18. ADJUST HEAD LOCATION IF SPRAY IS DETRIMENTAL TO OR BLOCKED BY TREE, SHRUB, OR STRUCTURE, MAINTAINING EVEN COVERAGE OF PLANTED AREAS.
19. INSTALL ALL MAINLINES TO SLOPE AT 1% MINIMUM TO MANUAL DRAIN VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
20. ALL SPRINKLER HEADS SHALL BE ADJUSTED SO THEY DO NOT SPRAY ONTO WALKS, PARKING AREAS, RETAINING WALLS, BUILDINGS OR THE HARDSCAPE AREAS.
21. THE CONTRACTOR SHALL PLACE A #14 TRACER WIRE WITH BLUE PE COATING ALONG ALL PVC MAINLINE THAT DOES NOT HAVE IRRIGATION CONTROL WIRES PROPOSED. THIS INCLUDES ALL PVC MAINLINE CONNECTING QUICK COUPLER VALVES.
22. CONTRACTOR SHALL INSTALL SLEEVES UNDER HARDSCAPE AT ALL POINTS WHERE IRRIGATION MAIN LINE AND LATERALS ARE LOCATED.



BRYANT FLINK ARCHITECTURE & DESIGN
2305 WEST BERRY AVENUE
LITTLETON, CO 80120

(303) 209-0073

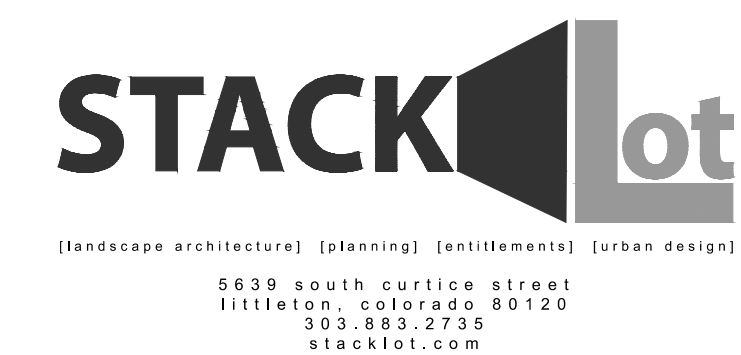
www.bryantflink.com

CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	10/23/2020	SIP SUBMITTAL #1
2	11/23/2020	SIP SUBMITTAL #2



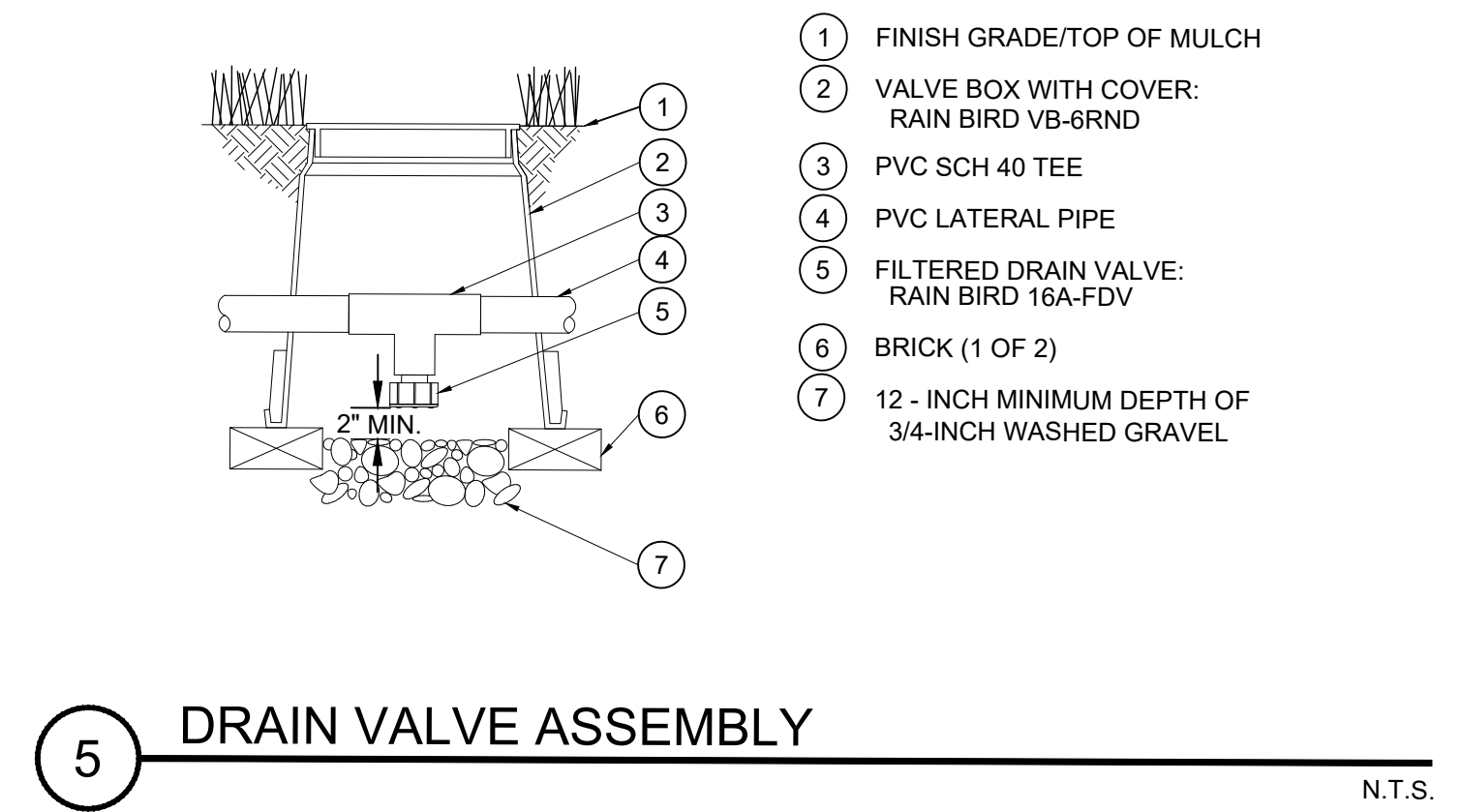
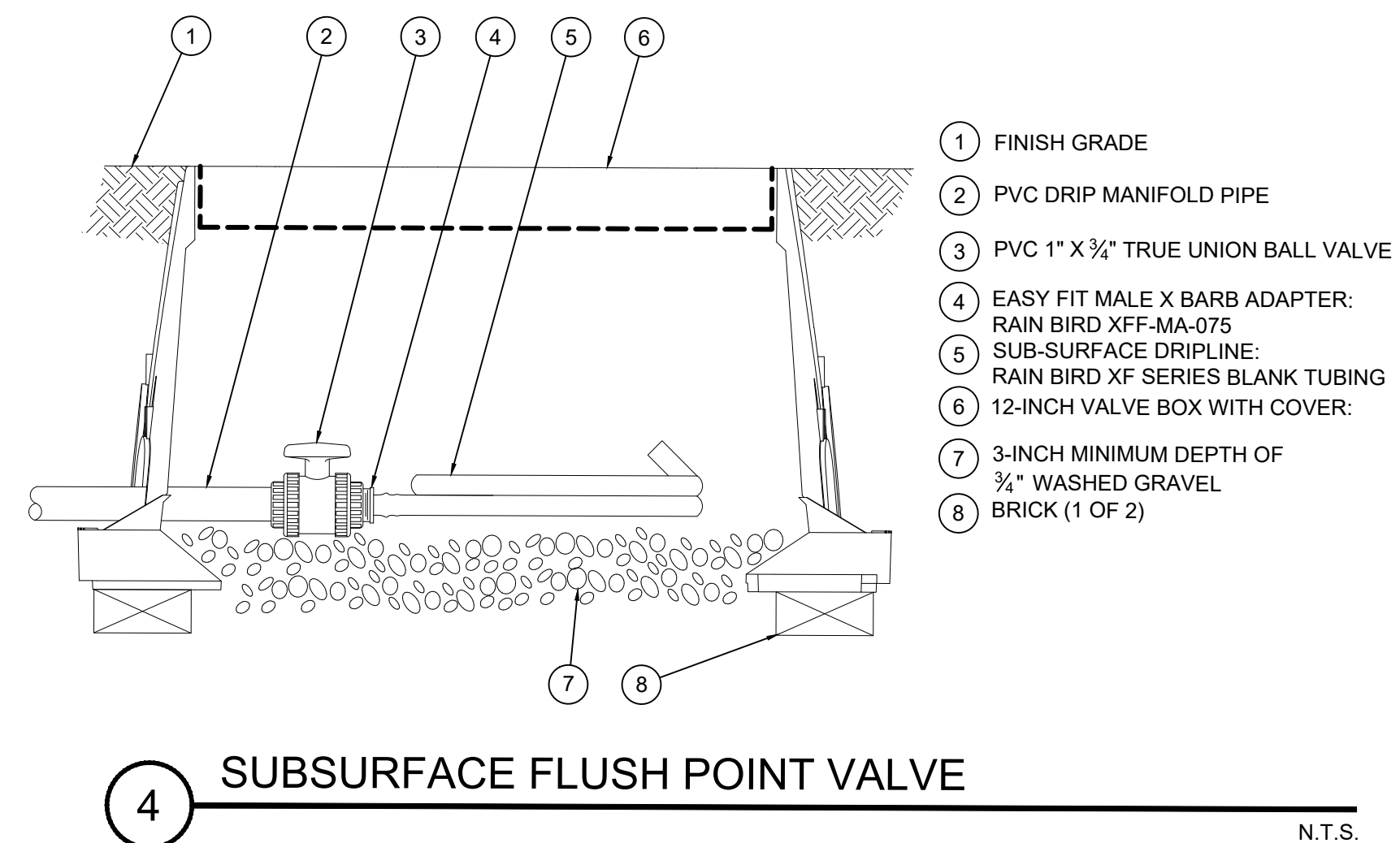
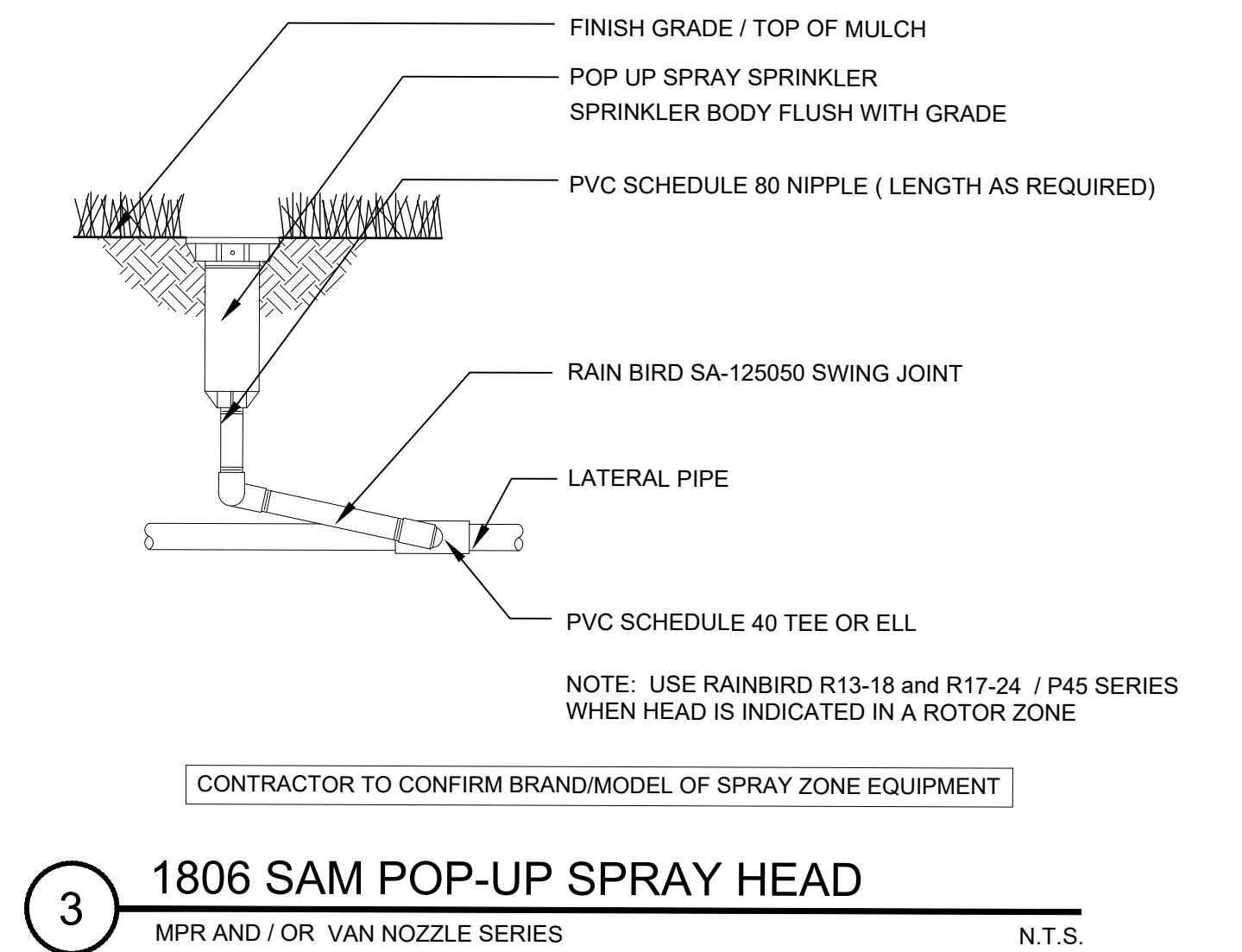
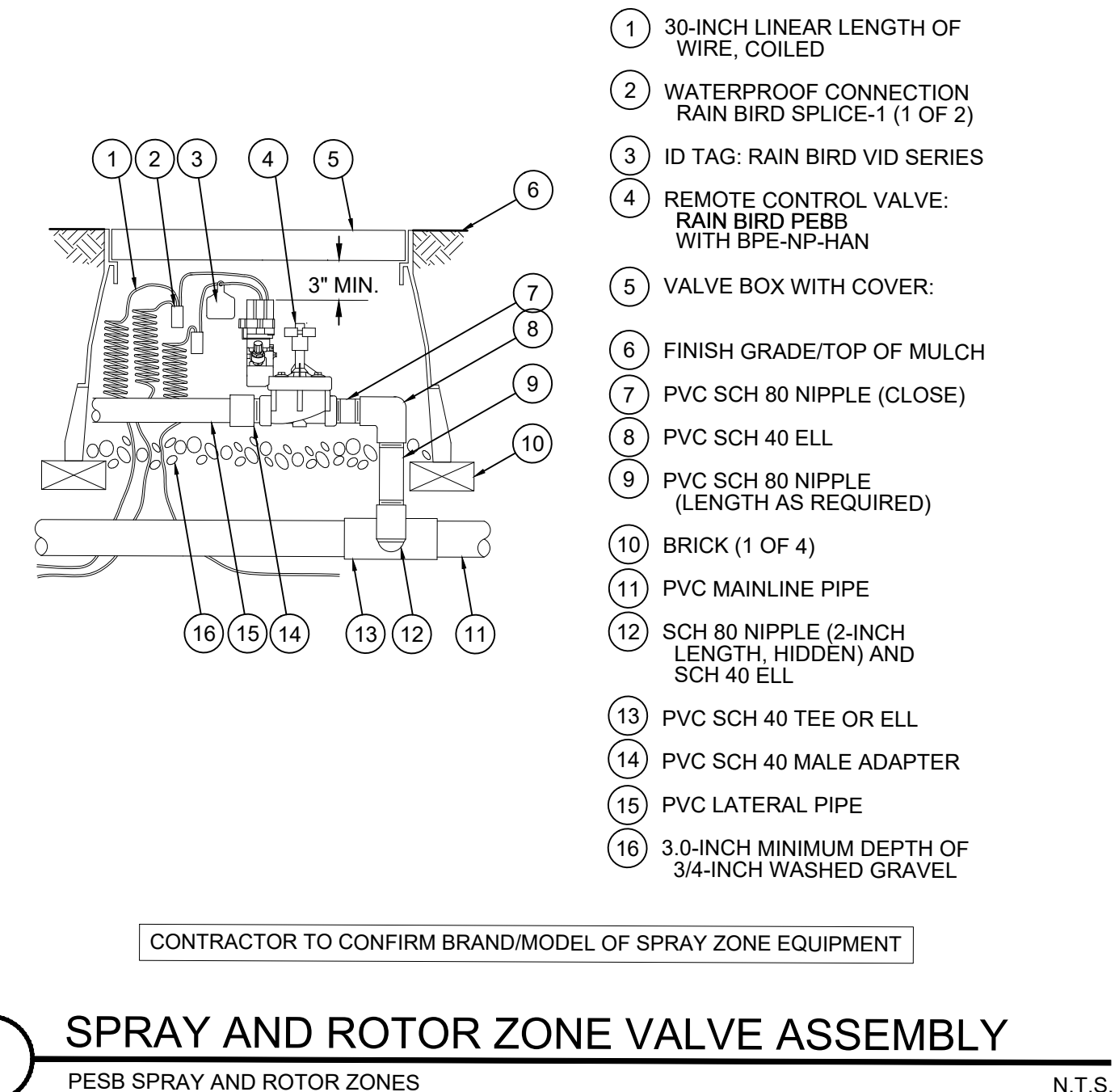
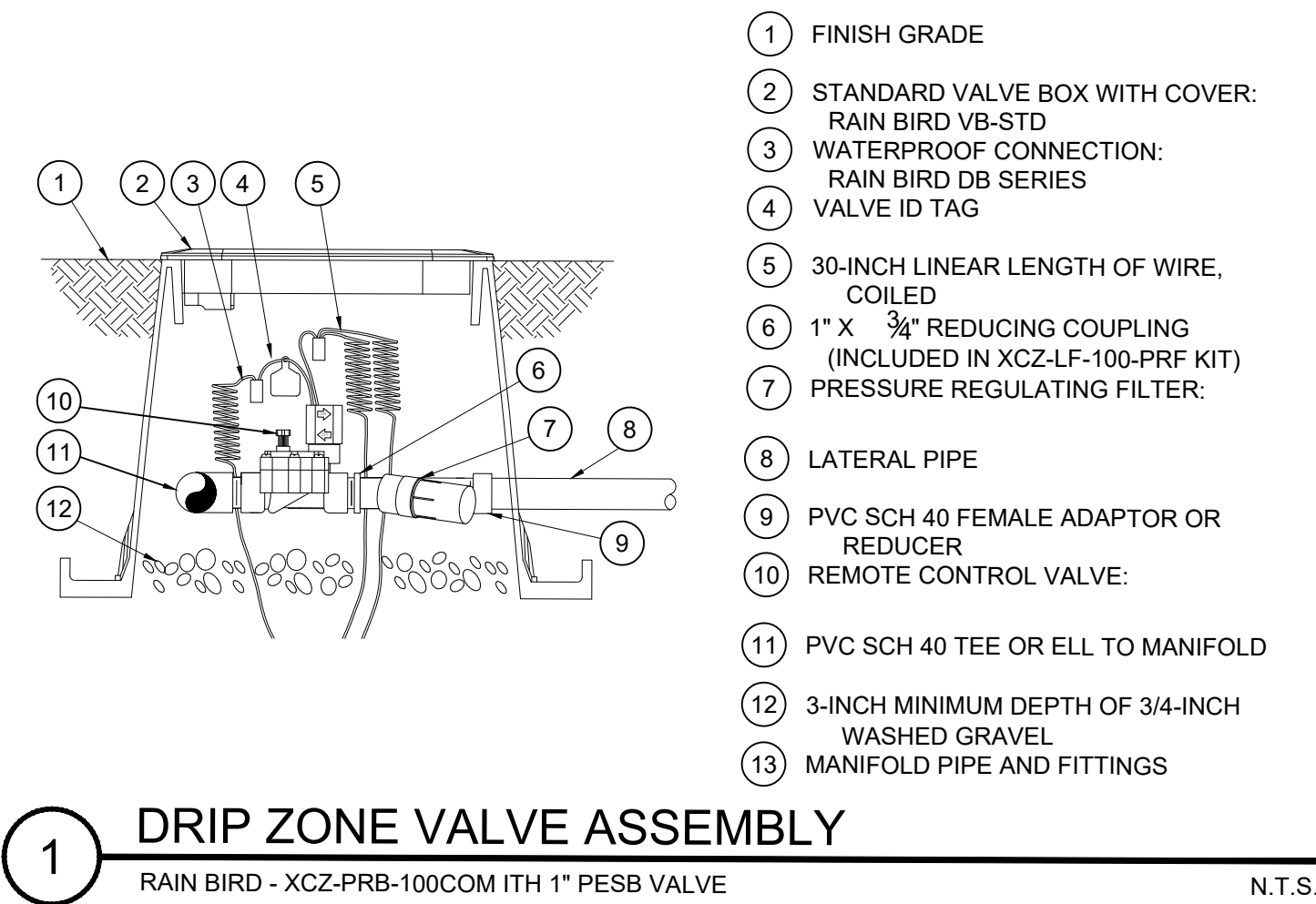
5839 south curcio street
littleton, colorado 80120
303.683.2755
stacklot.com

Irrigation Details

SHEET 4.1 OF 22

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120

(303) 209-0073

www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/2020	SIP SUBMITTAL #1
2	11/23/2020	SIP SUBMITTAL #2

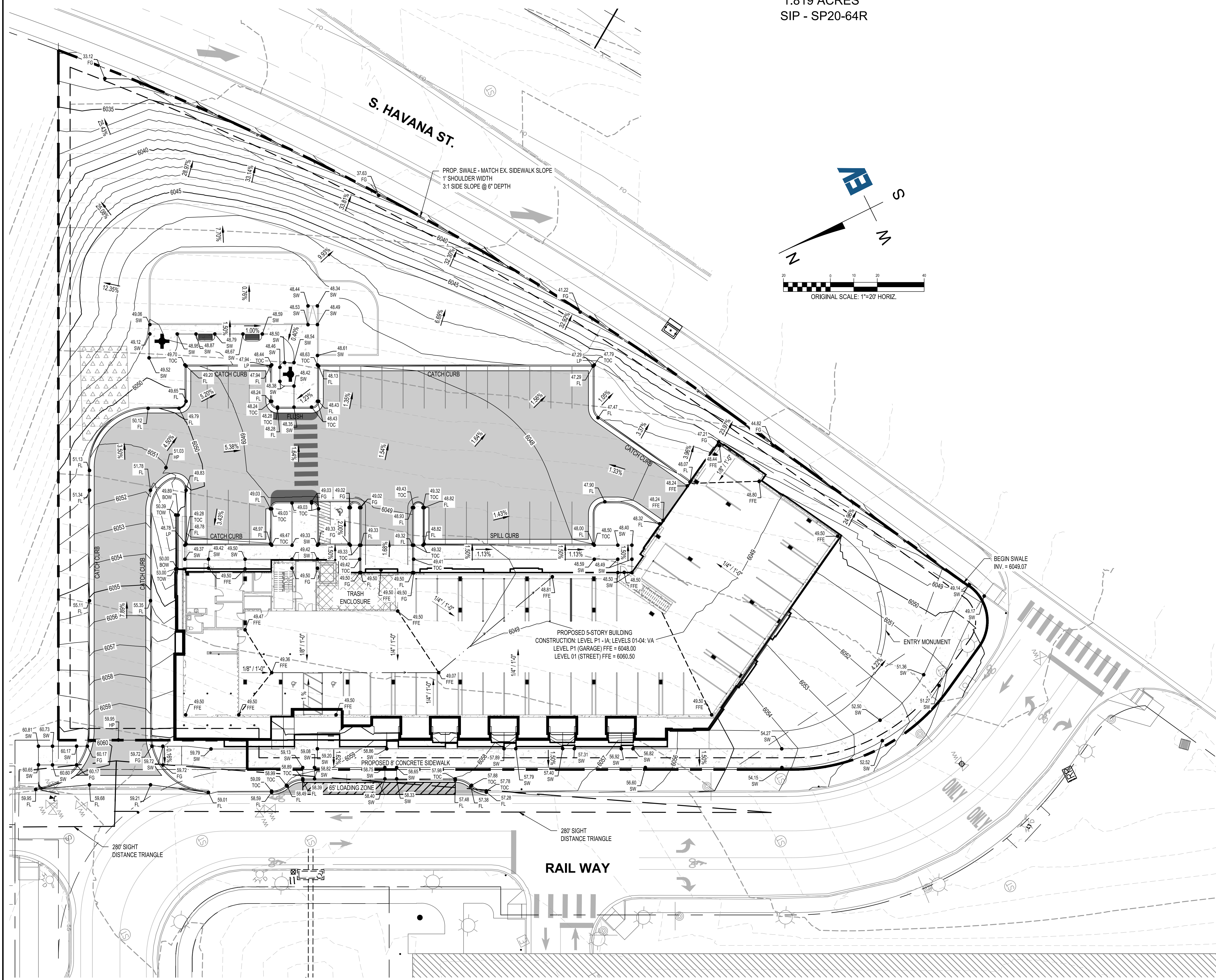
STACK Lot

landscape architecture | planning | entitlements | urban design

5639 south curtice street
 littleton, colorado 80120
 303.663.2735
 stacklot.com

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



LEGEND

EXISTING	PROPOSED	
	---	TOP OF CURB
	---	FLOWLINE
	---	CURB LIP
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
⊙	●	STORM SEWER MANHOLE
⊙	■	STORM SEWER INLET
⊙	●	SANITARY SEWER MANHOLE
⊙	●	FIRE HYDRANT
⊙	⊙	EXTERIOR LIGHTING
⊙	⊙	ADA PARKING SYMBOL
---	---	PROPERTY LINE
---	---	BUILDING SETBACK
---	---	LOT LINE
---	---	EASEMENT LINE
---	---	RIGHT OF WAY (R.O.W.) LINE
---	---	CHAINLINK FENCE
---	---	BARBED WIRE FENCE
---	---	DRAINAGE ARROW

BASIS OF BEARING

BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, AS BEARING N89°40'20"E BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 23, BEING A FOUND 1-1/2" BRASS CAP, SET IN A 6" DIAMETER CONCRETE POST AND THE CENTER QUARTER CORNER OF SAID SECTION 23 BEING FOUND 6" X 10" STONE WITH A CHISELED + ON THE TOP.

FLOODPLAIN CERTIFICATION

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN OR 500-YEAR FLOODPLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08035C0063G FOR DOUGLAS COUNTY, COMMUNITY PANEL NUMBER 0063G, MAP DATED FEBRUARY 02/17/2017.

BENCHMARK

TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTHWEST INTERSECTION OF SOUTH HAVANA STREET AND RAIL WAY.

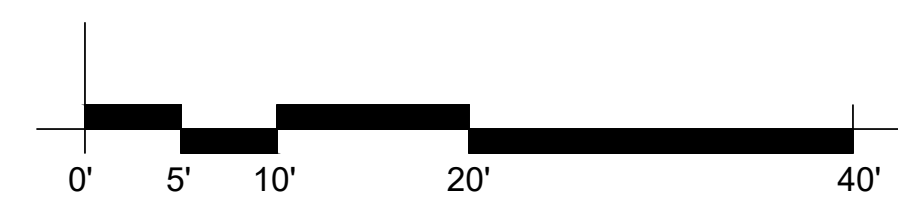
NAVD 88 ELEVATION = 6072.07 sFT

GENERAL NOTES

- ALL PROPOSED SIGNS, FREE STANDING MONUMENTS, AND BUILDING MOUNTED SIGNS WILL REQUIRE A SEPARATE PERMIT.



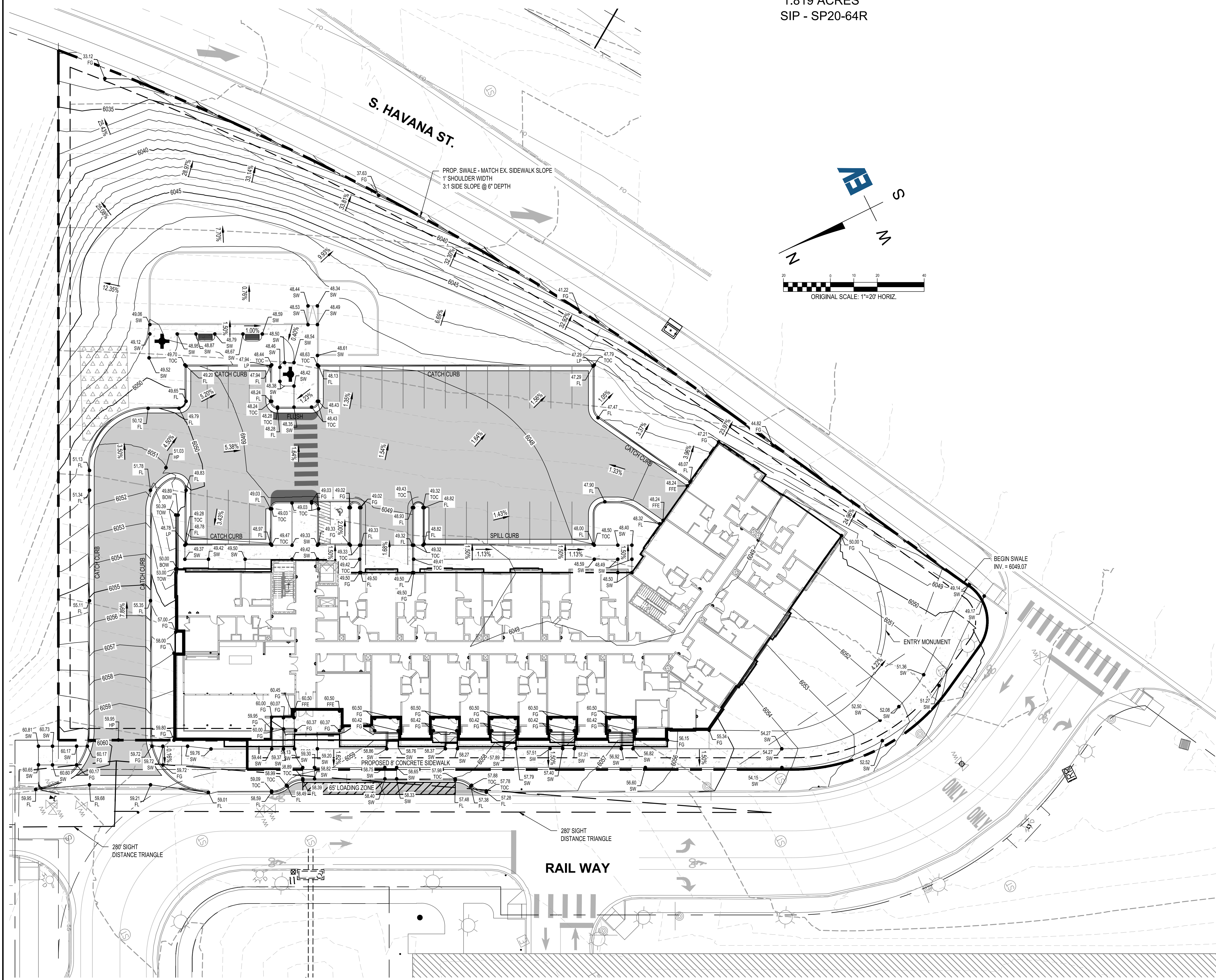
BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:		10/23/2020
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2
GRADING PLAN (LOWER)		SHEET 5.1 OF 22

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



LEGEND

EXISTING	PROPOSED	
		TOP OF CURB
		FLOWLINE
		CURB LIP
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
(S)	(S)	STORM SEWER MANHOLE
(S)	(S)	STORM SEWER INLET
(S)	(S)	SANITARY SEWER MANHOLE
(S)	(S)	FIRE HYDRANT
(S)	(S)	EXTERIOR LIGHTING
(S)	(S)	ADA PARKING SYMBOL
---	---	PROPERTY LINE
---	---	BUILDING SETBACK
---	---	LOT LINE
---	---	EASEMENT LINE
---	---	RIGHT OF WAY (R.O.W.) LINE
---	---	CHAINLINK FENCE
---	---	BARBED WIRE FENCE
---	---	DRAINAGE ARROW

BASIS OF BEARING

BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, AS BEARING N89°40'20"E BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 23, BEING A FOUND 1-1/2" BRASS CAP, SET IN A 6" DIAMETER CONCRETE POST AND THE CENTER QUARTER CORNER OF SAID SECTION 23 BEING FOUND 6" X 10" STONE WITH A CHISELED + ON THE TOP.

FLOODPLAIN CERTIFICATION

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN OR 500-YEAR FLOODPLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08035C0063G FOR DOUGLAS COUNTY, COMMUNITY PANEL NUMBER 0063G, MAP DATED FEBRUARY 02/17/2017.

BENCHMARK

TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTHWEST INTERSECTION OF SOUTH HAVANA STREET AND RAIL WAY.

NAVD 88 ELEVATION = 6072.07 sFT

GENERAL NOTES

- ALL PROPOSED SIGNS, FREE STANDING MONUMENTS, AND BUILDING MOUNTED SIGNS WILL REQUIRE A SEPARATE PERMIT.

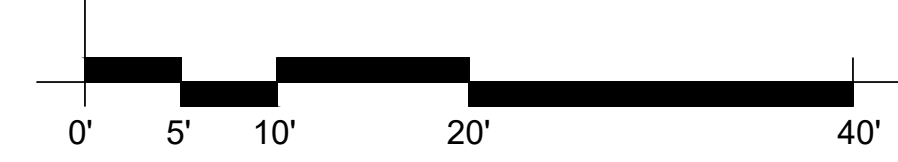


BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120

(303) 209-0073

www.bryantflink.com

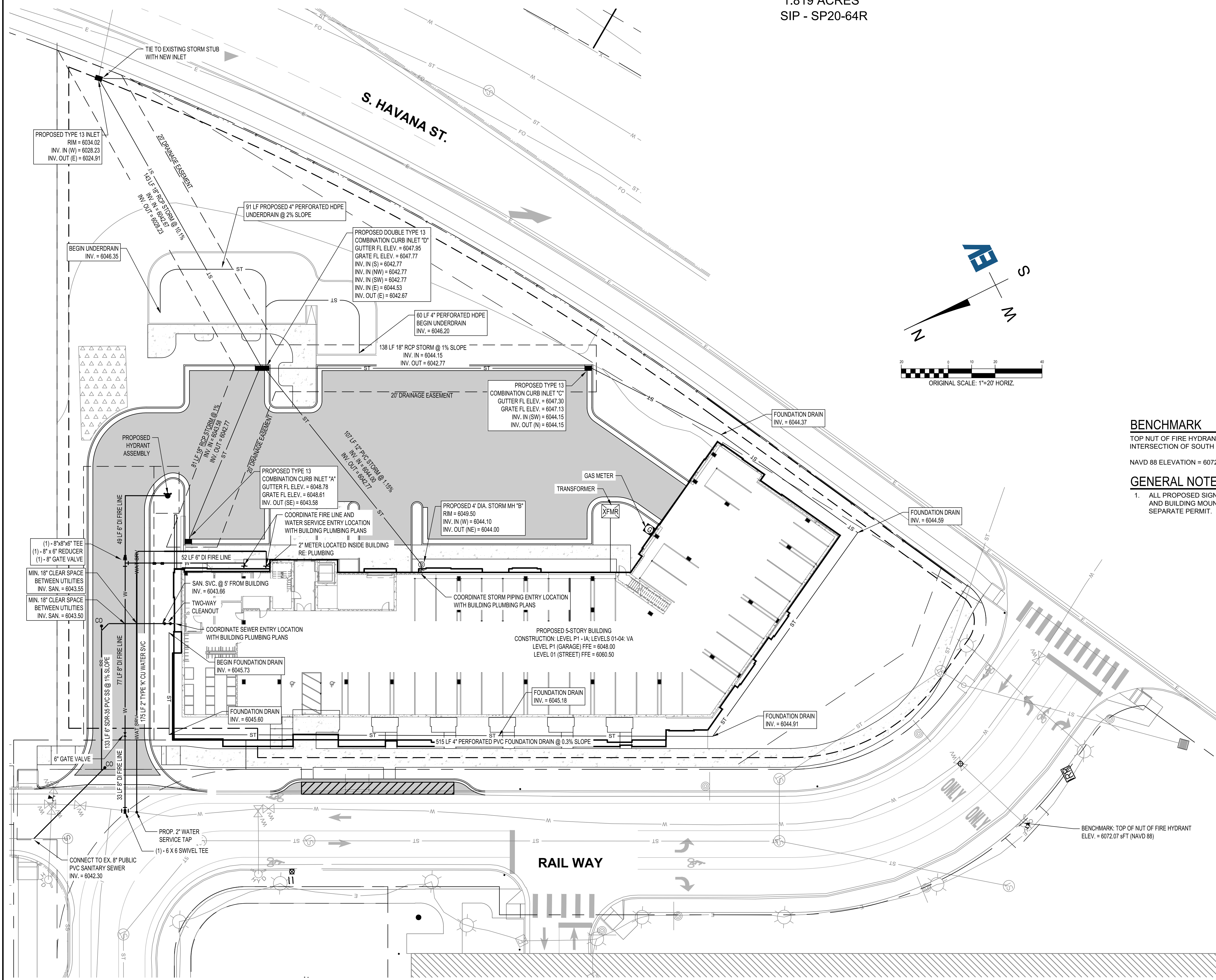
CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:		10/23/2020
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

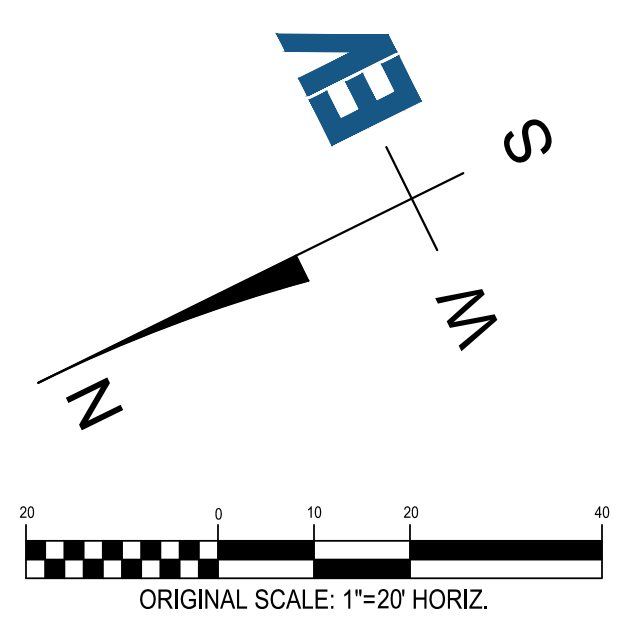
RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	TOP OF CURB
---	---	FLOWLINE
---	---	CURB LIP
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
⊙	⊙	STORM SEWER MANHOLE
⊙	⊙	STORM SEWER INLET
⊙	⊙	SANITARY SEWER MANHOLE
⊙	⊙	FIRE HYDRANT
---	---	PROPERTY LINE
---	---	BUILDING SETBACK
---	---	LOT LINE
---	---	EASEMENT LINE
---	---	RIGHT OF WAY (R.O.W.) LINE



BENCHMARK
 TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTHWEST INTERSECTION OF SOUTH HAVANA STREET AND RAIL WAY.
 NAVD 88 ELEVATION = 6072.07 sft

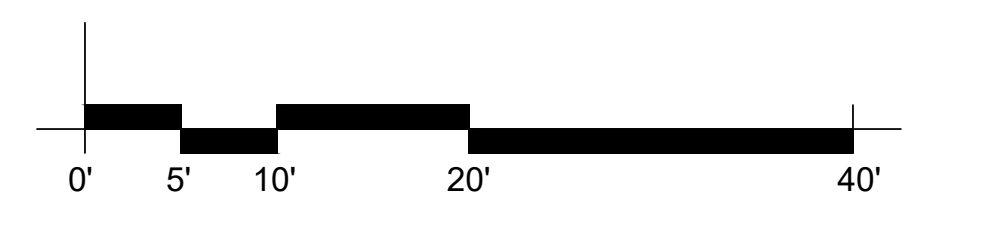
GENERAL NOTES
 1. ALL PROPOSED SIGNS, FREE STANDING MONUMENTS, AND BUILDING MOUNTED SIGNS WILL REQUIRE A SEPARATE PERMIT.

BASIS OF BEARING
 BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, AS BEARING N89°40'20"E BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 23, BEING A FOUND 1-1/2" BRASS CAP, SET IN A 6" DIAMETER CONCRETE POST AND THE CENTER QUARTER CORNER OF SAID SECTION 23 BEING FOUND 6" X 10" STONE WITH A CHISELED + ON THE TOP.

FLOODPLAIN CERTIFICATION
 THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN OR 500-YEAR FLOODPLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08035C0063G FOR DOUGLAS COUNTY, COMMUNITY PANEL NUMBER 0063G, MAP DATED FEBRUARY 02/17/2017.

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921

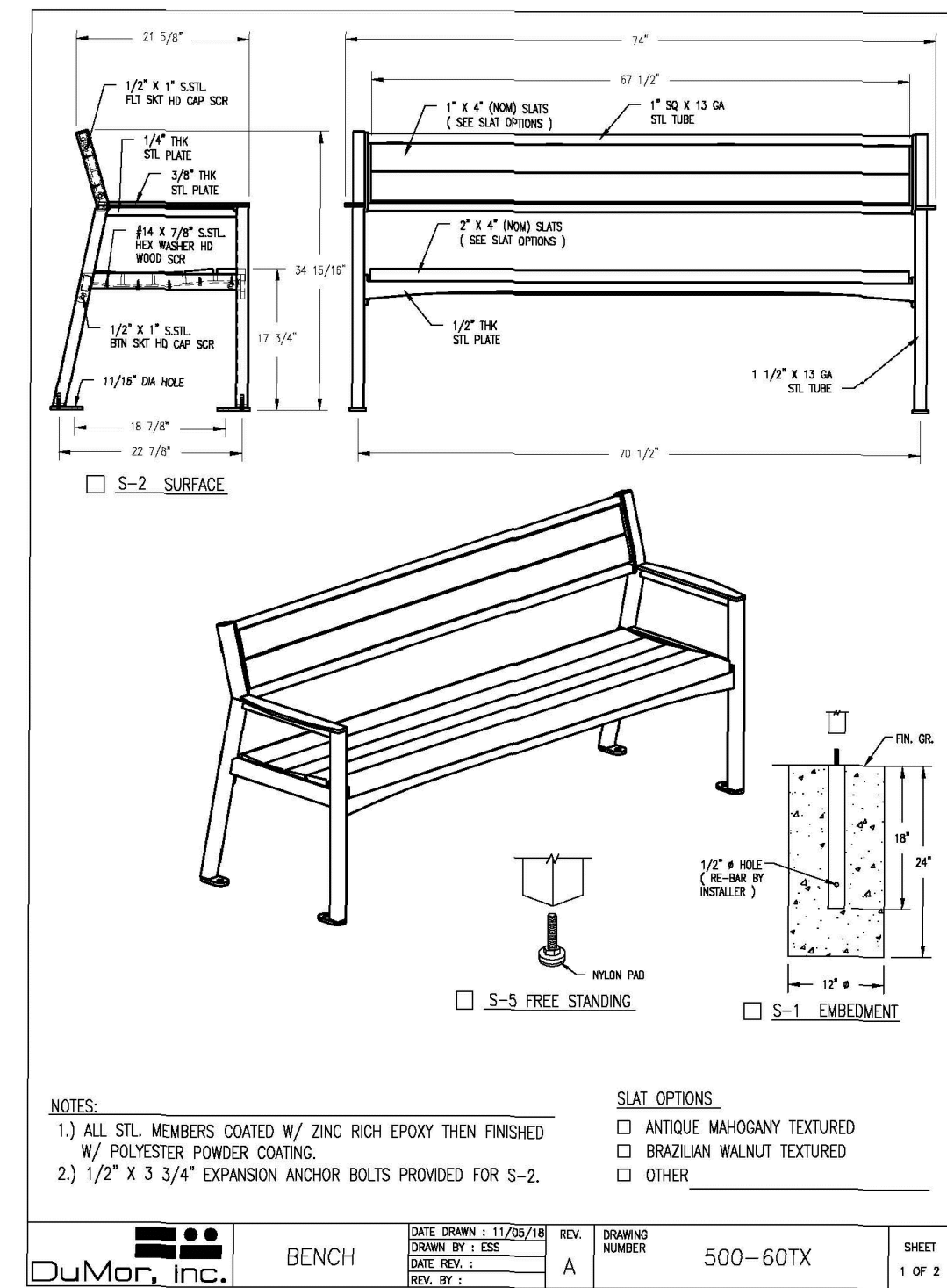


PREPARATION DATE: 10/23/2020

REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

RIDGEGATE AFFORDABLE HOUSING

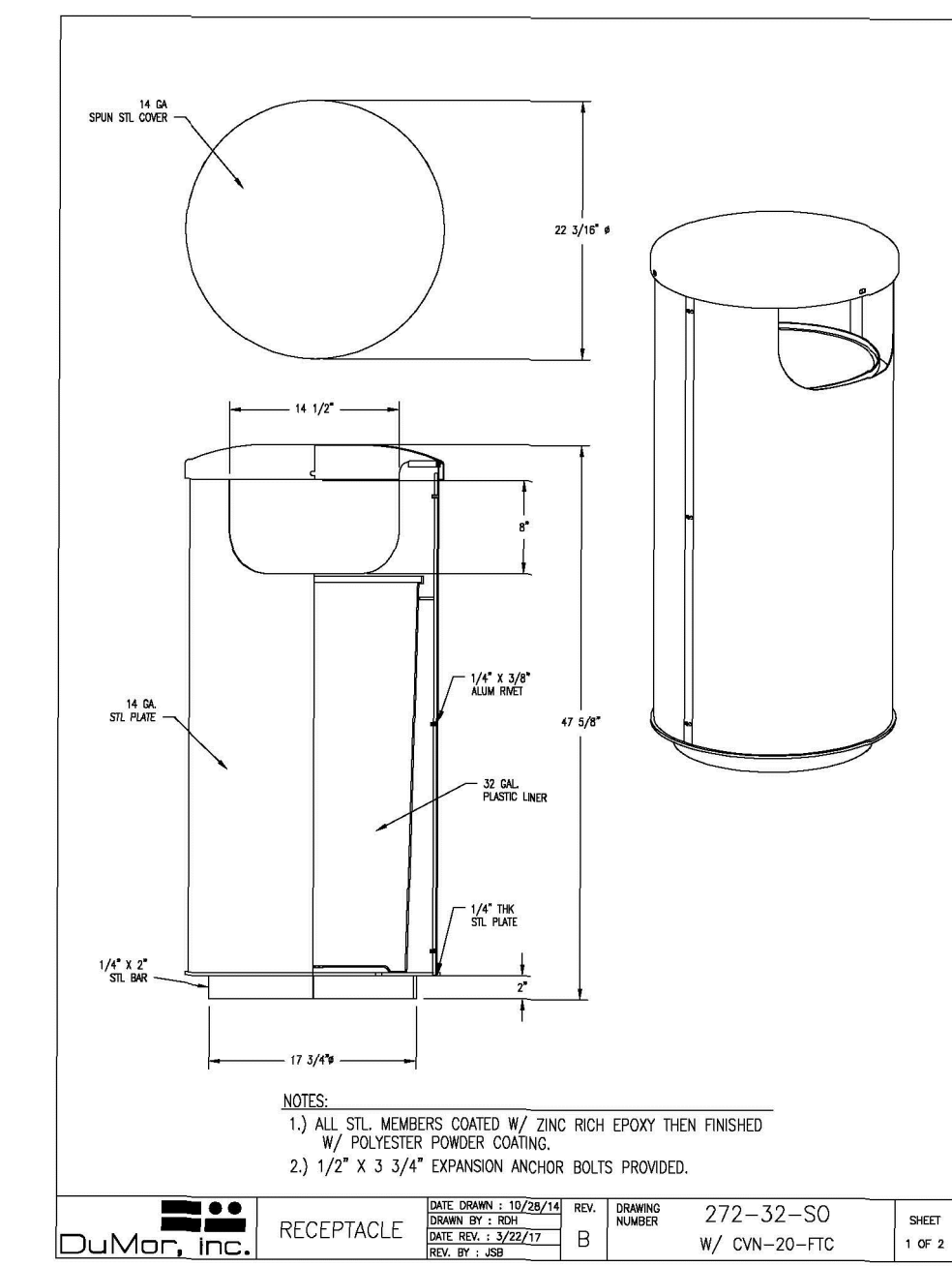
RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
1.819 ACRES
SIP - SP20-64R



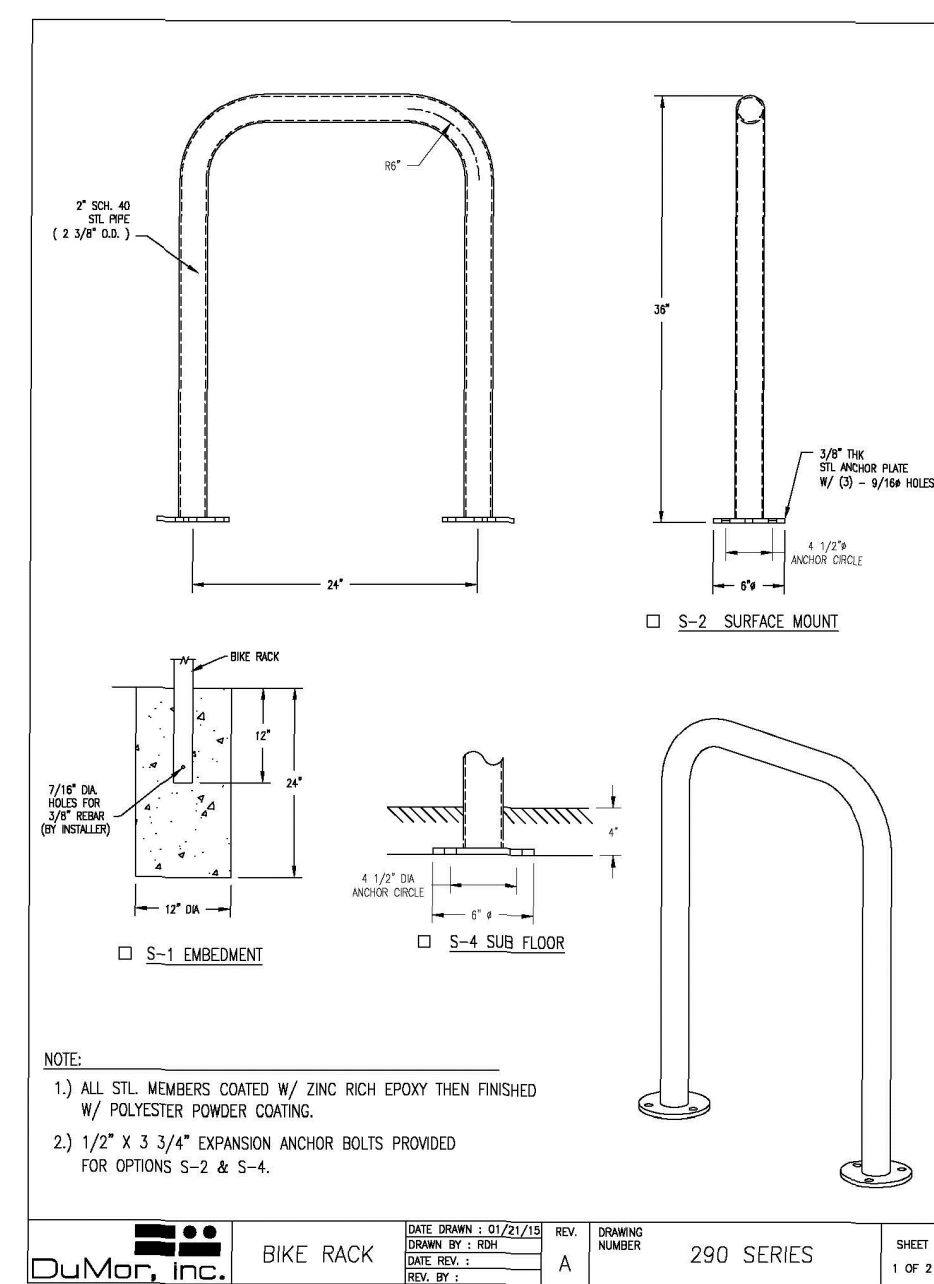
MANUFACTURER: DUMOR
MODEL: BENCH 270, WOOD, 6'
COLOR: TEXTURED CHARCOAL

CONTACT:
TELE:
EMAIL:

1 BENCH

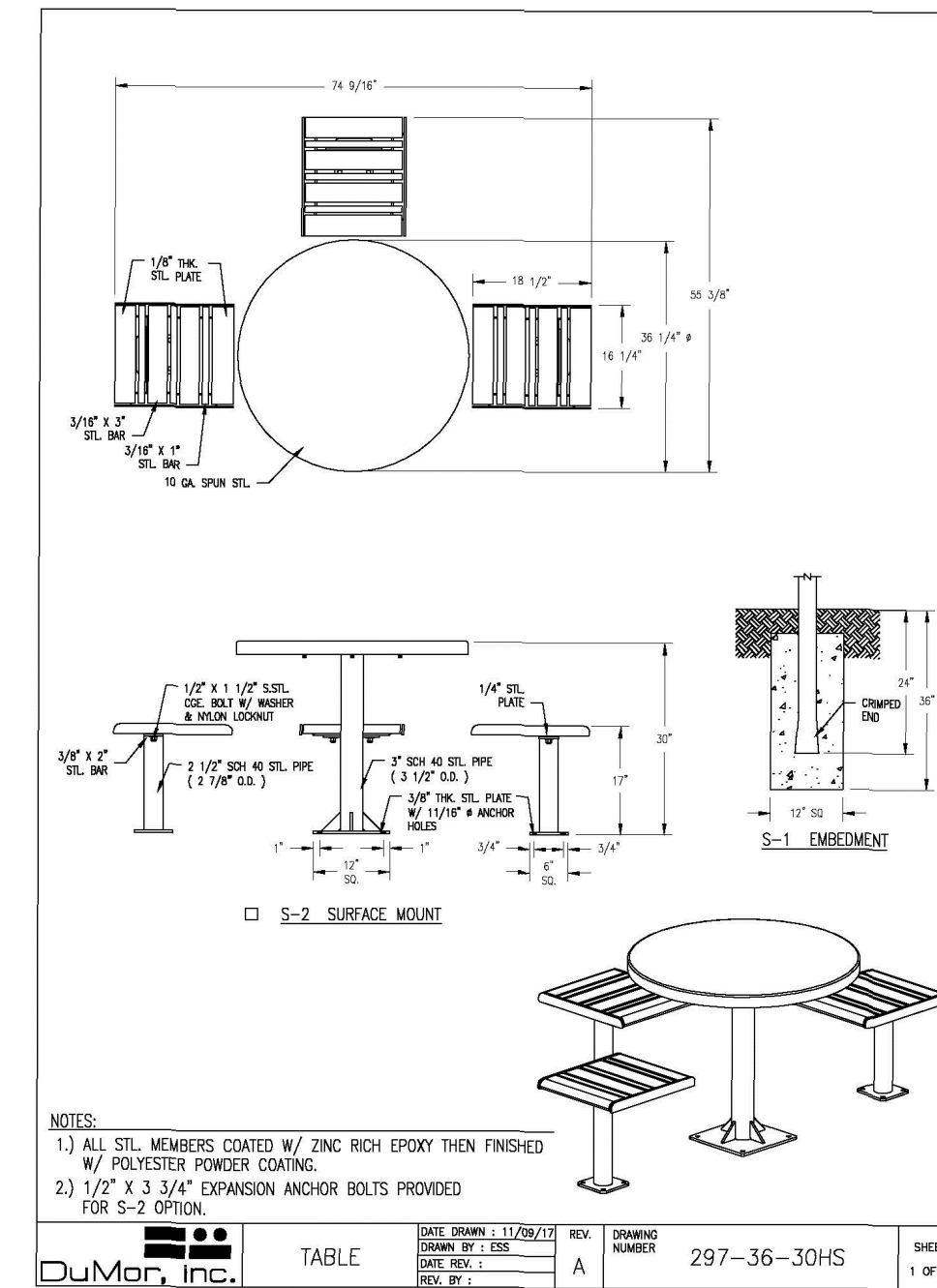


2 TRASH RECEPTACLE



4 BIKE RACK

NOT TO SCALE



5 TABLE

NOT TO SCALE

FURNISHING SPECIFICATION SCHEDULE:

FURNISHING	MANUFACTURER	MODEL	COLOR
BENCH	DU-MORE INC.	500-60TX	BLACK
TRASH RECEPTACLE	DU-MORE INC.	272-3250	BLACK
BIKE RACK	DU-MORE INC.	290-00/S-4	BLACK
TABLE	DU-MORE INC.	297-42-40HS	BLACK



BRYANT FLINK ARCHITECTURE & DESIGN
2305 WEST BERRY AVENUE
LITTLETON, CO 80120
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	10/23/2020	SIP SUBMITTAL #1
2	11/23/2020	SIP SUBMITTAL #2



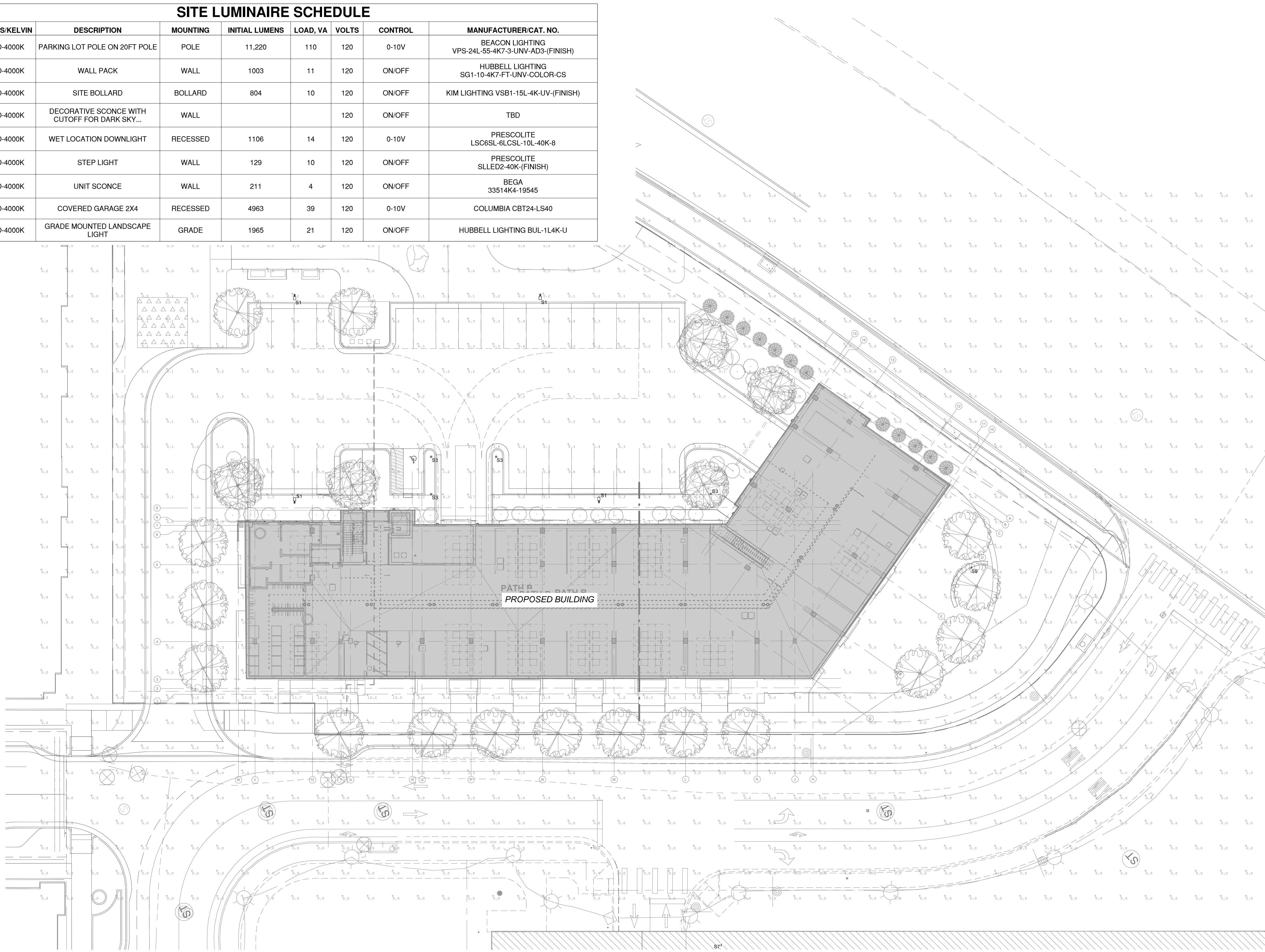
SITE FURNISHING
DETAILS

SHEET 7.0 OF 22

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R

SITE LUMINAIRE SCHEDULE								
TYPE	LAMPS/KELVIN	DESCRIPTION	MOUNTING	INITIAL LUMENS	LOAD, VA	VOLTS	CONTROL	MANUFACTURER/CAT. NO.
S1	LED-4000K	PARKING LOT POLE ON 20FT POLE	POLE	11,220	110	120	0-10V	BEACON LIGHTING VPS-24L-55-4K7-3-UNV-AD3-(FINISH)
S2	LED-4000K	WALL PACK	WALL	1003	11	120	ON/OFF	HUBBELL LIGHTING SG1-10-4K7-FT-UNV-COLOR-CS
S3	LED-4000K	SITE BOLLARD	BOLLARD	804	10	120	ON/OFF	KIM LIGHTING VSB1-15L-4K-UV-(FINISH)
S4	LED-4000K	DECORATIVE SCONCE WITH CUTOFF FOR DARK SKY...	WALL			120	ON/OFF	TBD
S5	LED-4000K	WET LOCATION DOWNLIGHT	RECESSED	1106	14	120	0-10V	PRESCOLITE LSC6SL-6LCSL-10L-40K-8
S6	LED-4000K	STEP LIGHT	WALL	129	10	120	ON/OFF	PRESCOLITE SLLED2-40K-(FINISH)
S7	LED-4000K	UNIT SCONCE	WALL	211	4	120	ON/OFF	BEGA 33514K4-19545
S8	LED-4000K	COVERED GARAGE 2X4	RECESSED	4963	39	120	0-10V	COLUMBIA CBT24-LS40
S9	LED-4000K	GRADE MOUNTED LANDSCAPE LIGHT	GRADE	1965	21	120	ON/OFF	HUBBELL LIGHTING BUL-1L4K-U



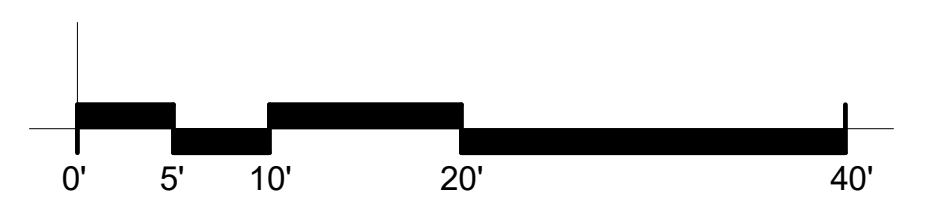
1 SITE PHOTOMETRIC PLAN
 1" = 20'-0"

B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120

(303) 209-0073
www.bryantflink.com

CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:		
REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

11/23/2020 6:18:12 PM

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
MIXED-USE COMMUTER STATION DISTRICT (MU-3)

1.819 ACRES
SIP - SP20-64R

BEACON
SMALL VIPER LUMINAIRE

VIPER S

FEATURES

- Small size compared to Viper Large
- Wide choice of different LED wattage configurations
- Fine optical distribution
- Designed to reduce HBI lighting up to 400W/16ft or HPS
- Suitable for wall locations

CONTROL TECHNOLOGY

CONSTRUCTION

- Casted with a polyester resin that meets ASTM D1707 corrosion test requirements and ASTM D3222 coating and shock test of adhesion test requirements
- IP65 polyester powder-coat electrostatically applied and thermoset. IP65 traps consist of a five stage pretreatment together with a primer and primer and top coat with a thermoset super TPC polyester powder coat finish
- The finish meets the AAMA 2604 performance specification which requires passing a 3,000-hour salt spray test for corrosion resistance and no visible coating or loss of adhesion per ASTM D3222 and meets surface impacts up to 180 ft-lbs pounds
- External hardware is corrosion resistant

OPTICS

- Castings are held together with internal brass threads soldered to the board so that it can be held replaced as a one-piece optical assembly
- One-piece silicone gasket ensures a watertight seal around the luminaire optic
- One-piece silicone gasket ensures a watertight seal around the luminaire optic

INSTALLATION

- Mounting options for horizontal and vertical location on traditional arm mounting available. Mounting hardware included

KEY DATA

Lumen Range	4,045-16,296
Wattage Range	29-106
Energy Range (lm/W)	100-124
Reported Life (Hours)	170,000-50,000
Input Current Range (amps)	0.1-1.1

HUBBELL
Outdoor Lighting

SLING Series
SLENDER WALLPACK

tradeSELECT

FEATURES

- Two sizes for a variety of applications
- Ranges from 2W to 80W with up to 8000 lumens
- SGI Series replaces from 100W/100W HBI; SGI2 Series replaces from 100W/200W HBI
- Comfort lens available as an option or accessory provides glare control and enhanced uniformity
- Knuckle and trimmer accessory mounting kits available for flood applications
- IP65 and certified to UL 1588 for use in wet locations up to 40°C ambient
- DLC Designlights Consortium Qualified - see www.designlights.org

CONSTRUCTION

- Manufactured with die cast aluminum housing with optional anodized or dimming trimmer dimming with bronze show or 8000 lumens
- In addition, Viper can be specified with wiring leads for dimming controls
- Components incorporated within the luminaire may carry no more than 80% of rated load and is certified by UL for use at 600VAC at 50°C or higher
- Plug disconnects are certified by UL for use at 600VAC, 15A or higher. 15A rating applies to primary (AC) side only
- Fixture electrical compartment contains all LED driver components
- Optional 7-pin ANSI C83.6-2003 Two-Loop photo control receptacle available. Compliant with ANSI C83.6-4 external wireless control device
- Ambient operating temperature 40°C to 23°C
- Surge protection 20kA
- UL950 "Curve One" Electrical Data

WARRANTY

- 5 year warranty
- See UL Commercial and Industrial Outdoor Lighting Warranty for additional information

KEY DATA

Lumen Range	2263-8079
Wattage Range	21-80
Energy Range (lm/W)	102-112
Reported Life (Hours)	170,000
Weights lbs. (kg)	4.3 (1.9) (2.5)

KIMLIGHTING

VSBI LED Square Bollard
Single Function, Vandal-Resistant, Aluminum Shaft
revision 1.2/15/18 • SL_Vsbi_led_sq.pdf

Approval:

Type: Flood Module
Job: Top Cap and Bush
Catalog number:

Specifications
10 - 20 Diodes

VSBI - Single Function Luminaire (Aluminum Shaft)
Maximum weight: 25 lb

Top Cap: One-piece, die-cast low copper (<0.05% Cu) aluminum 316 minimum thickness, secured to knuckles by concealed stainless steel allen screws in hydrolock. For reamping access, allen screws shall not require complete removal.

Lamp Enclosure: One-piece tempered indolite glass with internal flues and full silicone gasketing at bottom edge.

Anchor Bolts: Four 1/8" x 10" x 2" zinc plated Locks, each with knuckle washers and a rigid pressed board template.

Finish: Each luminaire receives a fade and abrasion resistant, electrostatically applied thermally cured, rigidized polyurethane (TCC) polyester powdercoat finish. Standard colors include RAL Black, Dark Bronze, White, White, IPS Platinum Silver, Sea Salt, Light Gray, (IC Light Gray, and ICC Custom Color (include RAL).

Lead to: UL 1798 Standard for Luminaires - UL 8750 Standard for Light Emitting Diode (LED) Equipment for use in Lighting Products and CSA C22.2-2750 Luminaires. RoHS compliant. Meets American provisions within ABMA.

Warranty: Kim Lighting warrants Bollard LED products sold by Kim Lighting to be free from defects in material and workmanship for (i) a period of five (5) years for metal parts, (ii) a period of five (5) years for exterior housing paint finishes, (iii) a period of five (5) years for LED light engines and, (iv) a period of five (5) years for LED power components driver, surge protector and ballast/LED devices from the date of sale of such goods to the buyer as specified in Kim Lighting technical data sheets for each product.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

KEY DATA

Lumen Range	2263-8079
Wattage Range	21-80
Energy Range (lm/W)	102-112
Reported Life (Hours)	170,000
Weights lbs. (kg)	4.3 (1.9) (2.5)

6" LED Downlight
LC65L
1000/1400/1800 Lumens
120V/277V, 347V
0-10V Dimming

LED DRIVER:
The CS&S utilizes a constant current LED driver. This same driver is capable of driving three different lumens outputs, resulting in a reduction of housing size and simplified specification. The driver is UL950, Class B compliant and universal 120V/277V.

HOUSING:
Orepanex 22 gauge non-corrosive steel platform. The steel plate will support over 100 lbs. In connection from driver component allow easy installation of light engine into assembly and can be upgraded to accommodate technology improvements. Approvals for 8 ft. and 6 ft. No. 17, 4000 lumens rated for 90°C through wiring.

REFLECTOR:
High purity aluminum, Anodized, anodized suspended, semi-reflective. Surface standard. Painted white with silver (WV) available as option.

LED LIGHT ENGINE:
The CS&S uses the lowest Nichia LEDs, specifically rated to provide a minimum of 80,000 hours of life. LED color consistency. The use of multi-chip power LEDs allows for optimal thermal management by effectively spreading the heat over a larger area and eliminating hot spots on the LEDs. A driver, or highly responsive heat sink, allows the use of LEDs to create a smooth, even look from below. The light engine is available in multiple Kelvin temperatures and the system is designed to provide optimal life.

WARRANTY:
5 year warranty. See www.prescolite.com for details.

INSTALLATION:
Light commercial bar hangers included that will support up to 100 lbs. Universal adjustable mounting brackets also included by OEM standard. Painted white with silver (WV) available as option.

KEY DATA

Lumen Range	1000-1800
Wattage Range	21-80
Energy Range (lm/W)	102-112
Reported Life (Hours)	170,000
Weights lbs. (kg)	4.3 (1.9) (2.5)

LifeFrame

LC65L 10L & 14L

ACCESSORIES

EXAMPLE: CS&S-AC-14-1830W

KEY DATA

Lumen Range	1000-1800
Wattage Range	21-80
Energy Range (lm/W)	102-112
Reported Life (Hours)	170,000
Weights lbs. (kg)	4.3 (1.9) (2.5)

BEACON
SMALL VIPER LUMINAIRE

VIPER S

LED Step Lights
SILED1
SILED2
SILED3
Wet Location and IC Rated
120V - 277V

FACE PLATE:
The LED step light is ideal for a wide variety of interior and exterior applications including commercial, retail and residential applications. Faceplate should be installed in applications where ambient temperature do not exceed 50°C (122°F). Installations in applications that exceed this temperature will result in a reduction of lamp life.

LED LIGHT ENGINE:
Each lamp consists of LED modules mounted on a lead aluminum heat sink to ensure optimal performance and 50,000-hour life at 75°C ambient temperature.

LED DRIVER:
120V - 277V Solid state electronic 350mA constant current CC class B driver. 50,000-hour minimum anticipated life. Rated for 30°C starting temperature. Driver is accessible through the housing for servicing.

WARRANTY:
5 year warranty available. Go to www.prescolite.com for full details.

KEY DATA

Lumen Range	4,045-16,296
Wattage Range	29-106
Energy Range (lm/W)	100-124
Reported Life (Hours)	170,000-50,000
Input Current Range (amps)	0.1-1.1

HUBBELL
Outdoor Lighting

LifeStep

TYPE S1

TYPE S2

TYPE S3

TYPE S4

TYPE S5

TYPE S6

TYPE S7

TYPE S8

TYPE S9

KEY DATA

Lumen Range	2263-8079
Wattage Range	21-80
Energy Range (lm/W)	102-112
Reported Life (Hours)	170,000
Weights lbs. (kg)	4.3 (1.9) (2.5)

Columbia
LIGHTING

CBT
BACKLIT PROPAGER

tradeSELECT

FEATURES

- Samebody luminaire technology
- 4800/3300/2750 lumens (M and 2M)
- 5000/4000/3300 lumens (2M)
- 1/4, 2/4, 3/4, and 2/4 sizes
- 80 CR
- 0-10V dimming to 10%
- Recycled or surface mount
- Universal voltage (120-277V)
- UL-rated
- Section even illumination across the top of the luminaire

CONSTRUCTION

- Aluminum zinc frame has a white white finish
- Luminaire housing is die formed code grade

OPTICS

- Aspheric micro-optics over each LED provide uniform illumination without pedestal or bright spots
- Frosted/polished lens provides smooth surface brightness

INSTALLATION

- 1/8" Torx Torx pins for secure mounting to grid ceiling
- For surface mount applications use surface mount kit accessories

KEY DATA

Lumen Range	2441-5964
Wattage Range	24-50
Energy Range (lm/W)	102-112
Reported Life (Hours)	170,000

COLT
COMPACT FLOOD

HUBBELL
Outdoor Lighting

tradeSELECT

FEATURES

- LED luminaire is a versatile, compact floodlight for landscape, accent, pool, column, facade, and small area illumination
- Single driver, 500mA driver current
- 120V/277V
- 500/642

CONSTRUCTION

- Cast aluminum construction with heat dissipating fins on side of housing
- Traditional 1/2" x 1/4" NPT threaded adjustable knuckle mounting
- Adjustable swivel for easy aiming in 5 degree increments
- All units have dark bronze paint finish
- Rotatable head for adjustable beam control
- Accessory kits available for transition mount and color/filtered light applications

WARRANTY:
For more information visit: www.prescolite.com

Operating Temperature:
-30°C to 40°C

KEY DATA

Lumen Range	2441-5964
Wattage Range	24-50
Energy Range (lm/W)	102-112
Reported Life (Hours)	170,000

prescolite
A Division of Hubbell Lighting, Inc.

BRYANT FLINK ARCHITECTURE & DESIGN
2305 WEST BERRY AVENUE
LITTLETON, CO 80120
(303) 209-0073
www.bryantflink.com
CONTACT:
Rebecca Wilson
rwilson@bryantflink.com
(720) 638-9921

PHOTOMETRICS
CUT-SHEETS

SHEET 8.1 OF 10

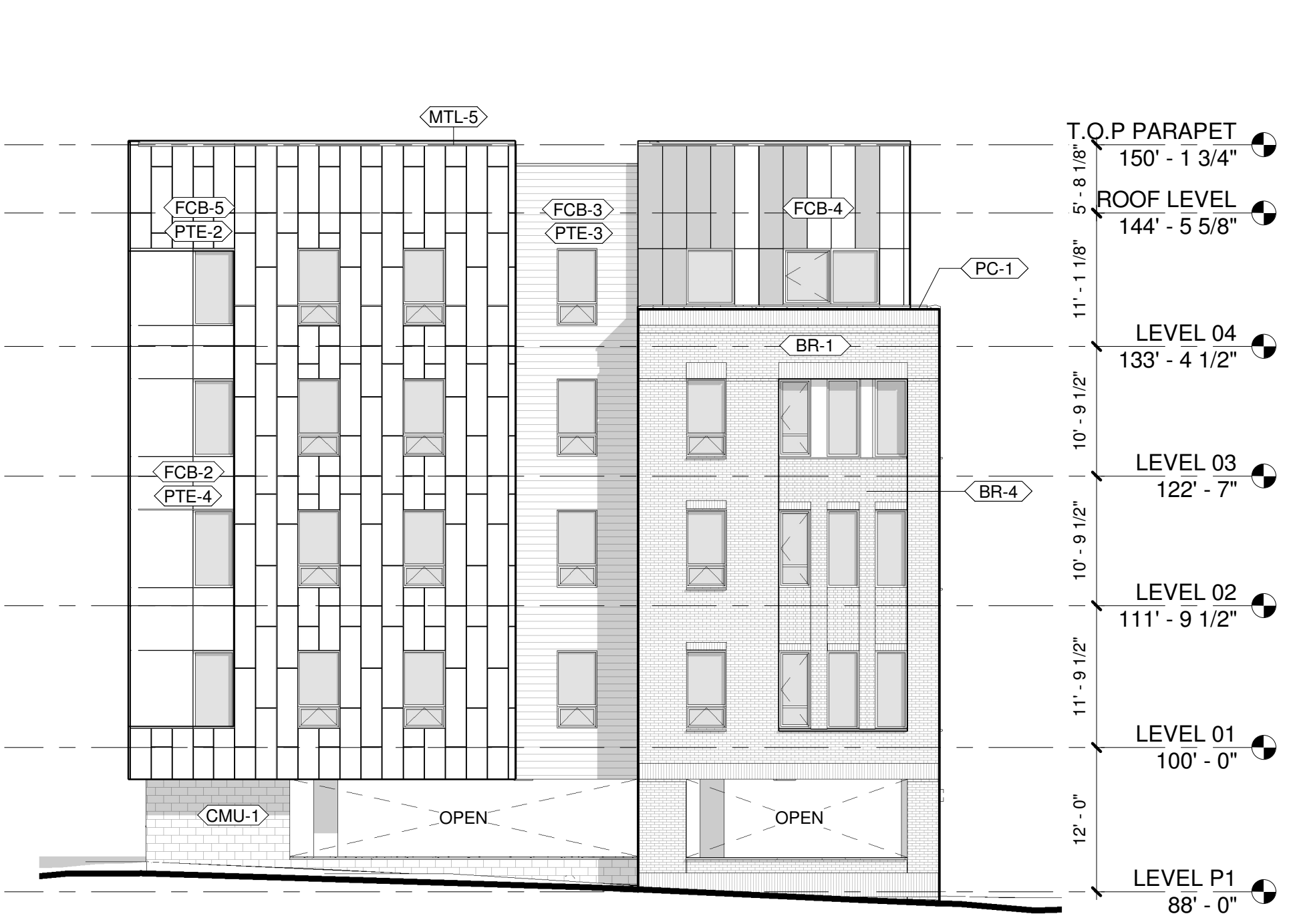
RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R

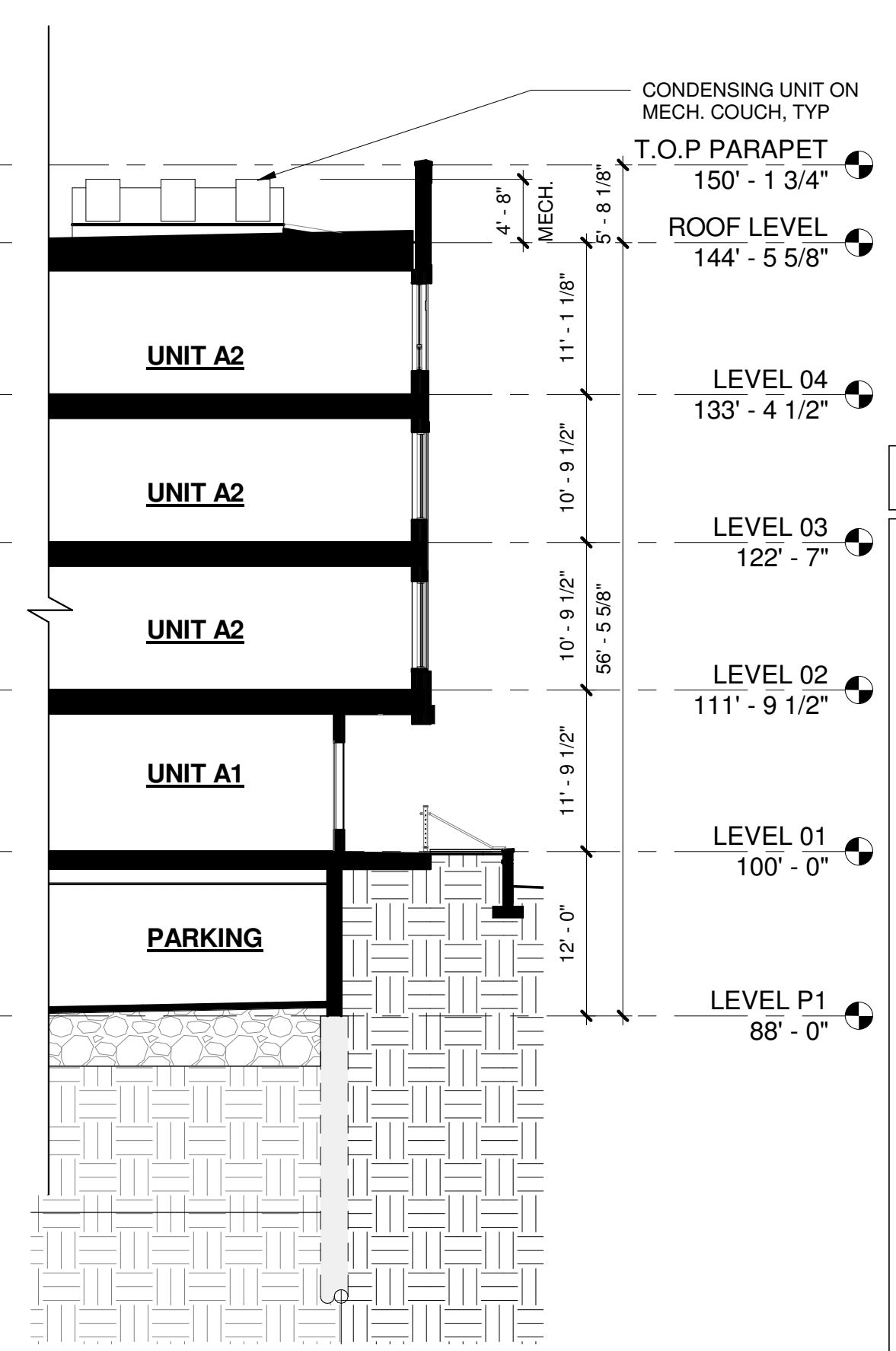


1 OVERALL ELEVATION - WEST 2
 3/32" = 1'-0"

2 OVERALL ELEVATION - WEST
 3/32" = 1'-0"



3 OVERALL ELEVATION - SOUTH ELEVATION
 3/32" = 1'-0"



4 BUILDING SECTION AT PLANTER
 3/32" = 1'-0"

1 OVERALL ELEVATION - WEST 2
 3/32" = 1'-0"

ELEVATION KEYNOTES

- 05 5000.X METAL PANEL CLAD AWNING W/ C-CHANNEL FASCIA
- 08 5313.A SCHEDULED GLAZING; ECO VINYL SERIES EFS 5000

NOTES
 1. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
 2. EXTERIOR DOWNSPOUTS, IF ADDED, SHALL BE PAINTED TO MATCH ADJACENT BUILDING MATERIAL.

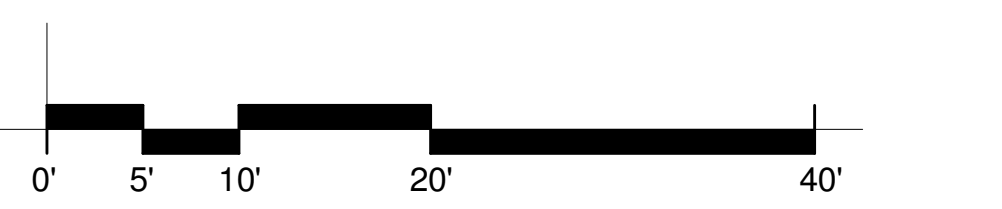
MATERIAL LEGEND

- DIVISION 03 - CONCRETE**
 - PC-1 Precast Parapet Cap Color: TBD re: 03 2000
 - PC-2 Precast Sill Color: TBD re: 03 2000
- DIVISION 04 - MASONRY**
 - BR-1 Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: Running bond
 - BR-2 Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: Stacked, recessed
 - BR-3 Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: Modified Flemish Bond, recessed
 - BR-4 Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: English Bond, recessed
- DIVISION 05 - METALS**
 - MTL-1 Metal Railing System Paint - PTE-1
 - MTL-2 Steel Column Paint - PTE-1
 - MTL-3 Metal Panel Clad Canopy Metal Panel TBD; C-Channel Fascia - PTE-1
 - MTL-4 Metal Shadow Box Metal Plate - XXX
 - MTL-5 Metal Parapet Cap Paint - PTE-1
- DIVISION 06 - FINISHES**
 - PTE-1 Exterior Paint SW 7020 Black Fox
 - PTE-2 Exterior Paint SW 7019 Gauntlet Gray
 - PTE-3 Exterior Paint SW 7018 Dovetail
 - PTE-4 Exterior Paint SW 9170 Acier
 - PTE-5 Exterior Paint SW 7017 Dorian Gray
 - PTE-6 Exterior Paint SW 7016 Mindful Gray
 - PTE-7 Exterior Paint SW 7015 Repose Gray
- DIVISION 07 - THERMAL & MOISTURE PROTECTION**
 - FCB-1 Fiber Cement Board Hardie Artisan V-Groove; 7" exposure; Vertical, Color: PTE-2, re: 07 4213
 - FCB-2 Fiber Cement Board HardiePanel - Smooth, 5/16" Panel, Color: PTE-4, PTE-5; re: 07 4213
 - FCB-3 Fiber Cement Board HardiePlank - Horizontal Lap Siding, 7" exposure, Color: PTE-3 re: 07 4213
 - FCB-4 Fiber Cement Board Hardie Reveal - Vertical, Recessed trim, Concealed fasteners, 7/16" Panel, Color PTE-2, PTE-4, PTE-5, PTE-6, PTE-7 re: 07 4213
 - FCB-5 Fiber Cement Board Hardie Reveal - Vertical Staggered Seam, Recessed trim, Concealed fasteners, 7/16" Panel, Color PTE-2, re: 07 4213
 - FCB-6 Fiber Cement Board Nichiha Architectural Wall Panel; orientation per Elevations, Vintagewood, Color: Bark, Ash, Cedar, re: 07 4213
- DIVISION 08 - OPENINGS**
 - GL-1 Glass U-0.38 fixed; U0.45 operable, re: 08 8000
 - GL-2 Glass U-0.38 fixed; U0.45 operable, re: 08 8000
- DIVISION 09 - FINISHES**
 - CMU-1 CMU Basalite (modular) - Color: 600R, Finish: Ground face, re: 04 2000

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



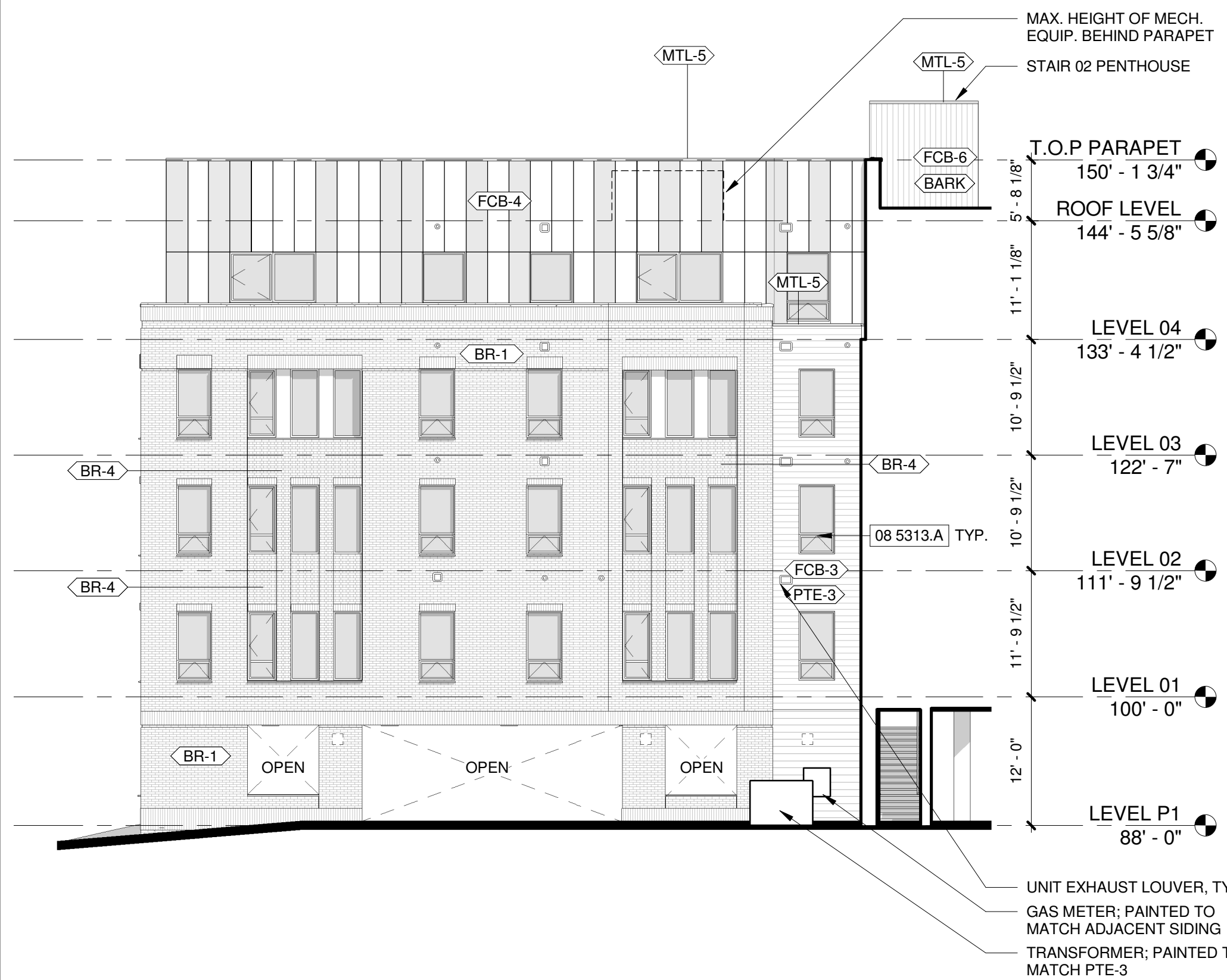
PREPARATION DATE: _____

NO.	DATE	REVISION / COMMENTS	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1	
2	11/23/20	SIP SUBMITTAL #2	

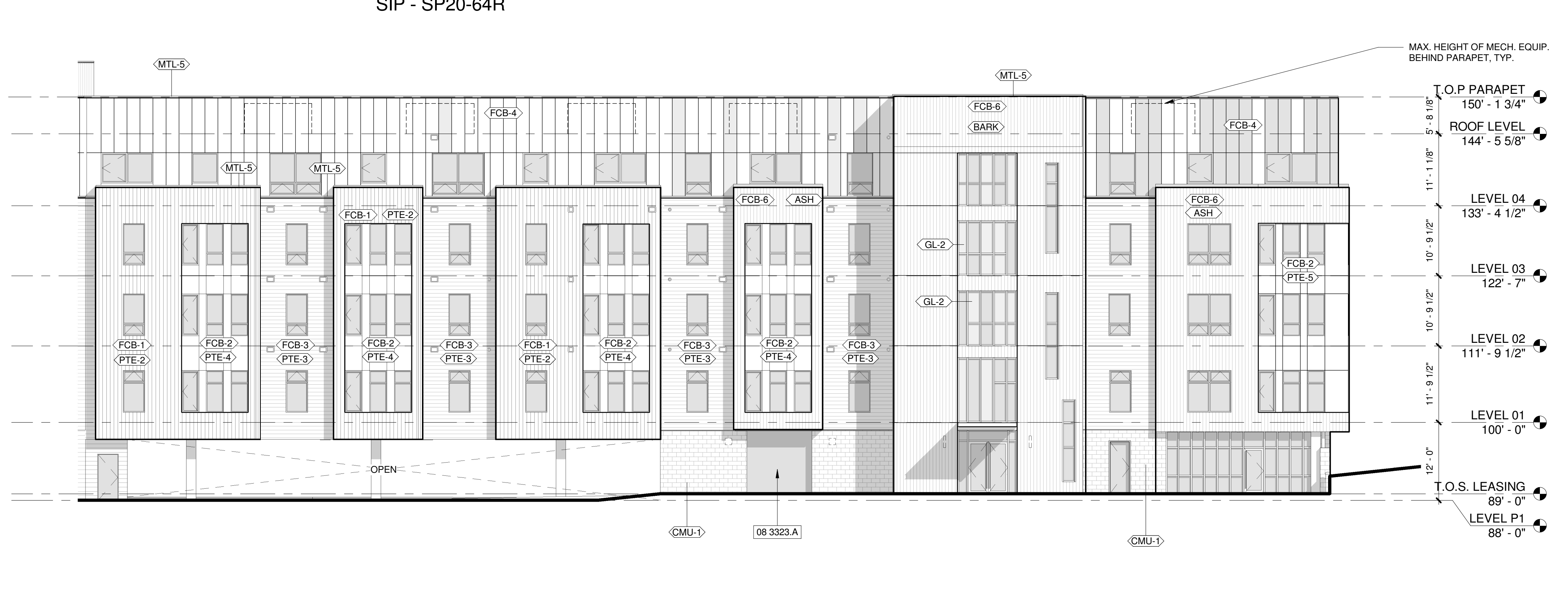
11/20/2020 12:44:56 PM

RIDGEGATE AFFORDABLE HOUSING

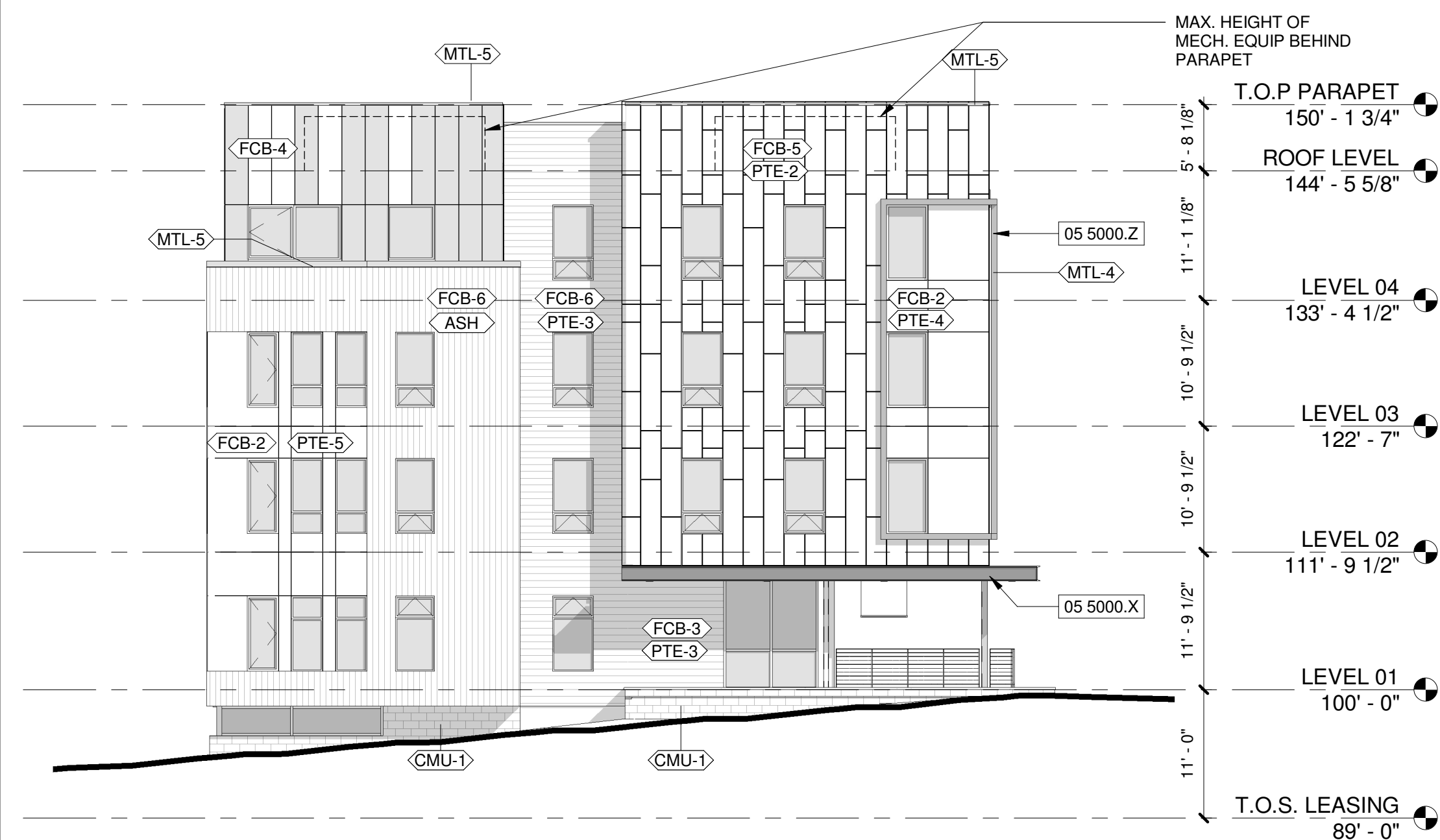
RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



2 OVERALL ELEVATION - EAST ELEVATION-S
 3/32" = 1'-0"



1 OVERALL ELEVATION EAST-ELEVATION-N
 3/32" = 1'-0"



3 OVERALL ELEVATION NORTH ELEVATION
 3/32" = 1'-0"

ELEVATION KEYNOTES

05 5000.X	METAL PANEL CLAD AWNING W/ C-CHANNEL FASCIA
05 5000.Z	METAL SHADOW BOX FEATURE
08 3323.A	SCHEDULED COILING DOOR
08 5313.A	SCHEDULED GLAZING; ECO VINYL SERIES EFS 5000

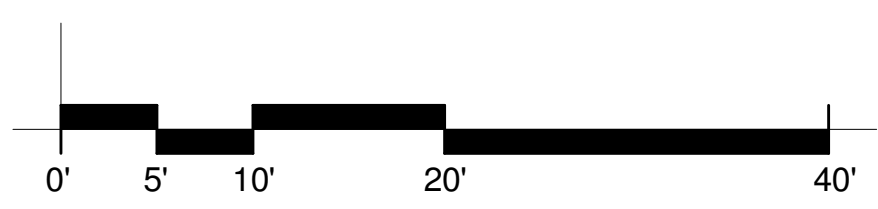
NOTES
 1. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
 2. EXTERIOR DOWNSPOUTS, IF ADDED, SHALL BE PAINTED TO MATCH ADJACENT BUILDING MATERIAL.

MATERIAL LEGEND

DIVISION 03 - CONCRETE		DIVISION 07 - THERMAL & MOISTURE PROTECTION	
PC-1	Precast Parapet Cap Color: TBD re: 03 2000	FCB-1	Fiber Cement Board Hardie Artisan V-Groove; 7" exposure; Vertical, Color: PTE-2, re: 07 4213
PC-2	Precast Sill Color: TBD re: 03 2000	FCB-2	Fiber Cement Board HardiePanel - Smooth, 5/16" Panel, Color: PTE-4, PTE-5; re: 07 4213
DIVISION 04 - MASONRY		FCB-3	Fiber Cement Board HardiePlank - Horizontal Lap Siding, 7" exposure, Color: PTE-3 re: 07 4213
BR-1	Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: Running bond	FCB-4	Fiber Cement Board Hardie Reveal - Vertical, Recessed trim, Concealed fasteners, 7/16" Panel, Color PTE-2, PTE-4, PTE-5, PTE-6, PTE-7 re: 07 4213
BR-2	Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: Stacked, recessed	FCB-5	Fiber Cement Board Hardie Reveal - Vertical Staggered Seam, Recessed trim, Concealed fasteners, 7/16" Panel, Color PTE-2, re: 07 4213
BR-3	Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: Modified Flemish Bond, recessed	FCB-6	Fiber Cement Board Nichiha Architectural Wall Panel; orientation per Elevations, Vintagewood, Color: Bark, Ash, Cedar, re: 07 4213
BR-4	Brick Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000 Pattern: English Bond, recessed	DIVISION 08 - OPENINGS	
CMU-1	CMU Basalite (modular) - Color: 600R, Finish: Ground face, re: 04 2000	GL-1	Glass U-0.38 fixed; U0.45 operable, re: 08 8000
DIVISION 05 - METALS		GL-2	Glass U-0.38 fixed; U0.45 operable, re: 08 8000
MTL-1	Metal Railing System Paint - PTE-1	DIVISION 09 - FINISHES	
MTL-2	Steel Column Paint - PTE-1	PTE-1	Exterior Paint SW 7020 Black Fox
MTL-3	Metal Panel Clad Canopy Metal Panel TBD; C-Channel Fascia - PTE-1	PTE-2	Exterior Paint SW 7019 Gauntlet Gray
MTL-4	Metal Shadow Box Metal Plate - XXX	PTE-3	Exterior Paint SW 7018 Dovetail
MTL-5	Metal Parapet Cap Paint - PTE-1	PTE-4	Exterior Paint SW 9170 Acier
		PTE-5	Exterior Paint SW 7017 Dorian Gray
		PTE-6	Exterior Paint SW 7016 Mindful Gray
		PTE-7	Exterior Paint SW 7015 Repose Gray

B F A D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



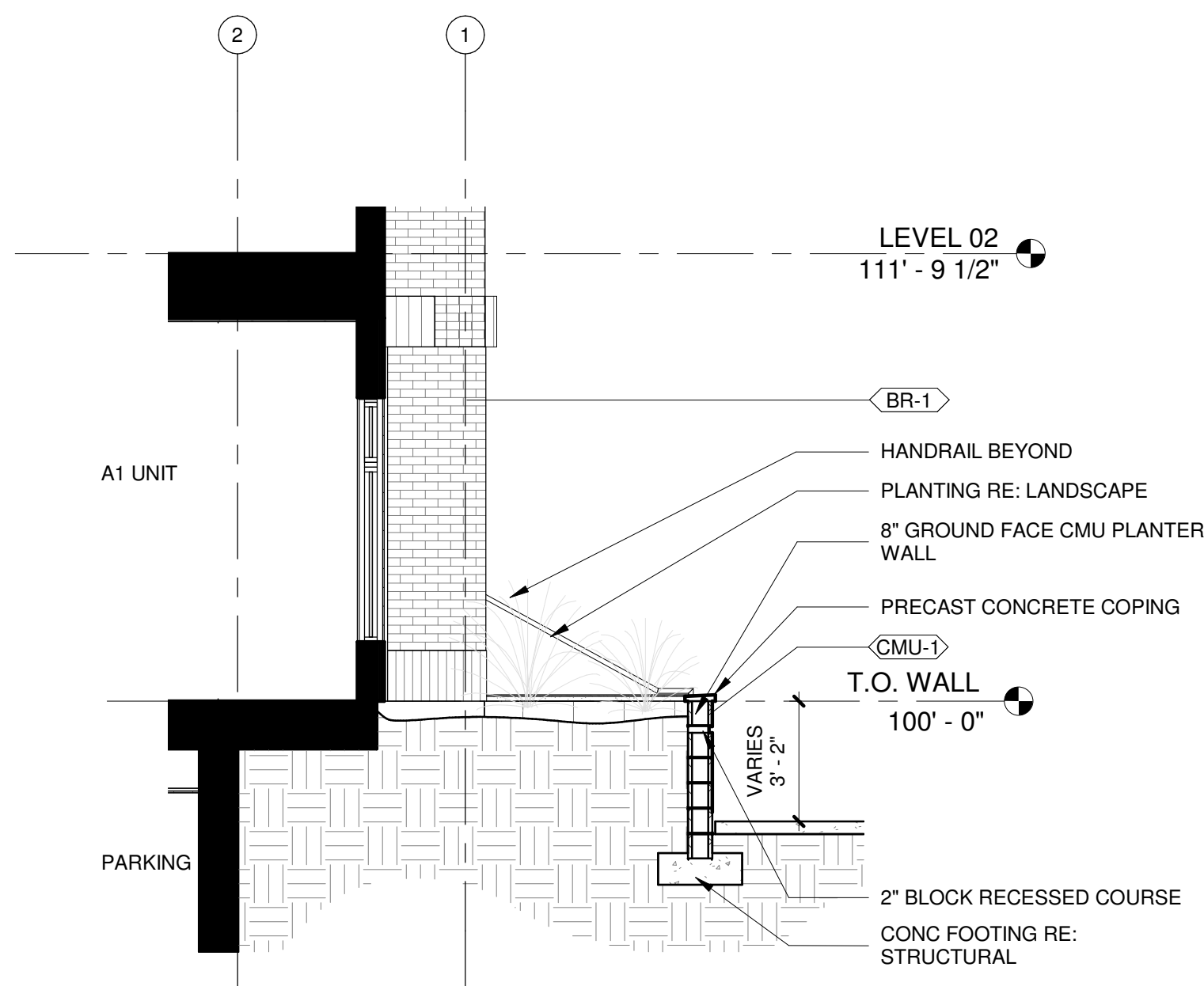
PREPARATION DATE: _____

NO.	DATE	REVISION / COMMENTS	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1	
2	11/23/20	SIP SUBMITTAL #2	

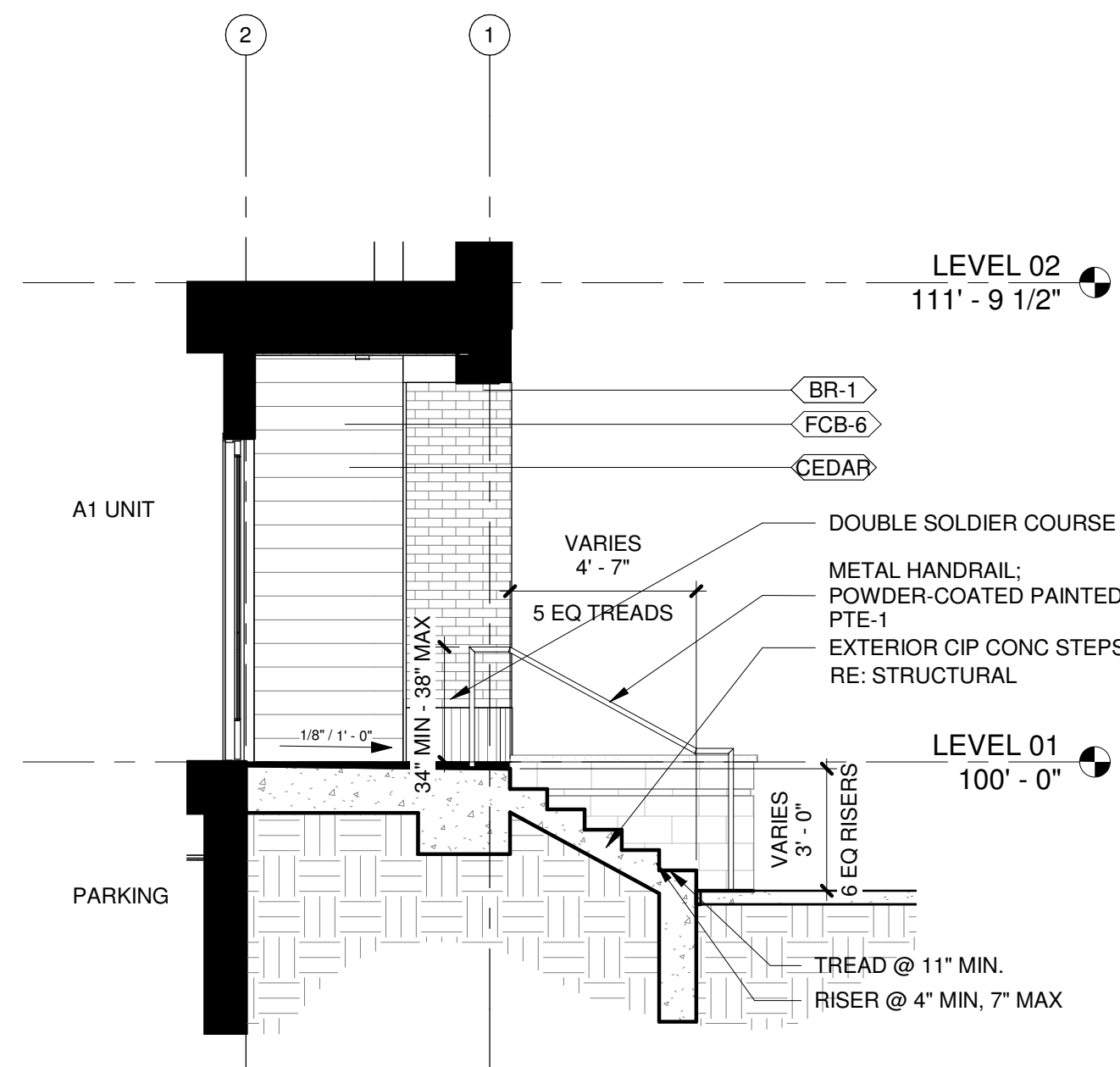
11/20/2020 12:45:03 PM

RIDGEGATE AFFORDABLE HOUSING

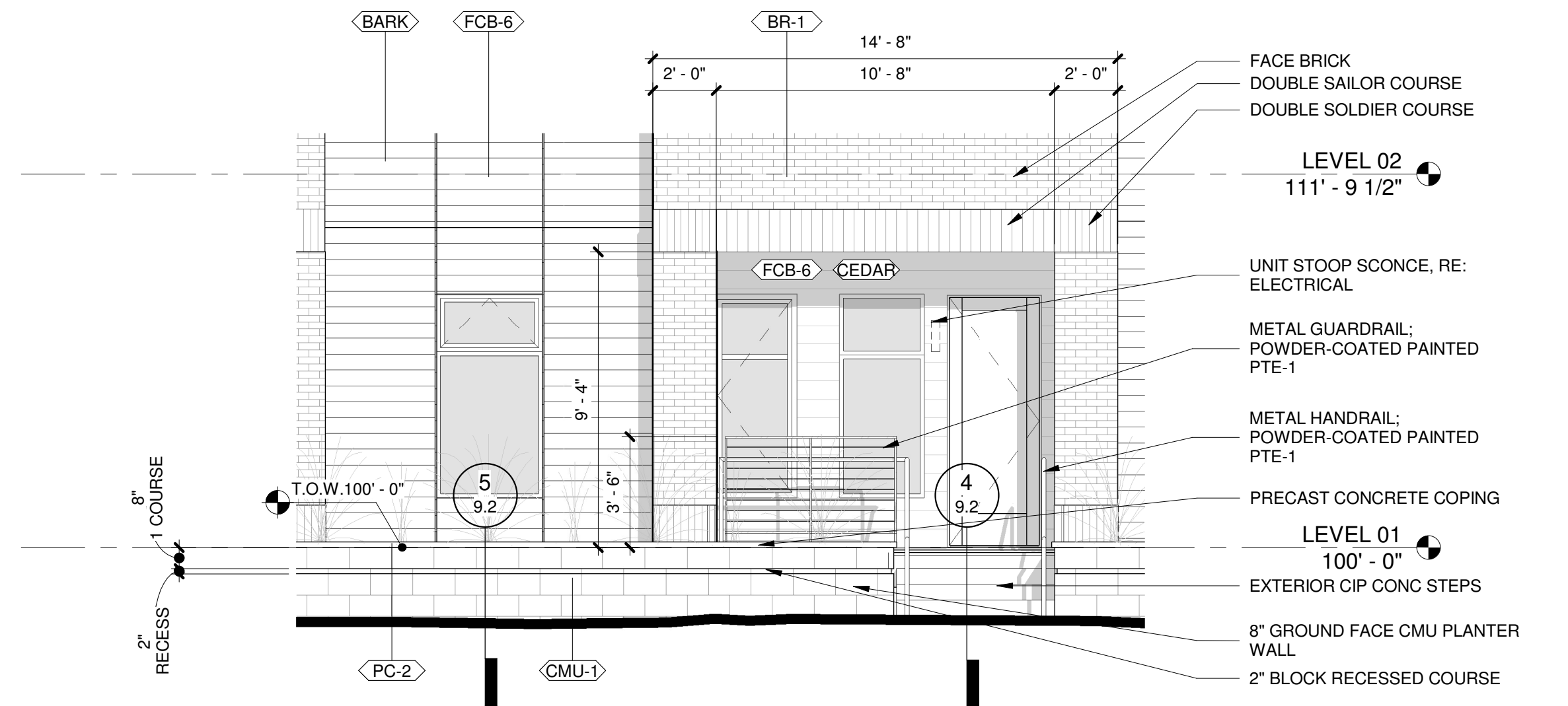
RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



5 UNIT PLANTER - SECTION
 1/4" = 1'-0"



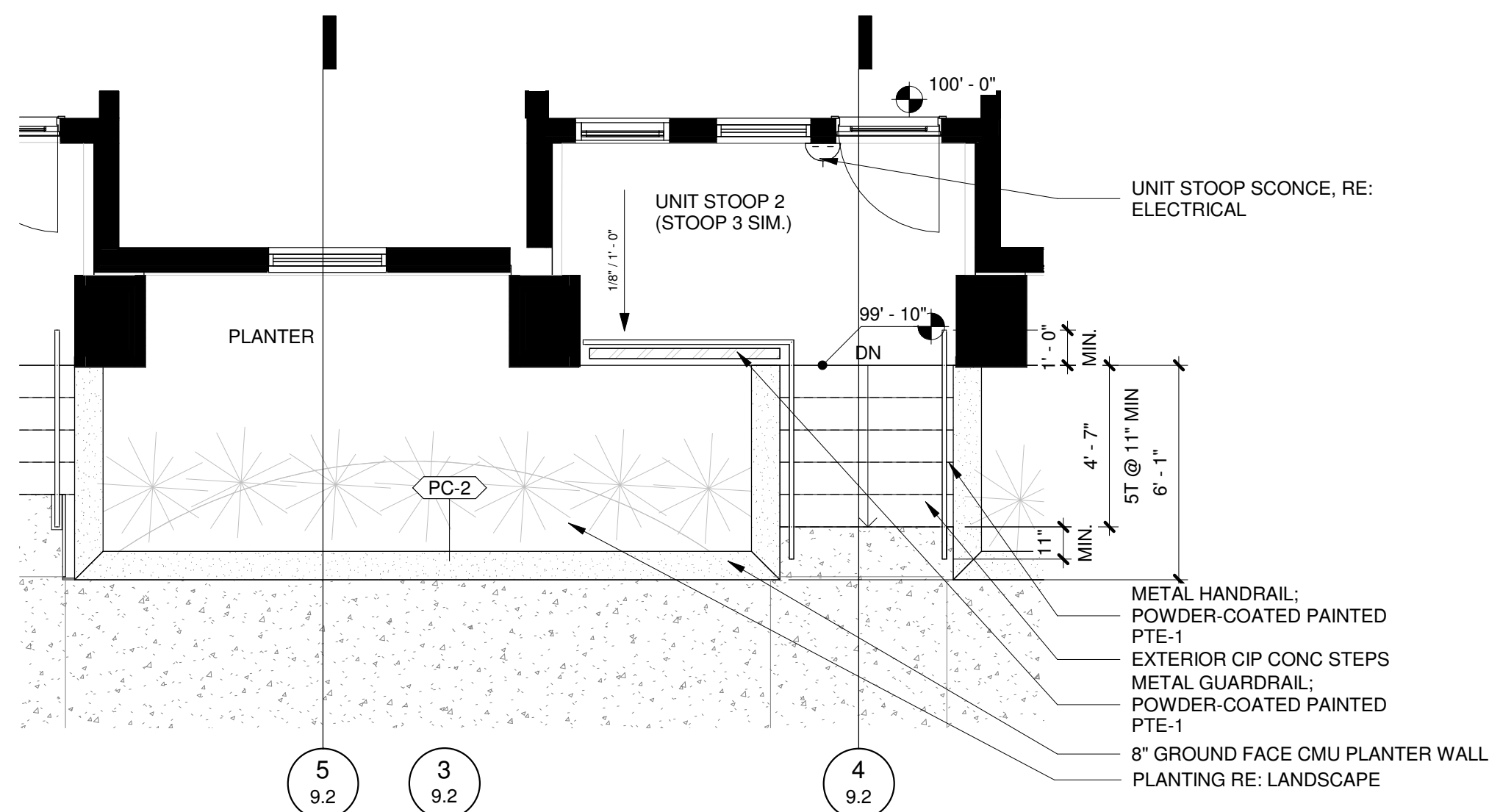
4 UNIT STOOP STAIR - SECTION
 1/4" = 1'-0"



3 TYPICAL UNIT STOOP - ELEVATION
 1/4" = 1'-0"



2 SITE ELEVATION - RAIL WAY
 3/32" = 1'-0"



1 TYPICAL UNIT STOOP - PLAN
 1/4" = 1'-0"

MATERIAL LEGEND

DIVISION 03 - CONCRETE

- PC-1 Precast Parapet Cap
Color: TBD re: 03 2000
- PC-2 Precast Sill
Color: TBD re: 03 2000

DIVISION 04 - MASONRY

- BR-1 Brick
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: Running bond
- BR-2 Brick
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: Stacked, recessed
- BR-3 Brick
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: Modified Flemish Bond, recessed
- BR-4 Brick
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: English Bond, recessed
- CMU-1 CMU
Basalite (modular) - Color: 600R, Finish: Ground face, re: 04 2000

DIVISION 05 - METALS

- MTL-1 Metal Railing System
Paint - PTE-1
- MTL-2 Steel Column
Paint - PTE-1
- MTL-3 Metal Panel Clad Canopy
Metal Panel TBD; C-Channel Fascia - PTE-1
- MTL-4 Metal Shadow Box
Metal Plate - XXX
- MTL-5 Metal Parapet Cap
Paint - PTE-1

DIVISION 07 - THERMAL & MOISTURE PROTECTION

- FCB-1 Fiber Cement Board
Hardie Artisan V-Groove; 7" exposure; Vertical, Color: PTE-2, re: 07 4213
- FCB-2 Fiber Cement Board
HardiePanel - Smooth, 5/16" Panel, Color: PTE-4, PTE-5; re: 07 4213
- FCB-3 Fiber Cement Board
HardiePlank - Horizontal Lap Siding, 7" exposure, Color: PTE-3 re: 07 4213
- FCB-4 Fiber Cement Board
Hardie Reveal - Vertical, Recessed trim, Concealed fasteners, 7/16" Panel, Color PTE-2, PTE-4, PTE-5, PTE-6, PTE-7 re: 07 4213
- FCB-5 Fiber Cement Board
Hardie Reveal - Vertical Staggered Seam, Recessed trim, Concealed fasteners, 7/16" Panel, Color PTE-2, re: 07 4213
- FCB-6 Fiber Cement Board
Nichia Architectural Wall Panel; orientation per Elevations, Vintage-wood, Color: Bark, Ash, Cedar, re: 07 4213

DIVISION 08 - OPENINGS

- GL-1 Glass
U-0.38 fixed; U0.45 operable, re: 08 8000
- GL-2 Glass
U-0.38 fixed; U0.45 operable, re: 08 8000

DIVISION 09 - FINISHES

- PTE-1 Exterior Paint
SW 7020 Black Fox
- PTE-2 Exterior Paint
SW 7019 Gauntlet Gray
- PTE-3 Exterior Paint
SW 7018 Dovetail
- PTE-4 Exterior Paint
SW 9170 Acier
- PTE-5 Exterior Paint
SW 7017 Dorian Gray
- PTE-6 Exterior Paint
SW 7016 Mindful Gray
- PTE-7 Exterior Paint
SW 7015 Repose Gray



BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



2 RENDERED WEST ELEVATION

3/32" = 1'-0"



1 RENDERED SOUTH ELEVATION

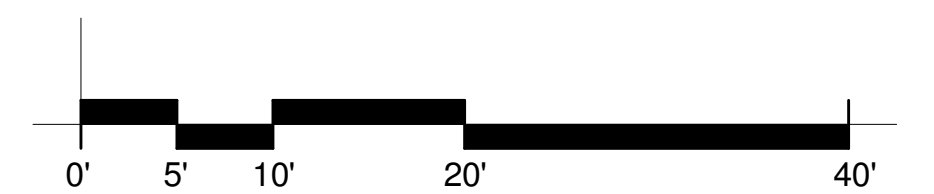
3/32" = 1'-0"

B
F
A
D

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120

(303) 209-0073
www.bryantflink.com

CONTACT:
 Rebecca Wilson
rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS			
NO.	DATE	SIP SUBMITTAL #	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1	
2	11/23/20	SIP SUBMITTAL #2	

RENDERINGS

SHEET 10.0 OF 22

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



2 RENDERED EAST ELEVATION
 3/32" = 1'-0"



1 RENDERED EAST ELEVATION-N
 3/32" = 1'-0"

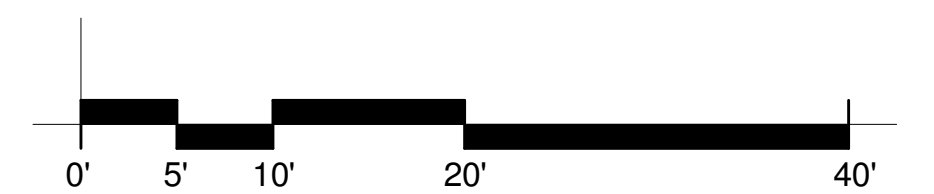


3 RENDERED NORTH ELEVATION
 3/32" = 1'-0"

BFAD

BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com

CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS			
NO.	DATE	DESCRIPTION	
1	10/23/20	SIP SUBMITTAL #1	
2	11/23/20	SIP SUBMITTAL #2	

RIDGEGATE AFFORDABLE HOUSING

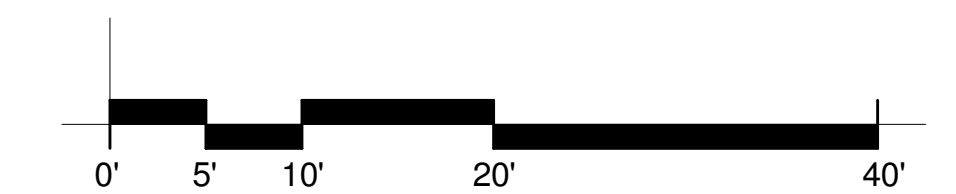
RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



VIEW FROM NW CORNER



BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS

NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

PHOTO
 SIMULATION

SHEET 10.2 OF 22

RIDGEGATE AFFORDABLE HOUSING

RIDGEGATE SECTION 14, EAST FILING NO. 1, 2ND AMENDMENT, LOT 2-A-4
 MIXED-USE COMMUTER STATION DISTRICT (MU-3)
 1.819 ACRES
 SIP - SP20-64R



- ◁BR-1▷ **Brick**
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: Running bond
- ◁BR-2▷ **Brick**
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: Stacked, recessed
- ◁BR-3▷ **Brick**
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: Modified Flemish bond, recessed
- ◁BR-4▷ **Brick**
Sioux City Brick (modular) - Aztec White w/ 10% Ebonite Velour re: 04 2000
Pattern: English bond, recessed



◁CMU-1▷ **CMU**
Basalite (modular) - Color: 600R, Finish: Ground face Re: 04 2000



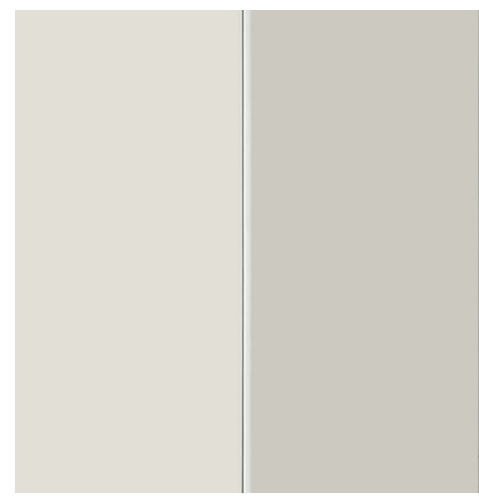
◁FCB-1▷ **Fiber Cement Board**
Hardie Artisan V-Groove - 7" exposure, vertical orientation
Color: PTE-2 Re: 07 4213



◁FCB-2▷ **Fiber Cement Board**
HardiePanel - Smooth, 5/16" Panel,
Color: PTE-4, PTE-5 Re: 07 4213



◁FCB-3▷ **Fiber Cement Board**
Hardie Horizontal Lap - 7" Exposure
Color: PTE-3 Re: 07 4213



◁FCB-4▷ **Fiber Cement Board**
Hardie Reveal - Vertical, Recessed Trim, Concealed fasteners, 24" Exposure
Colors: PTE-2, PTE-3, PTE-5, PTE-6, PTE-7 Re: 07 4213



◁FCB-5▷ **Fiber Cement Board**
Hardie Reveal - Vertical Staggered Seam, Recessed trim, Concealed fasteners,
21" wide
Color: PTE-2 Re: 07 4213



◁FCB-6▷ **Composite Siding**
Nichiha, Horizontal and Vertical Panel Siding, Vintage Wood 6" Exposure
Color: Bark Re: 07 4213



◁FCB-6▷ **Composite Siding**
Nichiha, Vertical Panel Siding, Vintage Wood, 6" Exposure
Color: Ash Re: 07 4213



◁FCB-6▷ **Composite Siding**
Nichiha, Horizontal Panel Siding, Vintage Wood, 6" Exposure
Color: Cedar Re: 07 4213



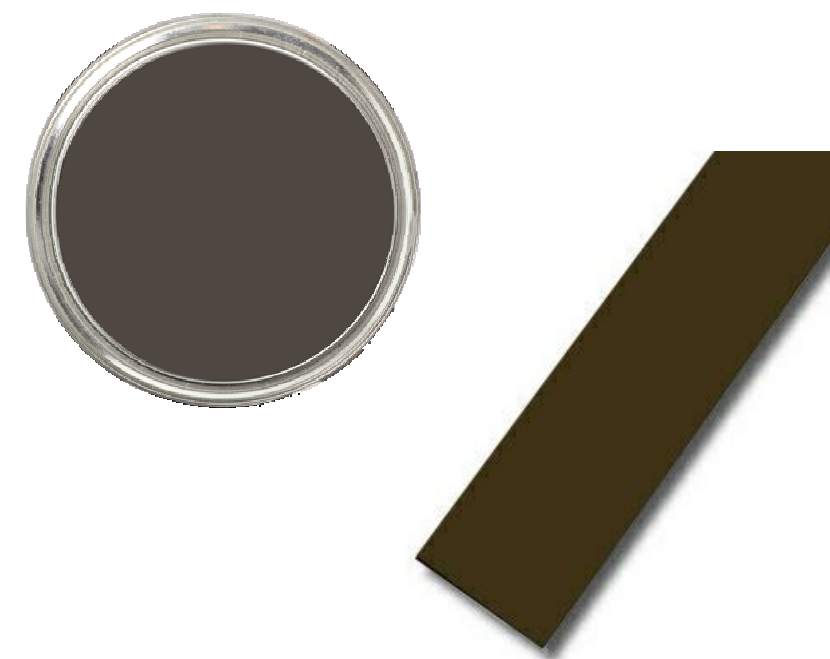
◁PTE-2▷ **Exterior Paint**
Color: SW 7019 Guantlet Gray



◁PTE-4▷ **Exterior Paint**
Color: SW 9170 Acier



◁PTE-6▷ **Exterior Paint**
Color: SW 7016 Mindful Gray



◁PTE-1▷ **Exterior Paint Finish**
Color: SW 7020 Black Fox



◁PTE-3▷ **Exterior Paint**
Color: SW 7018 Dovetail



◁PTE-5▷ **Exterior Paint**
Color: SW 7017 Dorian Gray

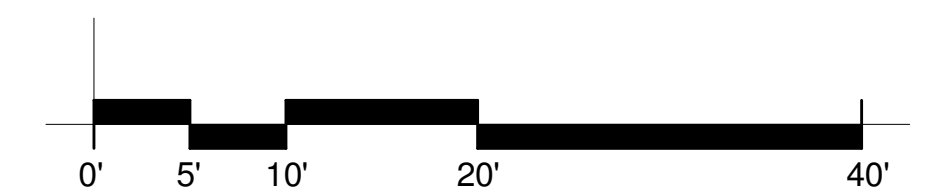


◁PTE-7▷ **Exterior Paint**
Color: SW 7015 Repose Gray

Storefront System
EFCO Series 406 (T)



BRYANT FLINK ARCHITECTURE & DESIGN
 2305 WEST BERRY AVENUE
 LITTLETON, CO 80120
 (303) 209-0073
 www.bryantflink.com
 CONTACT:
 Rebecca Wilson
 rwilson@bryantflink.com
 (720) 638-9921



PREPARATION DATE:

REVISION / COMMENTS		
NO.	DATE	DESCRIPTION
1	10/23/20	SIP SUBMITTAL #1
2	11/23/20	SIP SUBMITTAL #2

