Development Application

Planning Division
9220 Kimmer Drive, Lone Tree, CO 80124
303.708.1818 | www.cityoflonetree.com

CITY OF LONE TREE

Instructions: All sections must be completed and typed or legibly printed. All required attachments must be included. This application does not cover Building Division and Public Works submittal requirements and fees.

Application Type

- ☐ Presubmittal
- ☐ Final Plat
- ☑ SIP
- ☐ Re-Plat
- ☐ SIP Amendment
- ☐ Rezoning
- ☐ Preliminary Plan
- ☐ Variance
- ☐ Other

For Planning Division Use

Project Name: RidgeGate Station Apts.
Job # SP20-24R
Application Fee: 3,200
Check/Transaction #: 126207339PT
Date: 05/22/20 Staff Initials: JD

Project Information	
Project Name: RidgeGate Station Apartments	Project Address: RidgeGate Section 14, East, Filing No. 1, 2nd Amendment, Lot 2-A-1, 2-A-2
State Parcel ID: 2231-232-01-004	Subdivision: RidgeGate East
Acreage: 8.22	Lot #: 2-A-1, 2-A-2
Existing Zoning: C/MU	Block #:
Proposed Rezoning:	Filing #: 1

Project Description (submit additional sheets if necessary):

Apartment complex for 540 residential units in 6 buildings, with mixed-use development.

Owner and Representative Information

Property Owner Information	**Applicant Information if Different than Owner**
Name of Organization: RidgeGate Investments, Inc.	Name of Organization: Regency Residential Partners
Owner Name: Keith Simon	Applicant Name: Jim Francescon
Mailing Address: 9879 Schwab Way, Suite 415 Lone Tree, CO, 80124	Mailing Address: 8390 E. Crescent Parkway, #650, Greenwood Village, CO 80111
Phone: 720.279.2581	Phone: 303.558.7375
Email: ksimon@coventrydevelopment.com	Email: jimf@regencyres.com

CITY OF LONE TREE

Site Improvement Plan Project Narrative & Statement of Design Intent Template

Planning Division
9220 Kimmer Drive, Lone Tree, Colorado 80124
303.708.1818 | www.cityoflonetree.com

Project Name: RidgeGate Station Apartments **Project #** ____SIP SP 20-24R____

Project Location: RidgeGate Section 14, East Filing No. 1, 2nd Amendment, Lot 2-A-1, 2-A-2

Date: 07/22/2020

Project Narrative

ARTICLE XXVII - Site Improvement Plan (SIP) Project Narrative. The SIP process is intended to provide for development that enhances the quality of life in the City by promoting high-quality design and a strong economy, and by fostering a sustainable and healthy community. The SIP process is required to ensure the development will be in conformance with the Comprehensive Plan, the Design Guidelines, applicable chapters of Municipal Code and applicable Planned Developments and Sub-Area Plans.

1. General information

Location

RidgeGate Station Apartments, RidgeGate Section 14, East Filing No. 1, 2nd Amendment, Lot 2-A-1, 2-A-2, RidgeGate City Center, Planning Area 7

Zoning and Surrounding Uses

The site is zoned Mixed-Use Commuter Station (MU-3), per the Lone Tree City Center Sub-Area Plan. The adjacent land parcels are also zoned MU-3 and current uses include (i) light rail / commuter station, (ii) transit parking garage, and (iii) vacant land.

2. Development impacts

This site will be the first residential development within RidgeGate east of I-25. The only existing development within RidgeGate east of I-25 currently is the RidgeGate Station light rail stop and associated parking structure. This development's six buildings and two parking structures comprise a well-organized site plan that encourages pedestrian connection and provides outdoor space for residents to gather and enjoy.

The surface and structured parking will be visually mitigated and masked by the apartment buildings they serve, as well as strategically placed landscaping, and screening elements anchored directly to the parking structures as required by the City Center Sub-Area Plan.

Regarding vehicular traffic impacts, the streets surrounding our site were included in the RidgeGate East Transportation Analysis completed by Felsburg, Holt & Ullevig for the City in September of 2016. It was determined that our project will not place any undue burden upon traffic circulation in the area. Additionally, the streets are being designed and built to accommodate the future roadway users.

3. Compliance with Intent and Approval Standards

The project has gone through a rigorous review process that included initial meetings with the City of Lone Tree and various stakeholders including South Metro Fire Department, Parker Water and Sanitation District, among others. Further, our project was subject to review and approval by the RidgeGate Design Review Committee at the schematic design stage, design development stage, and prior to formal SIP submittal to the City of Lone Tree. Each submittal focused on making sure the project provided a high-quality design that fosters a healthy, safe, and functional community.

The project is in compliance with all applicable plans and guidelines including:

- RidgeGate Design Standards and Guidelines
- Lone Tree City Center Sub-Area Plan
- Lone Tree Comprehensive Plan January 2019
- Lone Tree Zoning Code
- City of Lone Tree Design Guidelines

4. Development phasing

The project is expected to begin in the fourth quarter of 2020 and will be constructed in two phases. The first phase consists of the eastern section of the site, which includes buildings 1-3. The second phase is comprised of the western section of the site, which includes buildings 4-6. The anticipated completion date for both phases is the fourth quarter of 2024.

5. Other project data

Total number of employees on maximum shift is expected to be 15 which would include up to 5 property management staff and up to 10 retail staff.

Square footage of buildings: 587,507 SF

Lot area: 8.22 Acres

Anticipated opening date: Fourth quarter of 2022 (Phase 1)

6. **Sustainability**

The project's proximity to the RidgeGate Station light rail stop and urban trail encouraged a project of higher density to reduce sprawl and promote sustainable traveling practices. In addition, the site's location near the future Lone Tree City Center will be close to ample employment opportunities, retail, and entertainment options furthering a resident's ability to choose car alternatives, such as biking or

walking for daily trips. Rideshare zones are programmed on the private drive to further reduce vehicle dependence.

Recycling chutes are incorporated into each building to promote recycling and help divert waste from landfills. The apartment homes will feature Energy Star rated appliances, LED lighting throughout and eco-friendly heating and cooling systems. The landscaping will use native and drought tolerant plant types to minimize the need for heavy irrigation and keep with landscape guidelines set forth in the City Center Sub-Area Plan.

7. Variances

The project is not requesting any variances.

Statement of Design Intent

1. Overall Design Concept

As one of the first RidgeGate development projects on the east side of I-25, within the future Lone Tree City Center, this project aims to set a standard of excellence for the east side. The overall intent is to create a mixed-use, transit-oriented project that provides well-designed interior living spaces and high-quality outdoor amenity spaces in a location close to employment, recreation, retail, and entertainment. The project consists of over 500 rental apartments, up to four commercial lease spaces, a grab-n-go café, and a variety of amenity options for residents, all directly adjacent to the RidgeGate Station light rail stop and parking facility.

2. Context and Site

Located directly north of the RidgeGate Station light rail stop, the project has prime visibility from South Havana Street just south of RidgeGate Parkway. South Havana Street connects the site up to the rest of the future Lone Tree City Center north of the project site. Retail lease space will be provided at a signalized intersection on Havana which will anchor the northeast quadrant of the site. The project's leasing center will also be visible from Havana and accessed near the intersection, on the street bordering the north side of the property. The southwest corner of the site is opposite the light rail station and is anchored by a plaza space and a retail/lease space intended to be a café/coffee shop, both opposite a local park adjacent to the RTD parking garage.

The primary outdoor space and focal point for the residents is the central amenity plaza. Four of the buildings orient internal amenity spaces to this plaza area which includes a variety of outdoor amenities such as a swimming pool and spas, great lawn, barbecue grills, picnic areas, fire pit, performance/movie space, and ride-share pickup/drop-off area. The private street that bisects the project can be blocked off for street festivals and farmer's markets. These three primary outdoor spaces are connected by additional pedestrian walkways and smaller outdoor spaces that provide circulation through the site and private outdoor spaces for the residents. Each area is given a unique identity through the use of decorative paving, planting materials, and design elements.

3. Public Realm

Each street surrounding the project has a suitable sidewalk with ample lighting and landscaping including trees providing a safe, shaded, and comfortable pedestrian experience. The articulation of the facade and large windows at ground level create a human scale environment and a pleasing pedestrian experience. The site connects into the overall street grid of the area providing for easy access north to the rest of the future City Center, as well as south to the RidgeGate Station light rail stop. The on-site retail spaces are highly visible and accessible from Havana Street making them convenient shopping options for local residents and light rail commuters. The exterior of the building also enhances the public realm through an urban feel that incorporates natural materials, muted colors and native landscaping.

4. Architectural Design

On a large-scale project such as this, the exterior design serves as a unifying factor. The design theme incorporates a contemporary style in order to relate to the future urban context of the City Center while still referring to the materials and style of the existing RidgeGate community. The colors and materials were chosen to reflect the rest of the community and are in harmony with Lone Tree's existing high-quality design. By providing large windows at the ground level, articulation in the façade, and alternating materials along the face of the buildings, we have created a human scale for the project that will provide a very livable environment for the residents, guests, and passing pedestrians. Overall, the design of the various buildings still maintains a visual consistency that identifies the project as a whole while providing visual accents at locations of commercial spaces and amenities.

Applicant/Preparer Contact Information

Name: Jim Francescon

Business: Regency Residential Partners, LLC

Address: 8390 East Crescent Parkway, Suite 650, Greenwood Village, CO 80111

Phone: 303-558-7375

Email: jimf@regencyres.com

Owner Contact Information if Different from Applicant

Name: Keith Simon

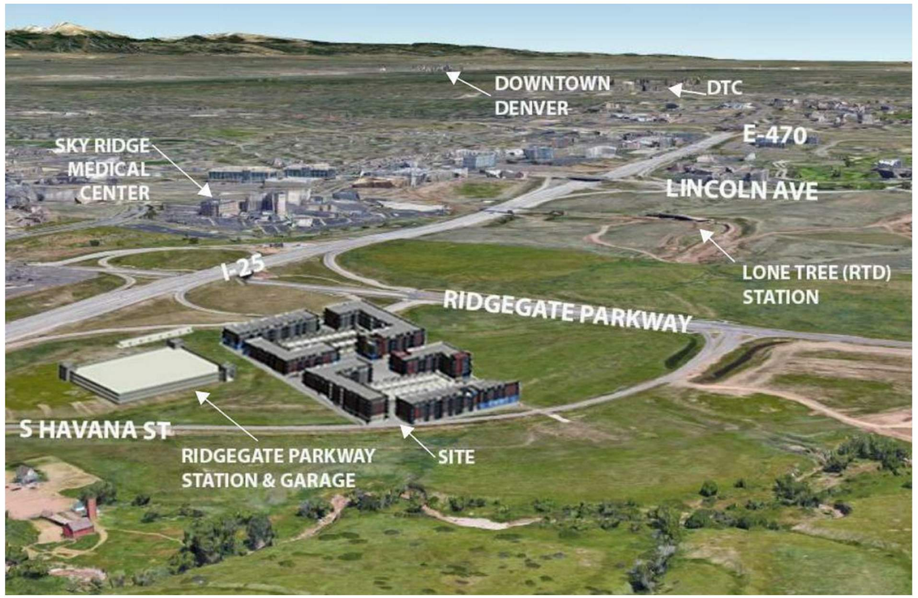
Business: RidgeGate Investments, Inc

Address: 9878 Schwab Way, Suite 415, Lone Tree, CO 80124

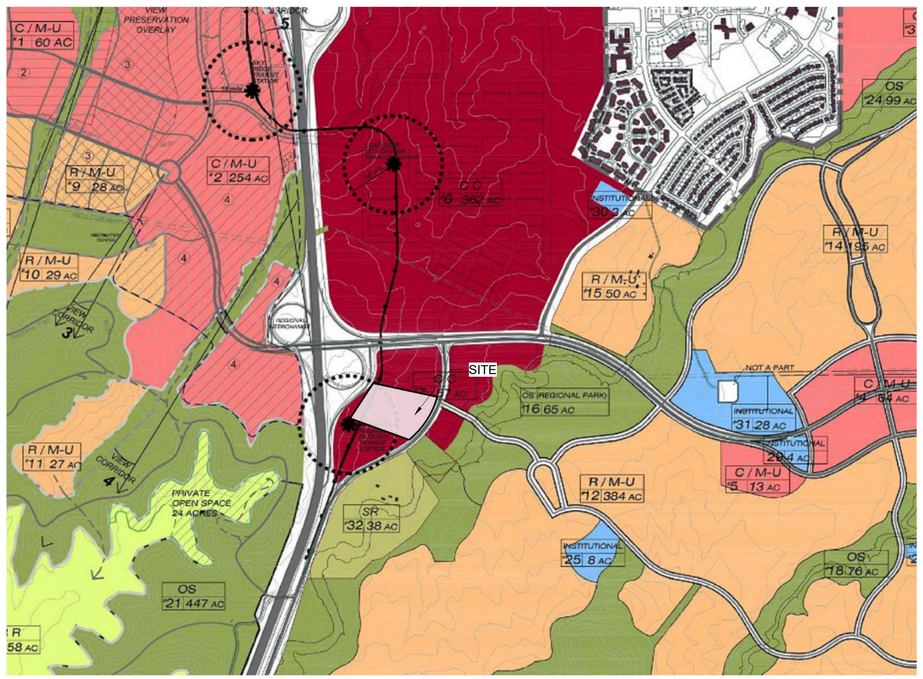
Phone: 720-279-2581

Email: ksimon@coventrydevelopment.com

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



2 SITE CONTEXT AERIAL



1 VICINITY MAP

GENERAL NOTES:

1) The property herein is subject to all applicable requirements of the Lone Tree Zoning Code, including but not limited to, maintenance, lighting, parking, signage, and outdoor storage, except as may otherwise be addressed in an approved Development Plan or Sub-Area Plan.

2) The applicant assumes responsibility to ensure the project is completed in accordance with the approved SIP and any associated materials sample boards and further assumes the risk associated with any changes or omissions made without prior City approval. Modifications to structures or sites may require an amendment to the SIP as determined by the Director. Unauthorized changes or omissions may result in corrective actions, delay of permits or citations for zoning violations with associated fines and legal measures. Building plans shall conform to the approved SIP.

3) The City of Lone Tree requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The property Owner shall be responsible for the maintenance of all drainage facilities including inlets, pipes, culverts,channels, ditches, hydraulic structures, and detention basins located on their land unless modified by the subdividers agreement. Should the Owner fail to adequately maintain said facilities, the City of Lone Tree shall have the right to enter said land for the purposes of operations and maintenance. All such maintenance costs will be assessed to the property Owner.

4. All present and future owners and occupants of land hereby subdivided or subject to a Site Improvement Plan are hereby notified that the Property is located within proximity to Centennial Airport and is subject to the terms of that certain Avigation Notice recorded at Reception No. 2020016188 on March 4, 2020 in the records of the Douglas County Clerk and Recorder.

5. Proximity to Centennial Airport may have any number of impacts on the Property occupants, the Property, and the development, improvement, use, enjoyment or occupancy of the Property, including without limitation odors, aircraft noise, vibration, fumes, fuel particles, exhaust, and the operation and passage of aircraft above or near the Property. Individual sensitivities to the potential Centennial Airport impacts can vary from person to person, and potential airport impacts can vary from location to location with the Property and from time to time. Records and information concerning Centennial Airport and potential airport impacts are publicly available through various federal, state, and local governmental agencies, including Centennial Airport. All present and future owners and occupants are solely responsible for evaluating and determining whether the airport impacts, if any, are acceptable to them

SHEET INDEX:

APPROVAL CERTIFICATE
THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON _____.

By: _____ (Printed Name)
Title: Community Development Director

_____ (Signature) _____ (Date)

By: _____ (Printed Name)
Title: Director of Public Works
or his/her designated representative

_____ (Signature) _____ (Date)

By: _____ (Printed Name)
Title: Mayor

_____ (Signature) _____ (Date)

The owner(s) of the lands described herein, hereby agree(s) (1) to develop and maintain the property described hereon in accordance with this approved Site Improvement Plan and in compliance with Chapter 16 of the Lone Tree Municipal Code and that (2) the heirs, successors and assigns of the owner(s) shall also be bound. The signatures of the owner(s)'(s) representative(s) below indicate that any required authorizations to enter this agreement, including any corporate authorizations, have been obtained.

_____
(Name of Owner)

_____
(Signature of Owner)

_____
(Printed Name and Title)

State of _____)
) ss.
County of _____)

Subscribed and sworn to before me this _____ day of _____ , 20 _____ , by _____

Witness my hand and official seal.

My commission expires: _____ / _____ / _____

_____
Notary Public

Approval by the City of Lone Tree does not signify that the requirements of the Americans with Disabilities Act (ADA) have been satisfied. The applicant is responsible to ensure that said ADA requirements have been met.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

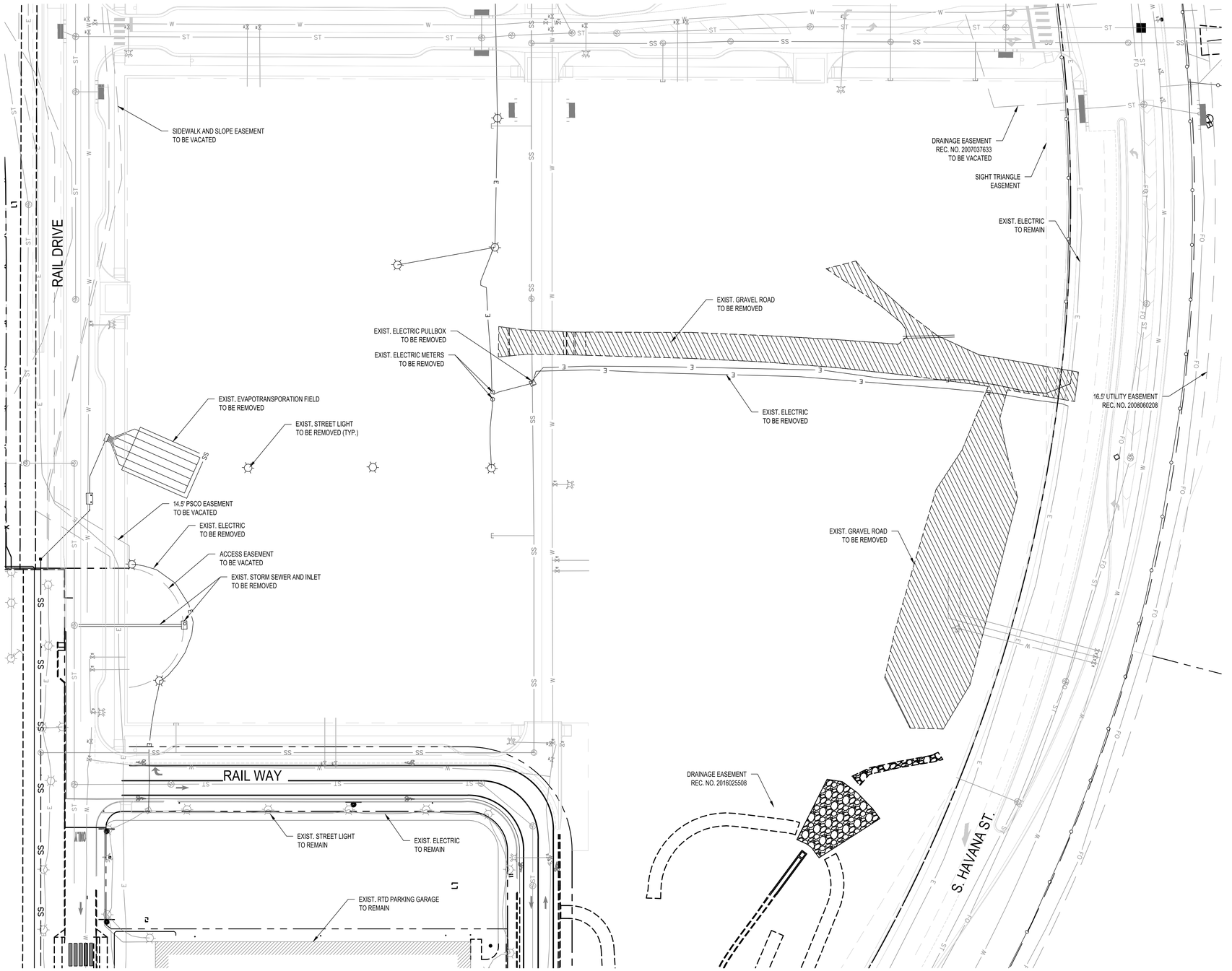
RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: ND
CHECKED BY: ND

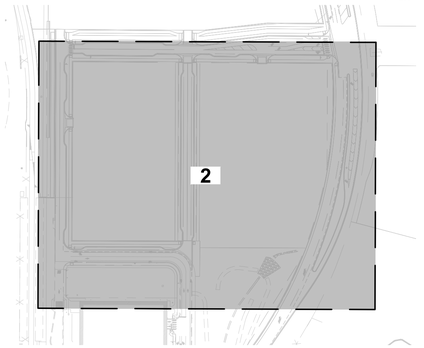
COVERSHEET
1 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



KEY MAP

1" = 200'



LEGEND

EXISTING

- SURFACING TO BE REMOVED
- TOP OF CURB
- FLOWLINE
- EDGE OF ASPHALT
- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- RIGHT OF WAY (R.O.W.) LINE
- ELECTRIC BOX
- ELECTRIC METER
- FIRE HYDRANT
- GAS METER
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER INLET
- STREET LIGHT
- TELEPHONE PEDESTAL / BOX
- WATER VALVE

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

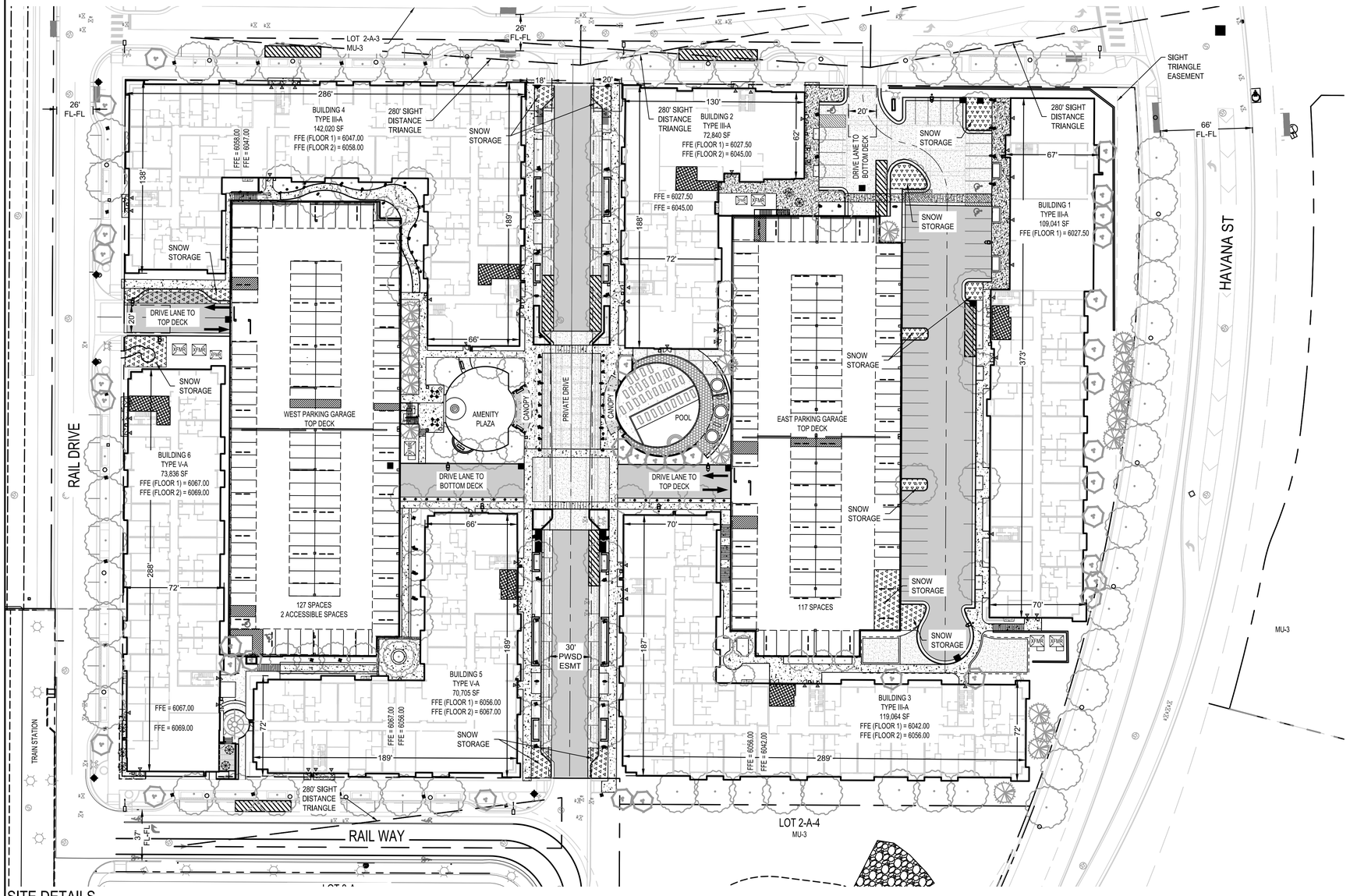
SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

N
W
S
E

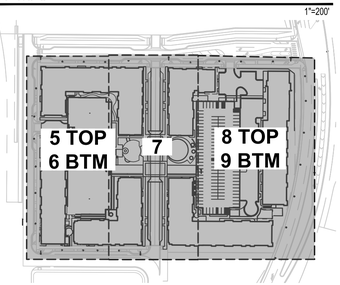
40 0 20 40 80
ORIGINAL SCALE: 1"=40' HORIZ.

EXISTING CONDITIONS

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



KEY MAP



LEGEND

EXISTING	PROPOSED	
		ASPHALT
		CONCRETE
		DECORATIVE CONCRETE
		PORCELAIN PAVERS
		LOADING ZONE
		SNOW STORAGE
		TRASH ENCLOSURE (INTERNAL)
		TOP OF CURB
		FLOWLINE
		EDGE OF ASPHALT
		PROPERTY LINE
		LOT LINE
		EASEMENT LINE
		RIGHT OF WAY (R.O.W.) LINE
ST		STORM SEWER MANHOLE
		STORM SEWER INLET
S		SANITARY SEWER MANHOLE
		WATER VALVE
		FIRE HYDRANT
E		ELECTRICAL BOX
G		GAS METER
		TELEPHONE PEDESTAL / BOX
		EXTERIOR LIGHTING
		ADA PARKING SYMBOL
		EXIT DOOR LOCATION
		TRASH RECEPTACLE
		TRAFFIC CONTROL SIGN
		TRAFFIC DIRECTION ARROW
XFMR		ELECTRICAL EQUIPMENT / TRANSFORMER

SITE DETAILS

Item	Square Footage	% of Gross Site
Gross Site Area	352,637	
Building footprint	137,882	39.1%
Parking/roads (including planted interior parking islands)	126,948	36.0%
Landscaped area (excluding planted interior parking islands, trails and walks)	58,185	16.5%
Natural areas (not included in the required landscaped area)	0	0.0%
Hardscape area	294,382	83.5%
Item		
Building Size		
Maximum height (worst case scenario as measured by the City's Building Code) - Type VA - NFPA 13 - 70ft.	Building 6 - 47.5 ft.	
Total floor area (see definition of floor area in Article XXXVI) 6 Buildings & 2 Garages	716,270 sq. ft.	

PARKING CALCULATION TABLE			
PARKING REQUIRED	**AREA/UNITS**	**PARKING PER UNIT**	**TOTAL**
ONE BEDROOM UNITS	351	1	351
TWO BEDROOM UNITS	189	2	378
TOTAL UNITS	**540**	**SUB-TOTAL PARKING**	**729**
TRANSIT STATION REDUCTION (20% MAX) (16-28-60 (C))			145
TOTAL PARKING REQUIRED			**584**
PARKING PROVIDED			
OFF-STREET (INCLUDING 13 ACCESIBLE SPACES)			576
ADJACENT ON-STREET (27%)			8
TOTAL PARKING PROVIDED			**584**

BASIS OF BEARING

BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, AS BEARING N89°40'20"E BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 23, BEING A FOUND 1-1/2" BRASS CAP, SET IN A 6" DIAMETER CONCRETE POST AND THE CENTER QUARTER CORNER OF SAID SECTION 23 BEING FOUND 6" X 10" STONE WITH A CHISELED + ON THE TOP.

FLOODPLAIN CERTIFICATION

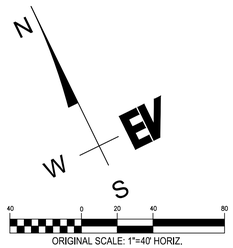
THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN OR 500-YEAR FLOOD PLAN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08035C0063G FOR DOUGLAS COUNTY, COMMUNITY PANEL NUMBER 0063G, MAP DATED FEBRUARY 02/17/2017.

B.M. ELEVATION = 6072.07 FT

TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTHWEST INTERSECTION OF SOUTH HAVANA STREET AND RAIL WAY.

GENERAL NOTES:

1. ALL PROPOSED SIGNS, FREE STANDING MONUMENTS, AND BUILDING MOUNTED SIGNS WILL REQUIRE A SEPARATE PERMIT.



ORIGINAL SCALE: 1"=40' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

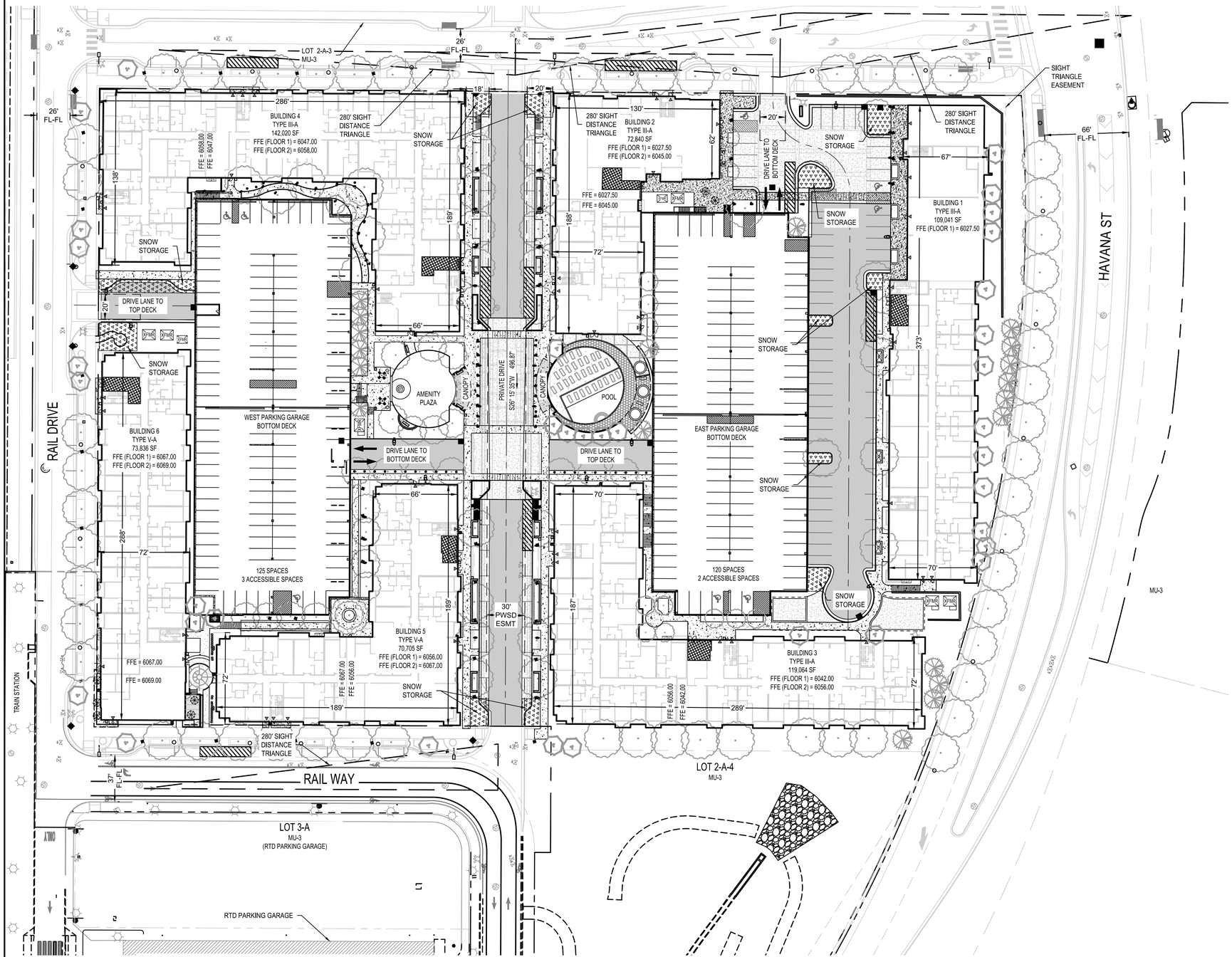
19082

REVISION:

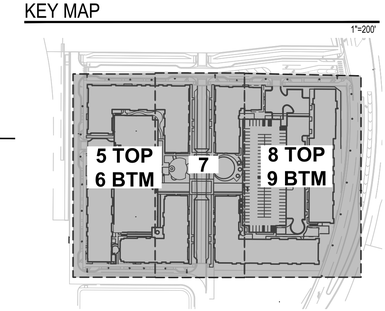
SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

SITE PLAN - TOP DECK

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

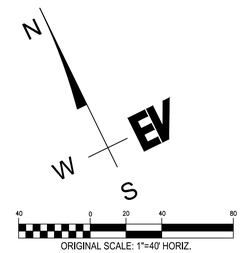


KEY MAP



LEGEND

EXISTING	PROPOSED	
		ASPHALT
		CONCRETE
		DECORATIVE CONCRETE
		PORCELAIN PAVERS
		LOADING ZONE
		SNOW STORAGE
		TRASH ENCLOSURE (INTERNAL)
		TOP OF CURB
		FLOWLINE
		EDGE OF ASPHALT
		PROPERTY LINE
		LOT LINE
		EASEMENT LINE
		RIGHT OF WAY (R.O.W.) LINE
ST		STORM SEWER MANHOLE
		STORM SEWER INLET
S		SANITARY SEWER MANHOLE
		WATER VALVE
		FIRE HYDRANT
E		ELECTRICAL BOX
		GAS METER
		TELEPHONE PEDESTAL / BOX
		EXTERIOR LIGHTING
		ADA PARKING SYMBOL
		EXIT DOOR LOCATION
		TRASH RECEPTACLE
		TRAFFIC CONTROL SIGN
		TRAFFIC DIRECTION ARROW
XFMR		ELECTRICAL EQUIPMENT / TRANSFORMER



EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

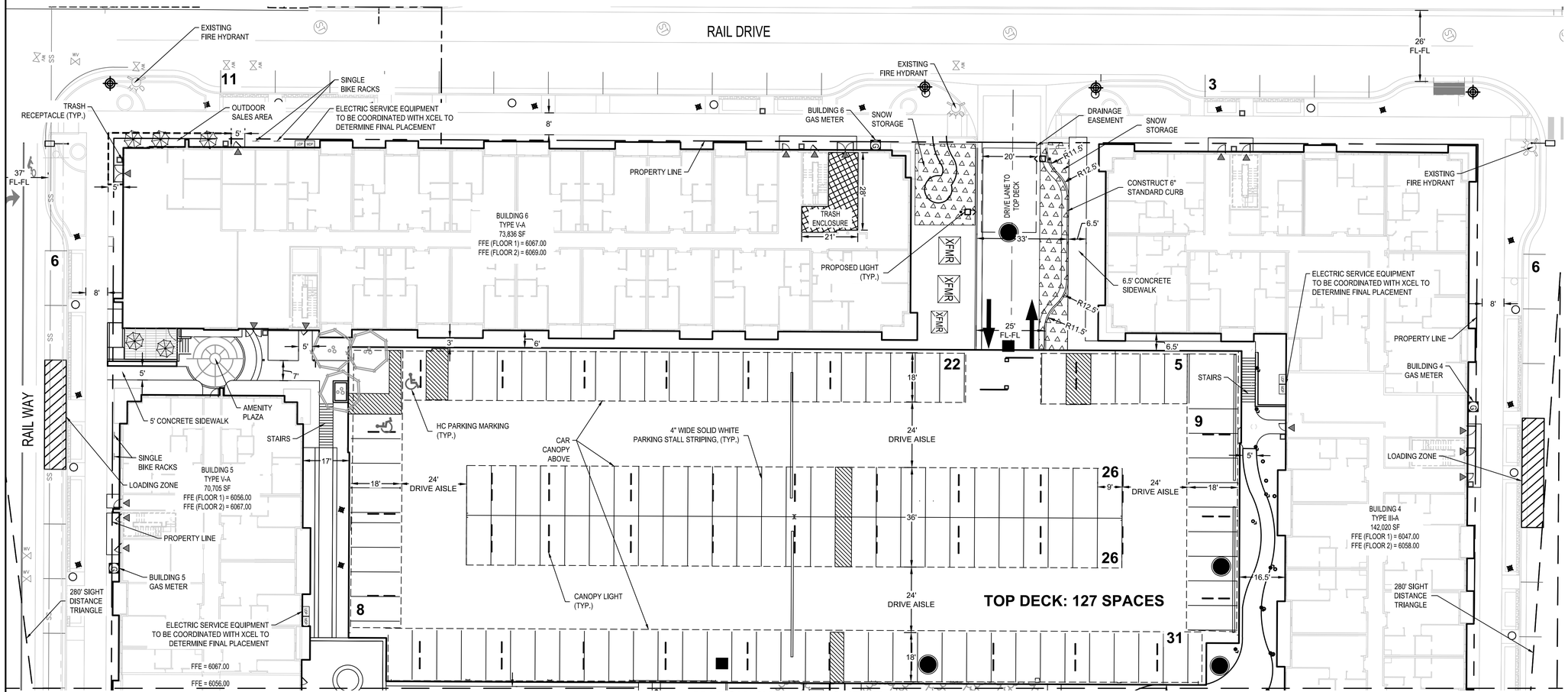
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

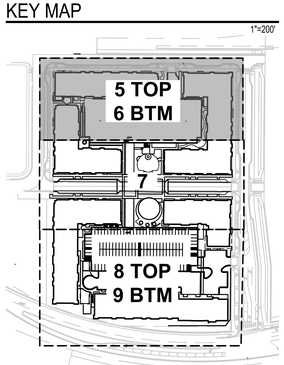
SITE PLAN - BOTTOM DECK

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



MATCHLINE - SEE SHEET 7

KEY MAP



LEGEND

- LOADING ZONE
- SNOW STORAGE
- TRAFFIC DIRECTION ARROW
- EXIT DOOR LOCATION

ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

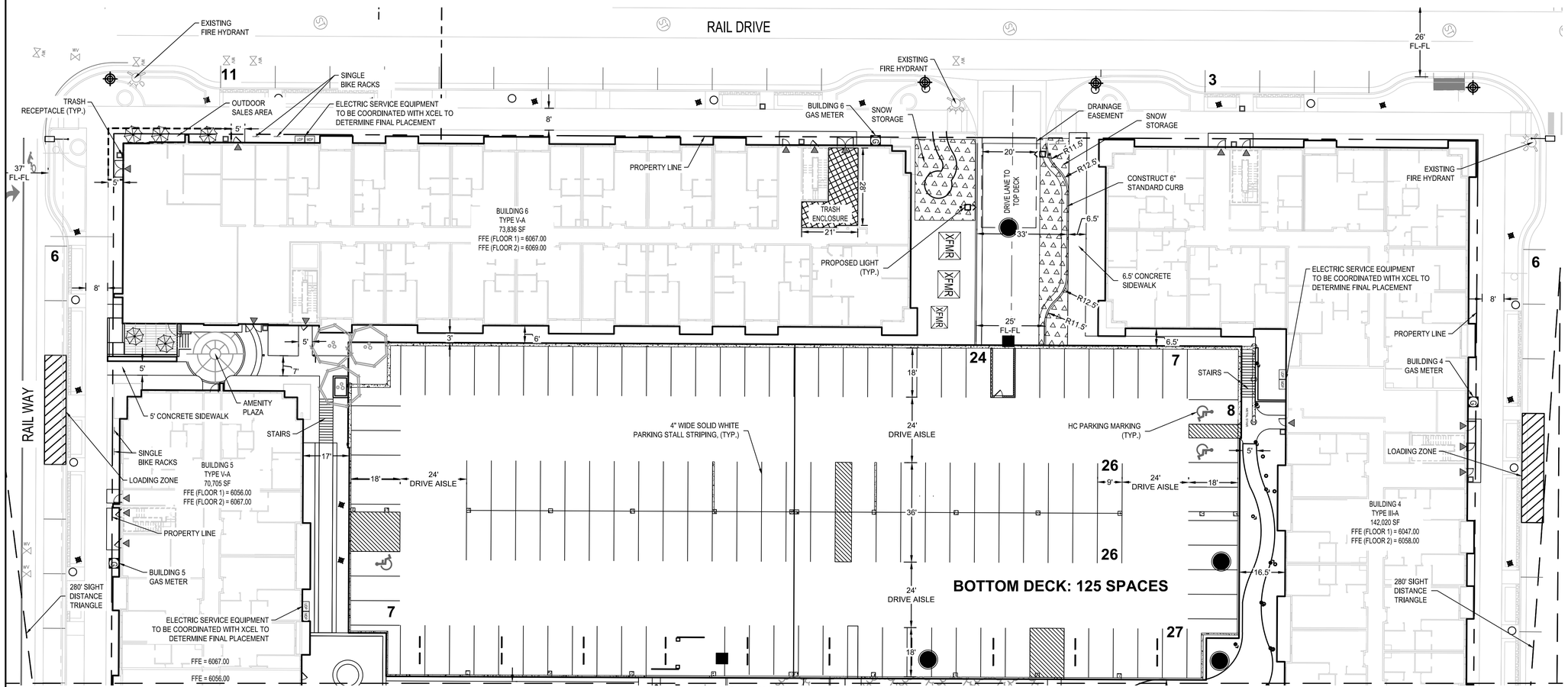
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

SITE PLAN - WEST TOP DECK

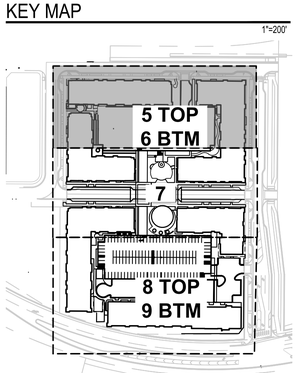
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



MATCHLINE - SEE SHEET 7

KEY MAP

1"=200'



LEGEND

- LOADING ZONE
- SNOW STORAGE
- TRAFFIC DIRECTION ARROW
- EXIT DOOR LOCATION

ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

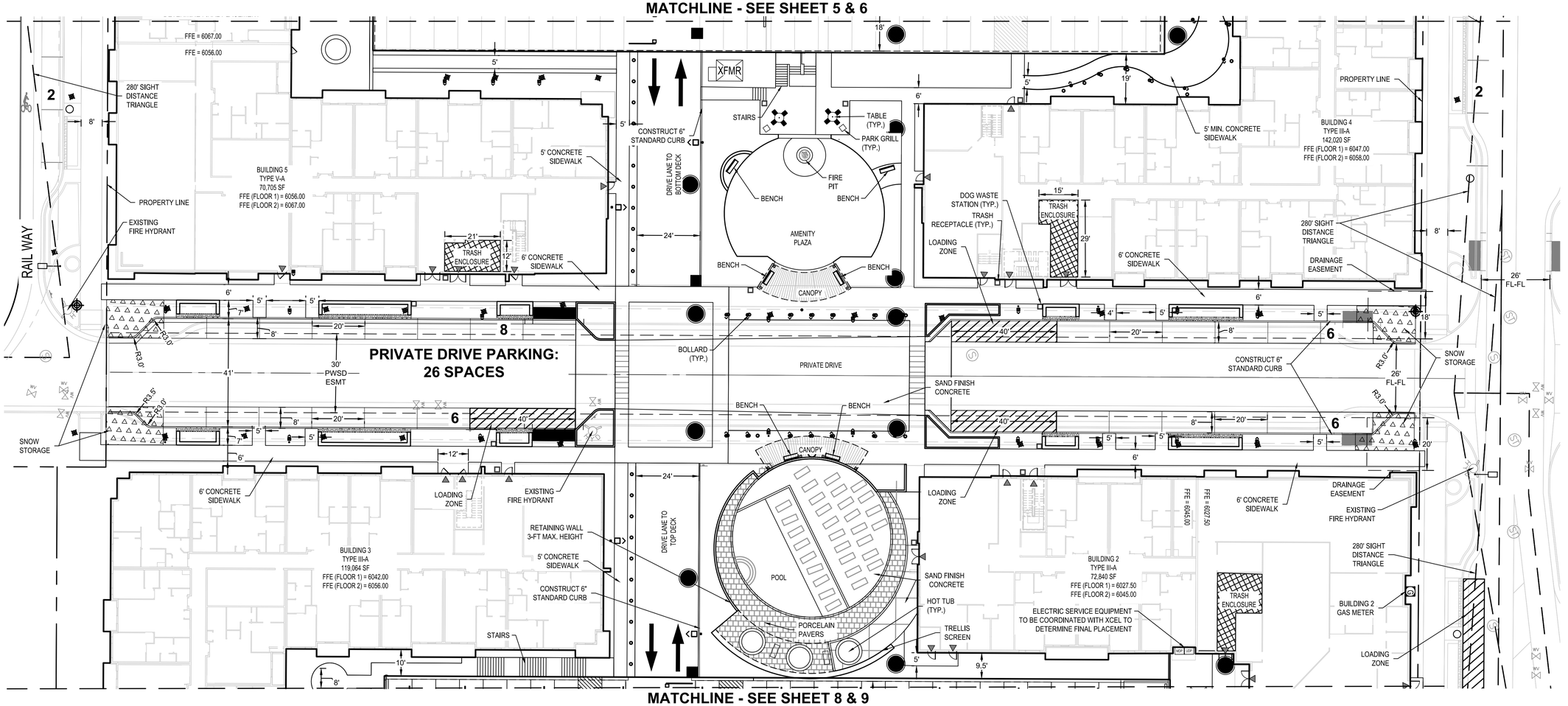
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

SITE PLAN - WEST BOTTOM DECK

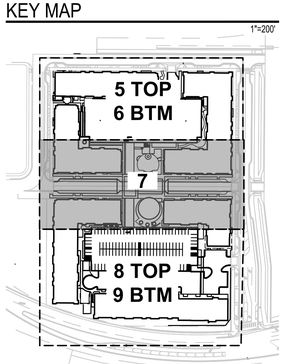
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

MATCHLINE - SEE SHEET 5 & 6



MATCHLINE - SEE SHEET 8 & 9

KEY MAP



LEGEND

- PORCELAIN PAVERS
- LOADING ZONE
- SNOW STORAGE
- TRAFFIC DIRECTION ARROW
- EXIT DOOR LOCATION

ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

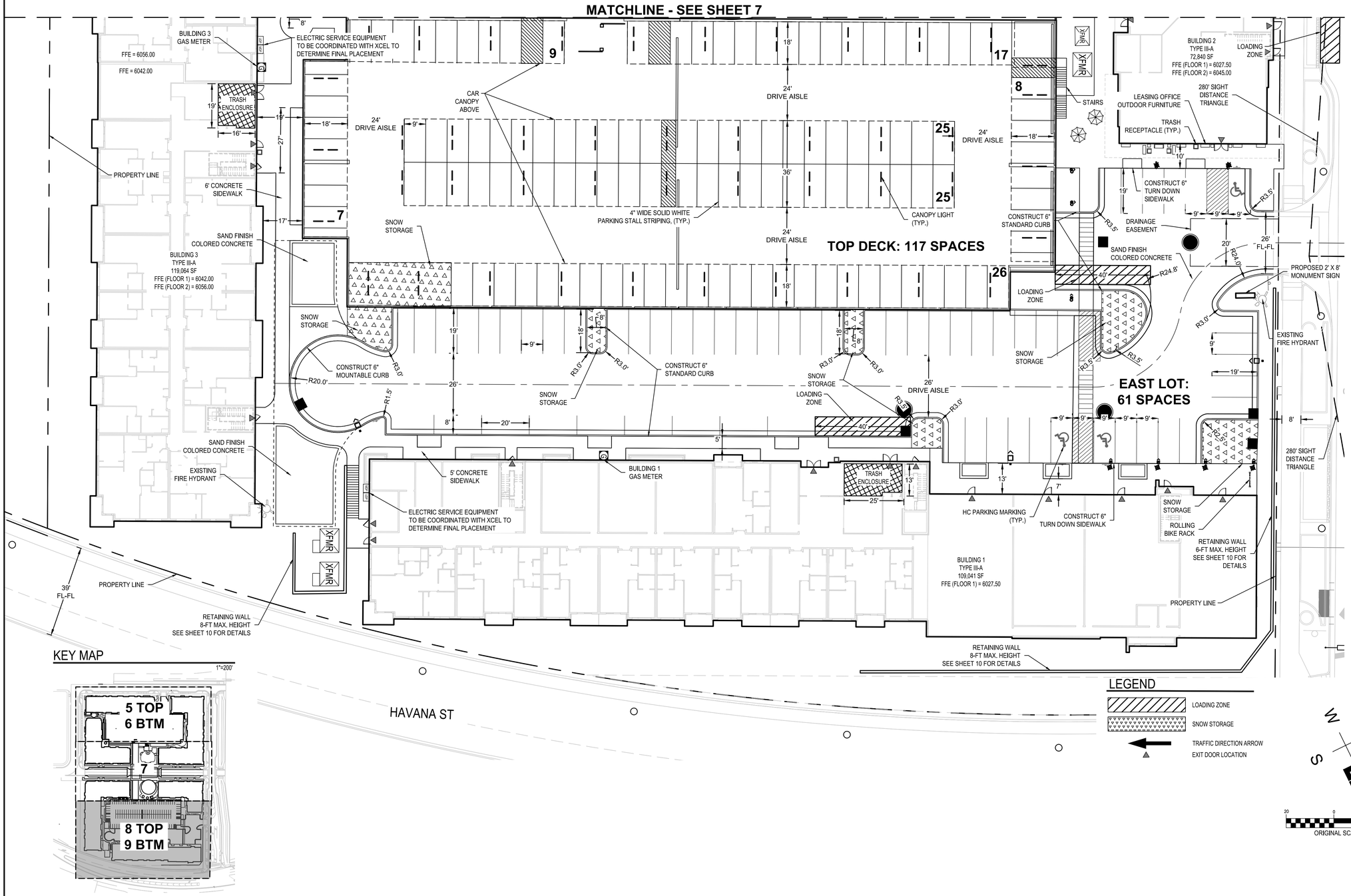
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

SITE PLAN - CENTER

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



KEY MAP

LEGEND

- LOADING ZONE
- SNOW STORAGE
- TRAFFIC DIRECTION ARROW
- EXIT DOOR LOCATION

ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

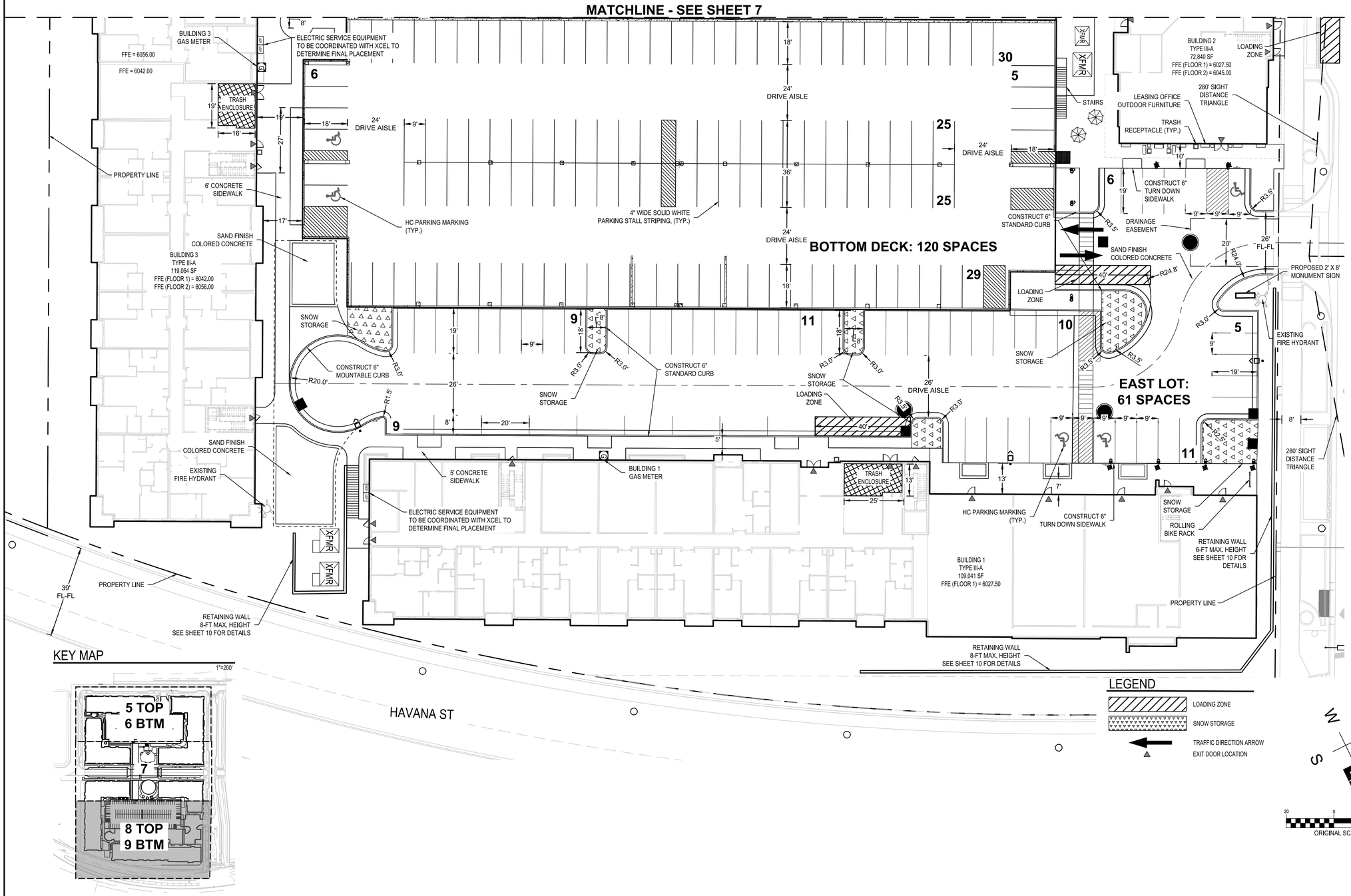
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

SITE PLAN - EAST TOP DECK

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



KEY MAP

LEGEND

- LOADING ZONE
- SNOW STORAGE
- TRAFFIC DIRECTION ARROW
- EXIT DOOR LOCATION

ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

SITE PLAN - EAST BOTTOM DECK

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-2, 2-A-3,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

SHELTON
WALL SYSTEMS

MODERN ELEGANCE WITH ULTIMATE DESIGN FLEXIBILITY

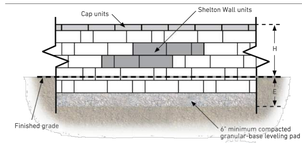
FEATURES & BENEFITS

- Construct small freestanding walls, parapet walls, seat benches, columns, retaining walls and outdoor living environments.
- Straight or curved walls.
- Easy-to-install pin locating system.
- Natural blended hues.

AVAILABLE COLORS

VICTORIAN

WALL PATTERN



SHAPES & SIZES

6-IN SMALL	6 x 6/4 x 10
6-IN MEDIUM	6 x 12/10 x 10
6-IN LARGE	6 x 16/14 x 10
6-IN SMALL CORNER/COLUMN	6 x 6/4 x 10
6-IN MEDIUM CORNER/COLUMN	6 x 12/11 x 10
6-IN LARGE CORNER/COLUMN	6 x 14/13 x 10
CAP	3 x 14/8 x 12
ANCHOR® FIBERGLASS PINS	5L x 0.5 Diameter

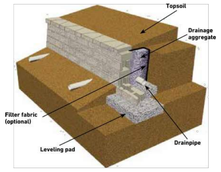
BELGARD® | PAVES THE WAY
For more info, visit Belgard.com

Amcor Location
333 South Redwood Road
North Salt Lake, UT 84054
(800) 800-4004

Retaining Wall Basics

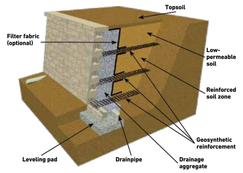
Segmental retaining walls typically fall into one of three categories.

GRAVITY RETAINING WALL



The first category – a gravity wall – is a retaining wall that does not use soil reinforcement. A gravity wall has height limitations specific to each product. An advantage of this type of retaining wall is that it requires a smaller work area behind the wall. A gravity wall relies on the weight and setback of the block to resist the soil forces being exerted on the wall.

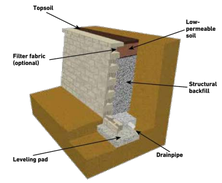
GEOSYNTHETIC-REINFORCED RETAINING WALL



The second category is a geosynthetic-reinforced wall, which needs to be designed by a qualified engineer. There are (theoretically) no height limitations with reinforced retaining walls, and they are used in larger applications. They require more work area behind the structure. The block of soil is stabilized by introducing reinforcement layers into the soil mass behind the facing units. The larger the stabilized soil mass, the more soil can be retained or held back. The geosynthetic reinforcement in the soil extends past the theoretical failure plane and serves to create a large, rectangular mass of block and soil, restraining the retained soil.

ANCHORPLEX® SYSTEM

The third category is the Anchorplex® system, which offers a unique, non-conventional solution to problematic wall construction sites. It is a retaining wall built with Anchor™ products and self-compacting structural backfill specified by Anchor Wall Systems, and backed by engineering support tools developed by Anchor.



Use of the Anchorplex system completely eliminates the need for the construction of a mechanically stabilized earth zone behind the wall facing and requires substantially less excavation than is usually necessary in grid-reinforced wall construction.

For more information about the Anchorplex system, go to **Anchorwall.com**.

Retaining Wall Installation Instructions – Best Practices

STAKE OUT THE WALL
- A surveyor shall locate the proposed base of wall location. Verify the wall location with the project supervisor.

EXCAVATION
- Excavate for the leveling pad to the lines and grades shown on the approved plans and excavate enough soil behind the wall for the geosynthetic reinforcement material *(if required)*.
- The trench for the leveling pad should be at least 21 inches wide and a minimum of 1 foot deep, enough to bury the first course below grade, plus 6 inches for the leveling pad. ***See diagram 1.***

LEVELING PAD
- An aggregate leveling pad is made of compactable base material of ¾-inch minus with fines.
- If the planned grade along the wall front will change elevation, the leveling pad may be stepped up by the height of the block to match the grade change. Always start at the lowest level and work upward.
- Compact the 6 inch (minimum thickness) aggregate leveling pad, using ordinary compaction methods, to provide a level hard surface on which to place the base course. Mist lightly with water before compaction, if needed. ***See Diagram 2.***
- For walls with step-up in the base course, extra care should be given to properly compact the aggregate leveling pad at the step-up locations.

BASE COURSE
- This is the most important step in the installation process.
- Begin laying block at the lowest elevation of the wall, whenever possible.
- Place first block with the wide side to the front and level, front to back and side to side; lay subsequent blocks in the same manner. When using the center pin channel, units should be pitched back 1/16 inch for each foot of wall height.
- Align string line with the center channel to check for proper alignment. ***See Diagram 3.***
- Place the blocks side by side, with wide side to the front and make sure the blocks are in full contact with the leveling pad. Level front to back and side to side. ***See Diagram 4.***
- If the wall is on an incline, don't slope the blocks. Step them up so they remain consistently level. **See page 9 for more information about stepping up the base.**
- Place soil in front of the base course and compact. Base course should be buried. Continue to fill and compact after each course is laid.
- Clean any debris off the top of the blocks.

Diagram 1—Excavation

Diagram 2—Leveling Pad

Diagram 3—Base Course and String Line*

Diagram 4—level each unit*

*Blocks used in diagrams are for install reference only does not depict the face of Shelton Wall.

Retaining Wall Installation Instructions – Best Practices

CONSTRUCTION OF NEXT COURSE AND PIN PLACEMENT
- For a battered wall, place the next course of blocks and align the pin hole with the battered channel of the block on the course below. ***See Diagram 5.***
- For a vertical wall, place the next course of blocks and align with the vertical channel of the block on the below course.
- Insert pins into the pin core of the block. ***See Diagram 6.***
- Maintain running bond with the course below.
- Place 12 inches (minimum) of backfill aggregate behind the wall units and fill voids between the wall units. Place backfill soil and compact. Only lightweight hand operated compaction equipment is allowed within 3 feet from the back of the wall.
- Clean any debris off the top of the blocks before placement of the next course.

DRAINAGE DESIGN (PER DESIGN)
- Each project is unique. The grades on the site will determine at what level to install the drainpipe. Place the drainpipe (4-inch perforated piping) so water drains down and away from the wall into a storm drain, or daylight just above grade.
- Fill in the area behind the blocks with clean drainage aggregate, at least 1 foot from the wall. You may need to place and backfill several courses to achieve the proper drainage level. ***See Diagram 7.***
- The outlet pipes should be spaced not more than every 50 feet and at low points of the wall. In order for the drainage aggregate to function properly, it must keep clear of regular soil fill.

REINFORCED BACKFILL PLACEMENT AND COMPACTION (PER PLAN)
- Place reinforced backfill in 6 to 8 inch loose lifts and compact to the densities specified on the approved wall constructions plans.
- Only hand operated compaction equipment is allowed within 3 feet from the back of the wall.
- If the compaction equipment is too small to achieve the required compaction, thinner lifts should be used.
- Install each subsequent course in a similar manner. Repeat procedure to the extent of the wall height.

Diagram 5—Pin Placement (Battered Channel)*

Diagram 6—Pin Placement (Vertical Channel)*

Diagram 7—Drain Pipe Placement*

WALL UNITS*

6 inch Small Unit	**6 inch Medium Unit**	**6 inch Large Unit**
		
6 inch Small Column Unit	**6 inch Medium Column Unit**	**6 inch Large Column Unit**
		

*Blocks used in diagrams are for install reference only does not depict the face of Shelton Wall.

Wall Patterns

WHEN TO USE A PATTERN

You can install the multipiece retaining wall system in a random pattern using any combination of units. Just avoid vertical lines that span more than 1 foot in height. If you are building a wall without geosynthetic reinforcement, use a pattern for inspiration or follow the pattern exactly. These patterns are based on using an equal number of blocks of each size in each height.

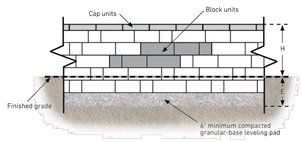
When building a wall that includes geosynthetic reinforcement, using a pattern at the appropriate spacing eliminates the need to cut the geogrid. When using a pattern, begin at one edge laying the blocks as indicated. Install at least one repeat of the pattern to establish the pattern before proceeding to the next course.

SEQUENT™ PANEL INSTALLATION PATTERN

This 12-inch high by 32-inch long installation pattern uses an equal number of units of each face size to make the panel. This installation pattern is one of many possible options. Others can be used for different appearances.

WALL PATTERN

Shown here is the Sequent™ pattern. This is one of many possible pattern options. Others can be used for different appearances.

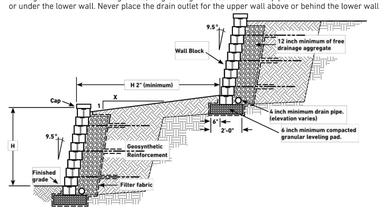


Terraced Walls

INDEPENDENT TERRACED WALLS

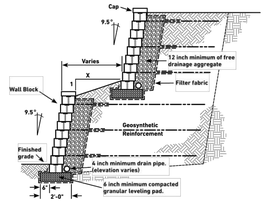
For each wall to be independent of others, it must be built using the 2:1 ratio – the upper wall must be built a distance away from the lower wall of at least twice the height of the lower wall. In addition, the upper wall must also be equal to or less than the height of the lower wall. Exceptions to this general rule include weak soil conditions or where slopes exist above, below or between wall locations. For example, if the lower terrace is 2 feet tall, the distance between the terraces must be at least 4 feet and the upper wall must not be higher than 2 feet.

Drainage is vital to maintaining stable, long-lasting terraced walls. Drainpipe must be installed so the water is directed around or under the lower wall. Never place the drain outlet for the upper wall above or behind the lower wall.



DEPENDENT TERRACED WALLS

When the distance between the lower wall and the upper wall is less than twice the height of the lower wall, the walls become structurally dependent on each other. In this situation, it is important to take global stability into account, incorporating geogrid – and longer layers – into the wall plan. In addition, structurally dependent walls require eve more excavation, backfill and time. Be sure to check the wall plan for specific requirements. For structurally dependent walls, consult with a qualified engineer.



EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED USE URBAN RESIDENTIAL
LONE TREE, CO

19082

REVISION:

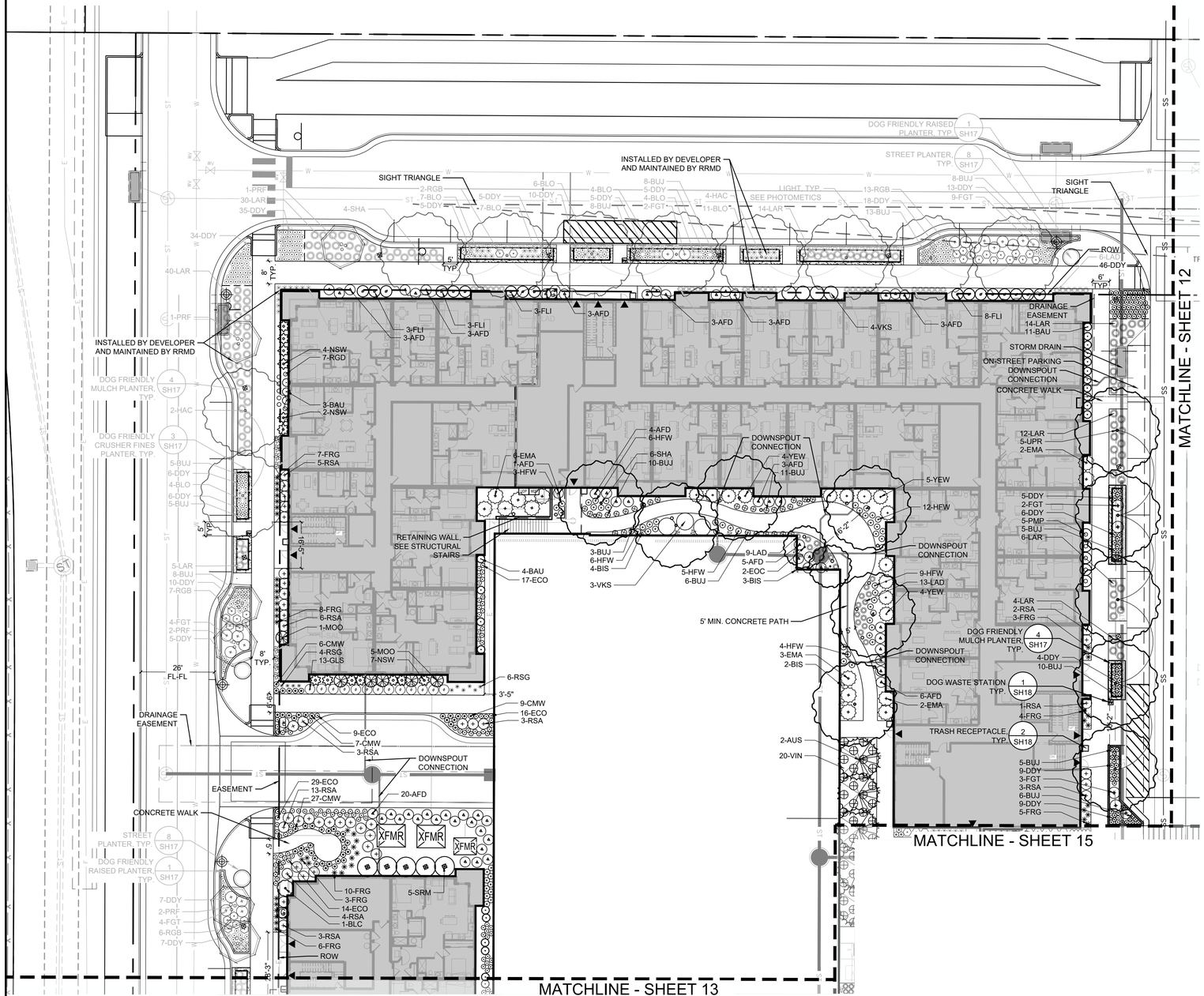
SIP SET

DATE: 07/31/2020
DRAWN BY: ZHM
CHECKED BY: JH

RETAINING WALL DETAILS

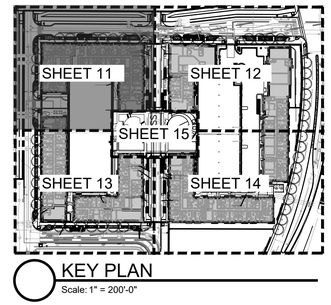
10 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



LANDSCAPE PLAN - NORTHWEST
Scale: 1" = 20'-0"

SCALE: 1" = 20'-0"
0 10 20 40
NORTH



KEY PLAN
Scale: 1" = 200'-0"

LEGEND

- PORCELAIN PLANK PAVERS SEE DETAIL 1 / SH16
- PERMEABLE PAVERS SEE DETAIL 6 / SH16
- SAND FINISH CONCRETE. COLOR: COLORADO HARDSCAPE "CHALK CREEK" OR APPROVED ALTERNATIVE. SEE CIVIL
- TURF
- NATIVE SEED
- TREE GRATE SEE DETAIL 6 / SH17
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- EDGER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING ELECTRIC
- EXISTING ELECTRIC
- ELECTRICAL EQUIPMENT/ TRANSFORMER
- LIGHTS
- EXTERIOR DOOR
- GAS METER
- HYDRANT

NOTES:
1. SCREENED CALLOUTS REPRESENT STREETSCAPE BY RRMD.
2. LANDSCAPING IS ON THE LOWER LEVEL ONLY.
3. LANDSCAPING SHALL BE A MAXIMUM OF 24" MATURE HEIGHT WITHIN SIGHT TRIANGLES.
4. ALL DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM SEWER.

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

CRAIG L. KARN
171
STATE OF COLORADO
REGISTERED LANDSCAPE ARCHITECT
Original Document Signature
07/31/2020
NOT FOR CONSTRUCTION

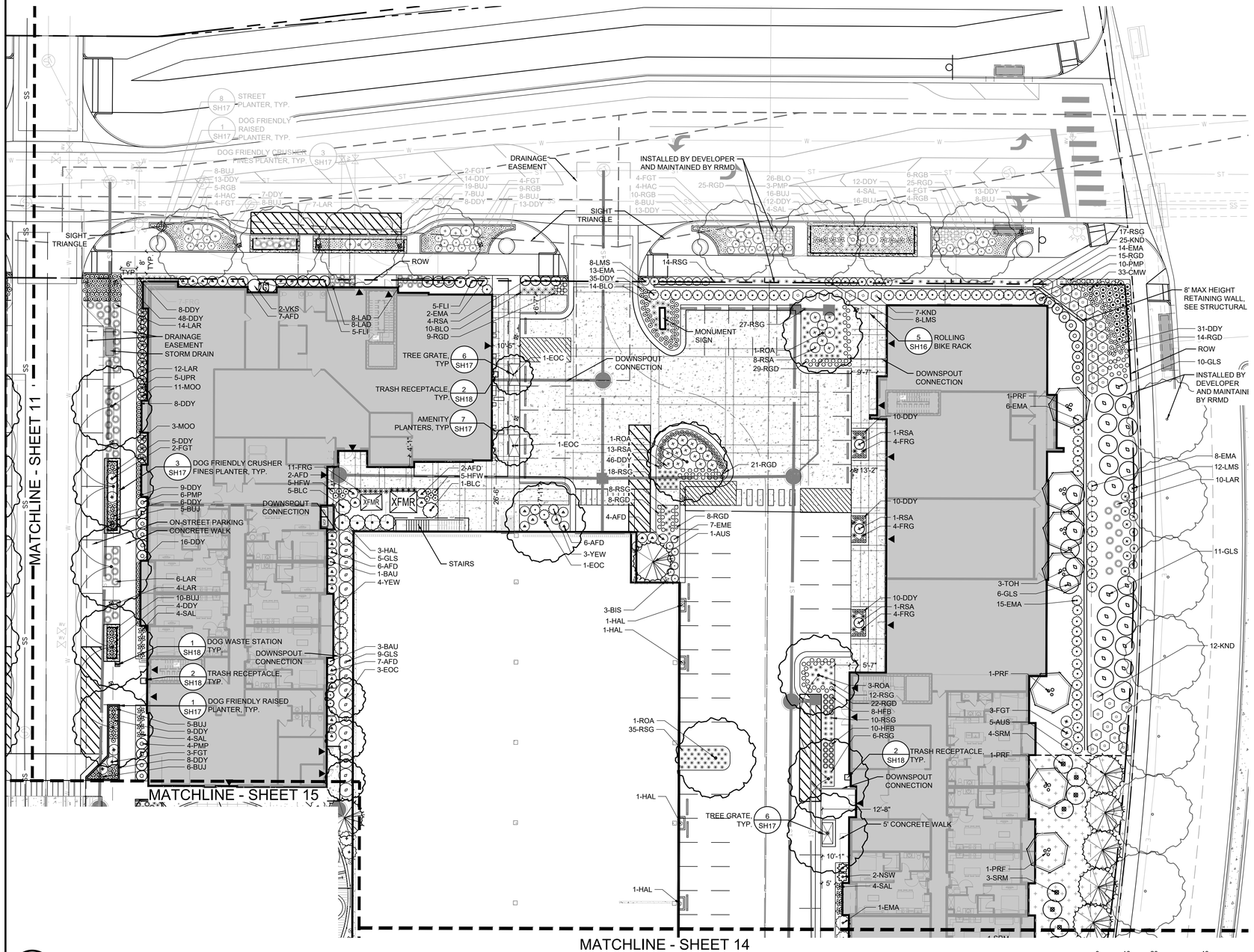
REVISION:

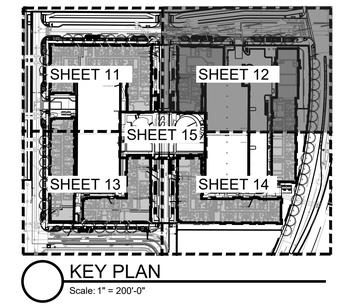
SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

LANDSCAPE PLAN - NORTHWEST

11 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R





KEY PLAN
Scale: 1" = 200'-0"

LEGEND

- PORCELAIN PLANK PAVERS SEE DETAIL 1 / SH16
- PERMEABLE PAVERS SEE DETAIL 6 / SH16
- SAND FINISH CONCRETE. COLOR: COLORADO HARDSCAPE "CHALK CREEK" OR APPROVED ALTERNATIVE. SEE CIVIL
- TURF
- NATIVE SEED
- TREE GRATE SEE DETAIL 6 / SH17
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- EDGER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING ELECTRIC
- EXISTING ELECTRIC
- ELECTRICAL EQUIPMENT/ TRANSFORMER
- LIGHTS
- EXTERIOR DOOR
- GAS METER
- HYDRANT

NOTES:
1. SCREENED CALLOUTS REPRESENT STREETSCAPE BY RRMD.
2. LANDSCAPING IS ON THE LOWER LEVEL ONLY.
3. LANDSCAPING SHALL BE A MAXIMUM OF 24" MATURE HEIGHT WITHIN SIGHT TRIANGLES.
4. ALL DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM SEWER.

LANDSCAPE PLAN - NORTHEAST
Scale: 1" = 20'-0"

0 10 20 40
SCALE: 1" = 20'-0"
NORTH

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

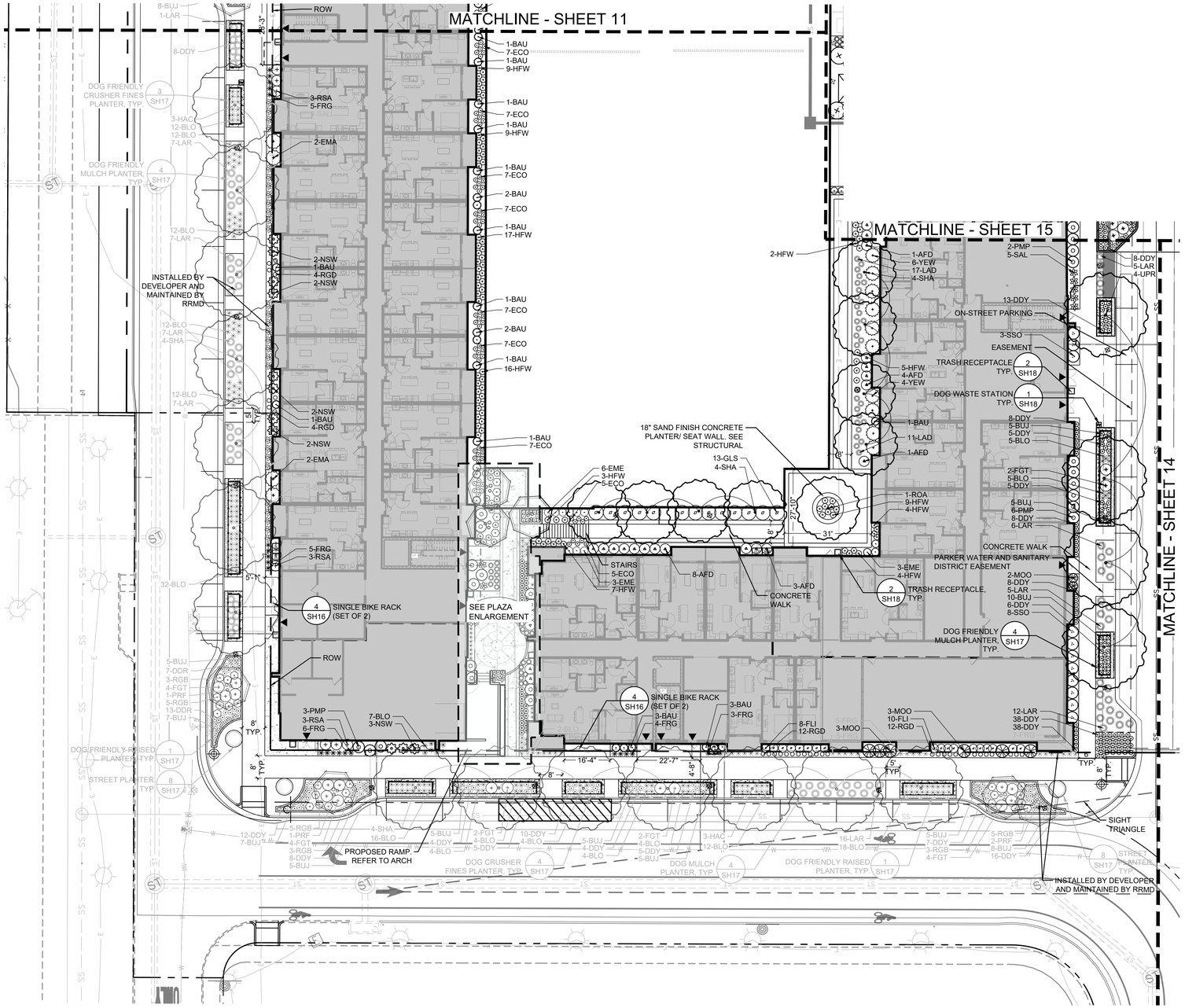
CRAIG L. KARN
171
07/31/2008
Original Document Signature
STATE OF COLORADO
REGISTERED LANDSCAPE ARCHITECT
NOT FOR CONSTRUCTION

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

LANDSCAPE PLAN - NORTHEAST

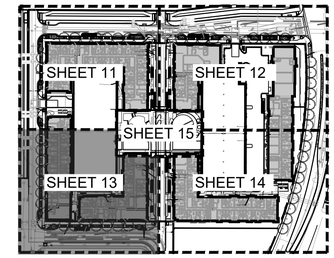
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



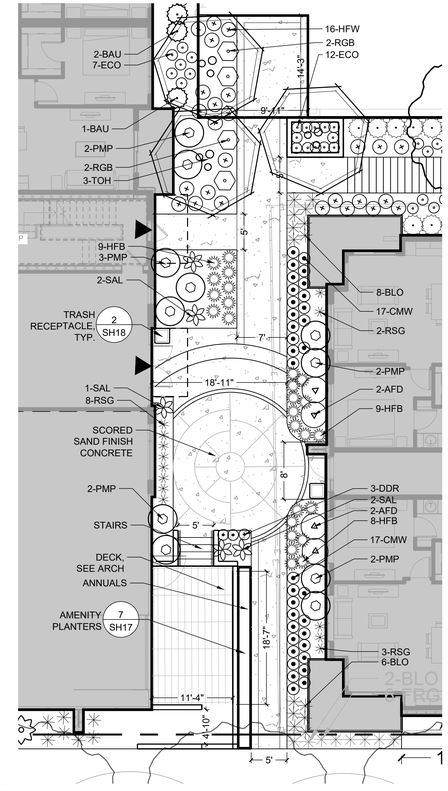
LANDSCAPE PLAN - SOUTHWEST
Scale: 1" = 20'-0"

SCALE: 1" = 20'-0"

NORTH



KEY PLAN
Scale: 1" = 200'-0"



PLAZA ENLARGEMENT
Scale: 1" = 10'-0"

LEGEND

- PORCELAIN PLANK PAVERS SEE DETAIL 1 / SH16
- PERMEABLE PAVERS SEE DETAIL 6 / SH16
- SAND FINISH CONCRETE. COLOR: COLORADO HARDSCAPE "CHALK CREEK" OR APPROVED ALTERNATIVE. SEE CIVIL
- TURF
- NATIVE SEED
- TREE GRATE SEE DETAIL 6 / SH17
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- EDGER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING ELECTRIC
- EXISTING ELECTRIC
- ELECTRICAL EQUIPMENT/ TRANSFORMER
- LIGHTS
- EXTERIOR DOOR
- GAS METER
- HYDRANT

NOTES:
1. SCREENED CALLOUTS REPRESENT STREETSCAPE BY RRMD.
2. LANDSCAPING IS ON THE LOWER LEVEL ONLY.
3. LANDSCAPING SHALL BE A MAXIMUM OF 24" MATURE HEIGHT WITHIN SIGHT TRIANGLES.
4. ALL DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM SEWER

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

CRAIG L. KARN 171 Original Signature
07/31/2020
NOT FOR CONSTRUCTION
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

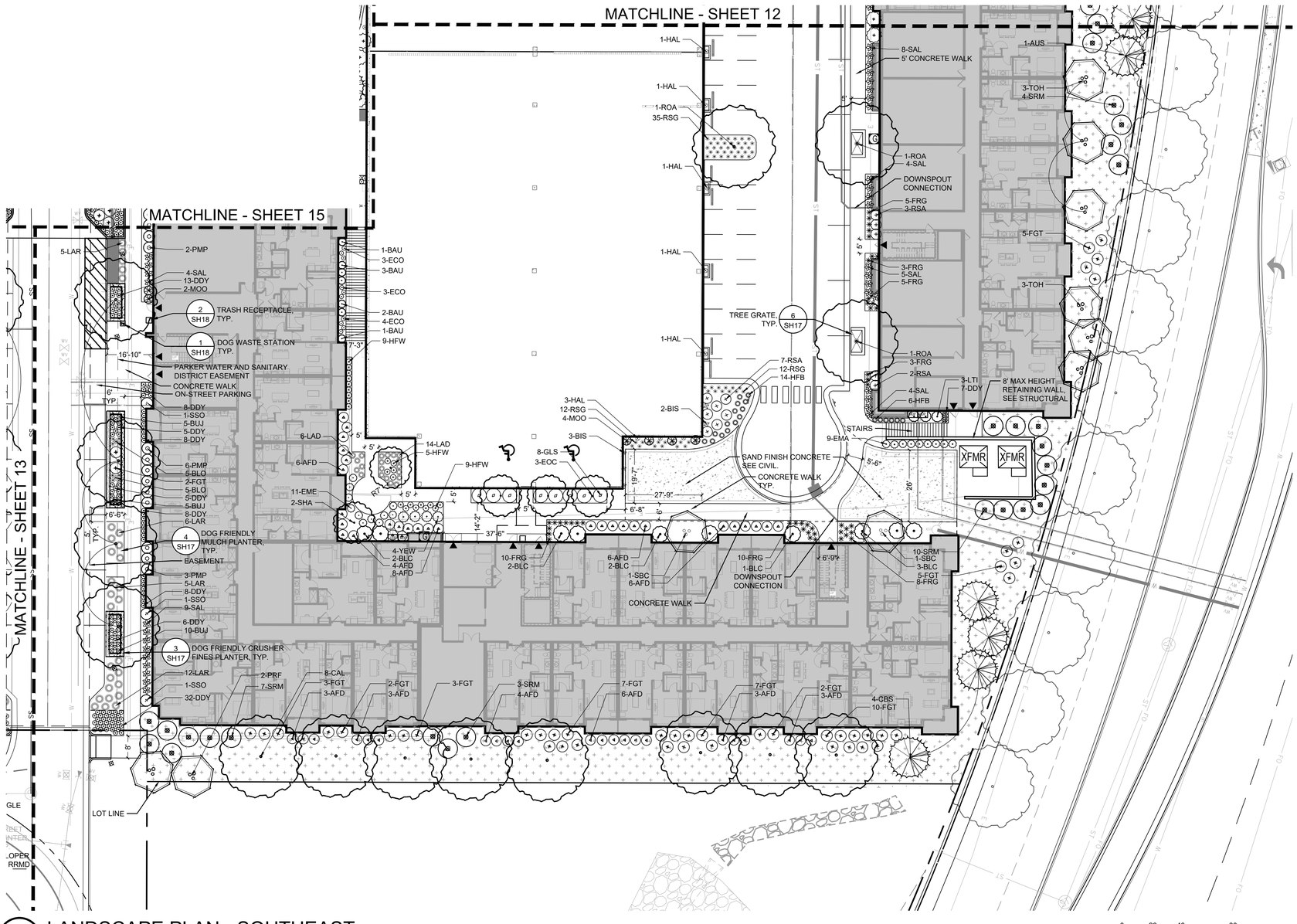
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

LANDSCAPE PLAN - SOUTHWEST

13 OF 55

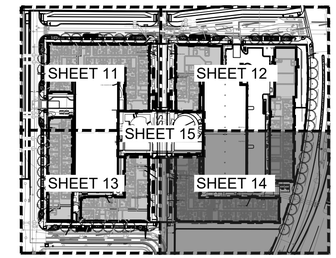
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



LANDSCAPE PLAN - SOUTHEAST
Scale: 1" = 20'-0"

0 20 40 80
SCALE: 1" = 40'-0"

NORTH



KEY PLAN
Scale: 1" = 200'-0"

LEGEND

- PORCELAIN PLANK PAVERS SEE DETAIL 1 / SH16
- PERMEABLE PAVERS SEE DETAIL 6 / SH16
- SAND FINISH CONCRETE. COLOR: COLORADO HARDSCAPE "CHALK CREEK" OR APPROVED ALTERNATIVE. SEE CIVIL
- TURF
- NATIVE SEED
- TREE GRATE SEE DETAIL 6 / SH17
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- EDGER
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING ELECTRIC
- EXISTING ELECTRIC
- ELECTRICAL EQUIPMENT TRANSFORMER
- LIGHTS
- EXTERIOR DOOR
- GAS METER
- HYDRANT

NOTES:
1. SCREENED CALLOUTS REPRESENT STREETSCAPE BY RRMD.
2. LANDSCAPING IS ON THE LOWER LEVEL ONLY.
3. LANDSCAPING SHALL BE A MAXIMUM OF 24" MATURE HEIGHT WITHIN SIGHT TRIANGLES.
4. ALL DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM SEWER.

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

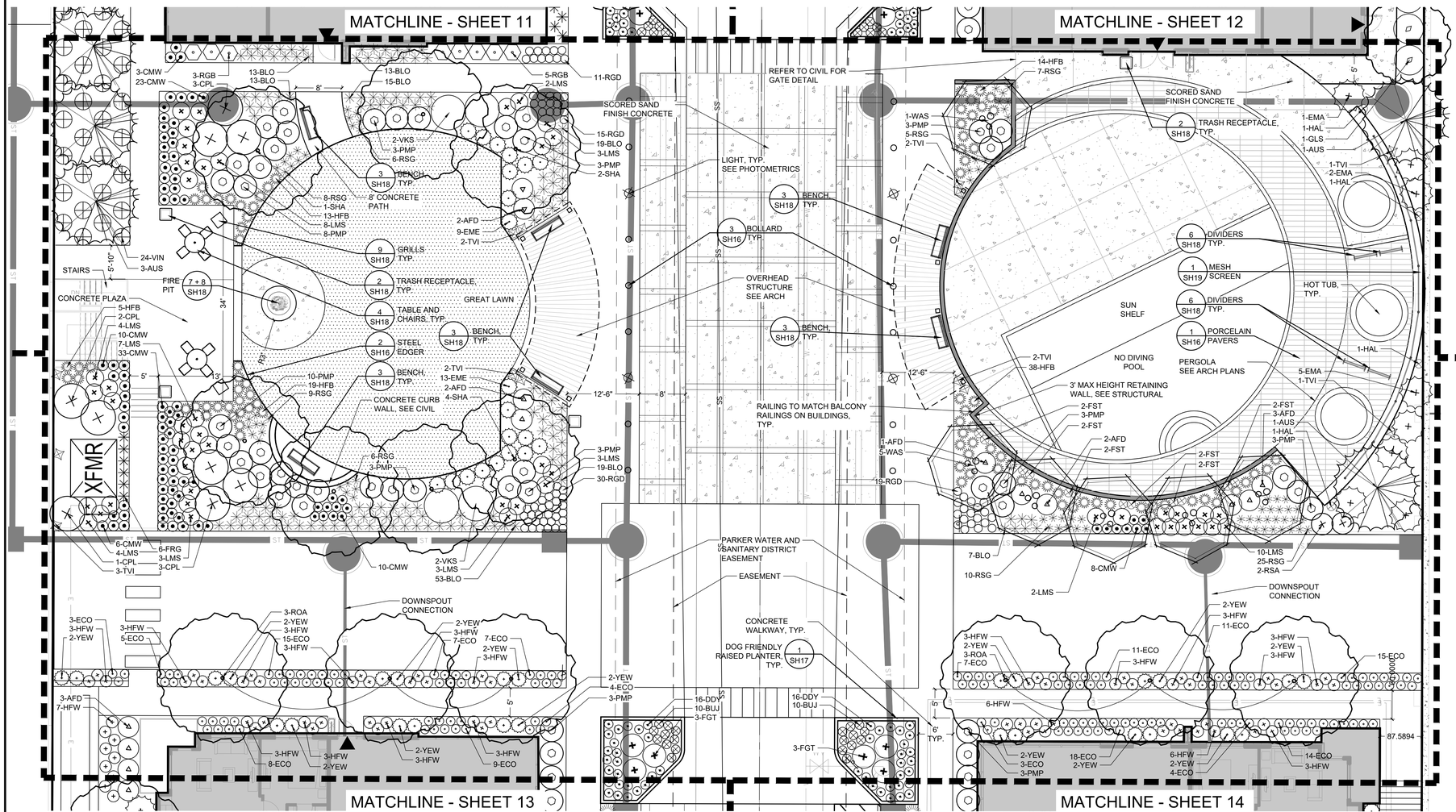
CRAIG L. KARN
171
07/31/2008
Original Document Is Signed and Sealed
NOT FOR CONSTRUCTION
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

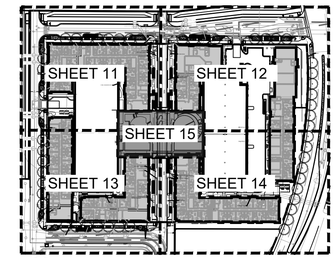
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

LANDSCAPE PLAN - SOUTHEAST

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R





KEY PLAN
Scale: 1" = 200'-0"

LEGEND

- PORCELAIN PLANK PAVERS SEE DETAIL 1 / SH16
- SAND FINISH CONCRETE. COLOR: COLORADO HARDSCAPE "CHALK CREEK" OR APPROVED ALTERNATIVE. SEE CIVIL
- TURF
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING ELECTRIC
- PROPOSED ELECTRIC
- ELECTRICAL EQUIPMENT/ TRANSFORMER
- LIGHTS
- EXTERIOR DOOR
- HYDRANT
- DECIDUOUS TREE
- EVERGREEN TREE
- ORNAMENTAL TREE

NOTES:
1. LANDSCAPING IS ON THE LOWER LEVEL ONLY.
2. ALL DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM SEWER.

LANDSCAPE PLAN - CENTER
Scale: 1" = 10'-0"

0 20 40 80
SCALE: 1" = 40'-0"

NORTH

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

CRAIG L. KARN
171
STATE OF COLORADO
REGISTERED LANDSCAPE ARCHITECT
07/31/2008
Original Document Signature
NOT FOR CONSTRUCTION

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

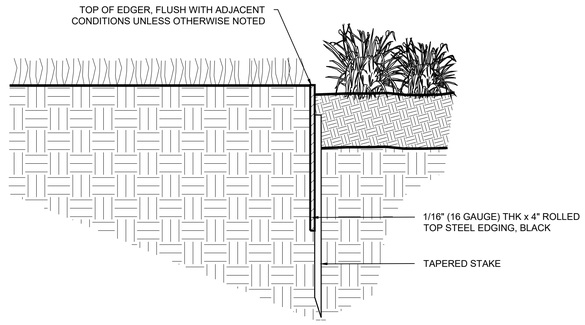
LANDSCAPE
PLAN - CENTER

15 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

PRODUCT: MOOD WOOD
COLOR: HONEY
SIZE: 12"X48"
MANUFACTURER: MILESTONE TILE
WEBSITE: WWW.MILESTONETILES.COM

1 PORCELAIN PAVERS
Scale: NTS



2 STEEL EDGER
Scale: 3" = 1' - 0"

PRODUCT: PUREFORM LED BOLLARD
SIZE: 42"
MANUFACTURER: SIGNIFY
WEBSITE: WWW.SIGNIFY.COM

3 BOLLARD
Scale: NTS

LANDSCAPE FORMS
7800 E. MICHIGAN AVE.
KALAMAZOO, MI 49048
P: 269.381.0396
W: WWW.LANDSCAPEFORMS.COM
E: SPECIFY@LANDSCAPEFORMS.COM

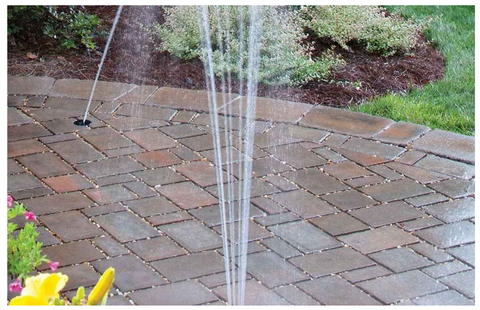
INFO:
- PRODUCT: BOLA BIKE RACK
- COLOR: SILVER
- FINISH: METALLIC
- SIZE: 1.5"D.X28.25"W.X32"W.
- INSTALLATION: SURFACE MOUNTED, INSTALL PER MANUFACTURERS SPECIFICATIONS

4 SINGLE BIKE RACK
Scale: NTS

DERO
42 NORTHERN STACKS DR, SUITE 100
MINNEAPOLIS, MN 55421
P: (612) 359-0689
W: WWW.DERO.COM

INFO:
- PRODUCT: ROLLING RACK
- MODEL: RR3H
- FINISH: STAINLESS STEEL
- INSTALLATION: SURFACE MOUNTED, INSTALL PER MANUFACTURERS SPECIFICATIONS

5 ROLLING BIKE RACK
Scale: NTS



AMCOR
333 SOUTH REDWOOD ROAD
NORTH SALT LAKE, UT 84054
CONTACT: BRYAN PRETZER
EMAIL: BRYAN@COLORADOPAVERSUPPLY.COM

PRODUCT: BELGARD PAVERS
MODEL: ECO DUBLIN®
COLOR: VICTORIAN

6 PERMEABLE PAVERS
Scale: NTS

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

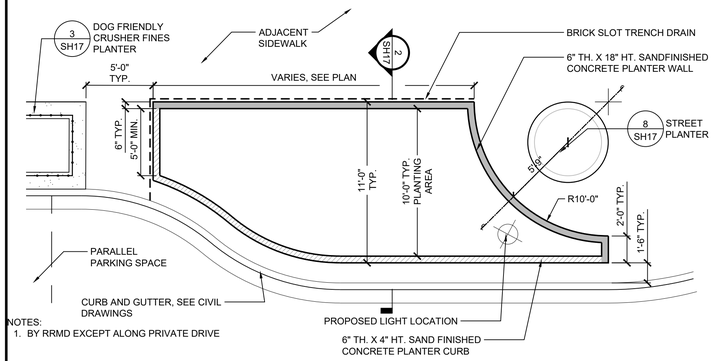
CRAIG L. KARN
171
07/31/2008
Original Document Is Unsigned
NOT FOR CONSTRUCTION
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

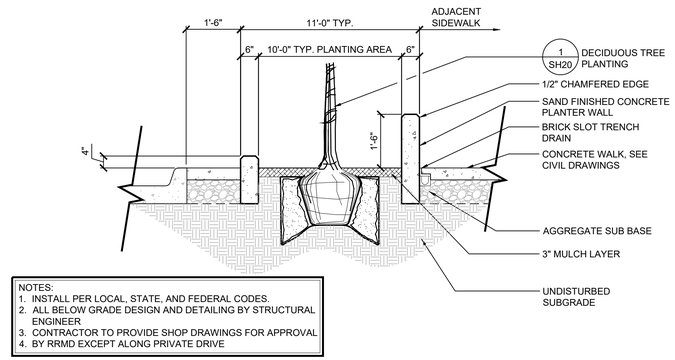
SITE DETAILS
16 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



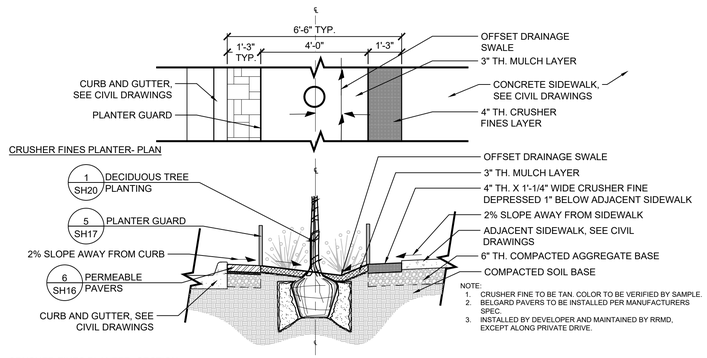
NOTES:
1. BY RRMD EXCEPT ALONG PRIVATE DRIVE

1 DOG FRIENDLY RAISED PLANTER - PLAN
Scale: 1/2" = 1' - 0"



NOTES:
1. INSTALL PER LOCAL, STATE, AND FEDERAL CODES.
2. ALL BELOW GRADE DESIGN AND DETAILING BY STRUCTURAL ENGINEER
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL
4. BY RRMD EXCEPT ALONG PRIVATE DRIVE

2 DOG FRIENDLY RAISED PLANTER - SECTION
Scale: 1/2" = 1' - 0"

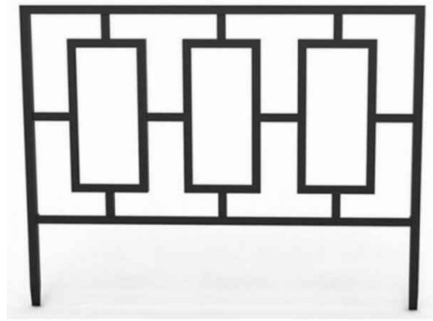


NOTE:
1. CRUSHER FINE TO BE TAN. COLOR TO BE VERIFIED BY SAMPLE.
2. BELGARD PAVERS TO BE INSTALLED PER MANUFACTURERS SPEC.
3. INSTALLED BY DEVELOPER AND MAINTAINED BY RRMD, EXCEPT ALONG PRIVATE DRIVE.

3 DOG FRIENDLY CRUSHER FINES PLANTER
Scale: 3/8" = 1' - 0"

NOTES:
1. INSTALLED BY DEVELOPER AND MAINTAINED BY RRMD, EXCEPT ALONG PRIVATE DRIVE

4 DOG FRIENDLY MULCH PLANTER
Scale: 1/2" = 1' - 0"



PRODUCT: 84575 CONTEMPORARY STYLE GARDEN BORDER EDGE
SIZE: 14"(H) X 18"(W)
MANUFACTURER: PANACEA™
WEBSITE: WWW.TOOLBOXSUPPLY.COM

5 PLANTER GUARD
Scale: NTS

NOTE:
TREE GRATES TO BE POWDER COATED.

6 TREE GRATE
Scale: NTS

PRODUCT: SORELLA PLANTERS
MANUFACTURER: LANDSCAPE FORMS
COLOR: METALLIC SILVER
WEBSITE: WWW.LANDSCAPEFORMS.COM

7 AMENITY PLANTERS
Scale: NTS

PRODUCT: MODERN ELITE ROUND PLANTER
SIZE: 36"W X 32"H
COLOR: METALLIC GREY
MANUFACTURER: PURE MODERN
SIZE: 36"W X 32"H
WEBSITE: WWW.PUREMODERN.COM

8 STREET PLANTER
Scale: NTS

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

CRAIG L. KARN
171
07/31/2020
Original Document Is Signed and Sealed
NOT FOR CONSTRUCTION
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

SITE DETAILS
17 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

PRODUCT: DOG WASTE STATION W/ ONEPUL®
BAG SYSTEM - DEPOT- 022-B
WEBSITE: WWW.DOGWASTEDEPOT.COM

1 DOG WASTE STATION
Scale: NTS

PRODUCT: PITCH LITTER
COLOR: METALLIC SILVER
MANUFACTURER: LANDSCAPE FORMS
WEBSITE: WWW.LANDSCAPEFORMS.COM

2 TRASH RECEPTACLES
Scale: NTS

PRODUCT: STAY BENCH
COLOR: METALLIC SILVER
MANUFACTURER: LANDSCAPE FORMS
WEBSITE: WWW.LANDSCAPEFORMS.COM

3 BENCH
Scale: NTS

PRODUCT: CATENA CHAIR AND 42" CATENA TABLE
COLOR: METALLIC SILVER
MANUFACTURER: LANDSCAPE FORMS
WEBSITE: WWW.LANDSCAPEFORMS.COM

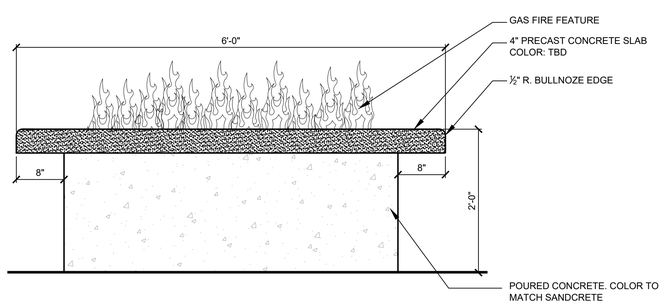
4 TABLE AND CHAIRS
Scale: NTS

PRODUCT:American Outdoor Grill L-Series 24-Inch 2-Burner Natural Gas Grill On In-Ground Post - 24NGL-00SP
MANUFACTURER: BBQ GUYS
WEBSITE: WWW.BBQGUYS.COM

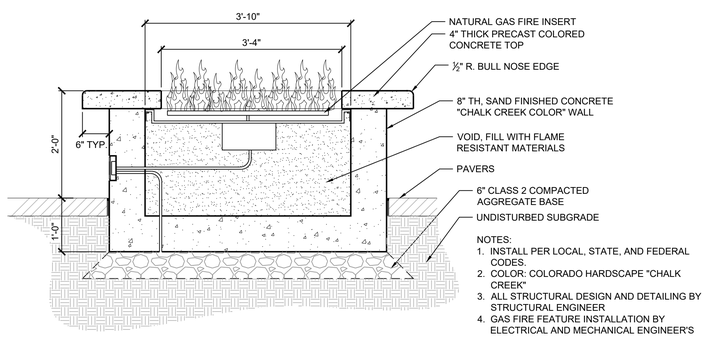
5 GRILL
Scale: NTS

PRODUCT: VERONICA TEAK WINDSCREEN
MANUFACTURER: HOME COUTRE
WEBSITE: WWW.HOMECOUTURE.COM

6 DIVIDERS
Scale: NTS



7 FIRE PIT ELEVATION
Scale: 1" = 1' - 0"



NOTES:
1. INSTALL PER LOCAL, STATE, AND FEDERAL CODES.
2. COLOR: COLORADO HARDSCAPE "CHALK CREEK"
3. ALL STRUCTURAL DESIGN AND DETAILING BY STRUCTURAL ENGINEER
4. GAS FIRE FEATURE INSTALLATION BY ELECTRICAL AND MECHANICAL ENGINEER'S SPECIFICATIONS
5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL

8 FIRE PIT SECTION
Scale: 3/4" = 1' - 0"

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

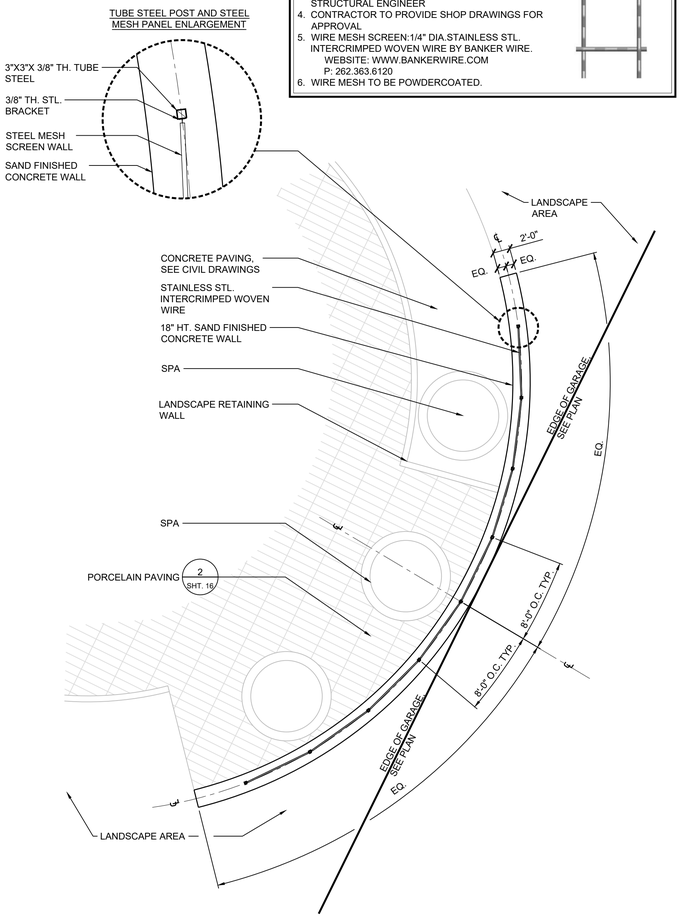
CRAIG L. KARN
171
07/31/2020
Original Document Is Signed and Sealed
NOT FOR CONSTRUCTION
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

SITE DETAILS

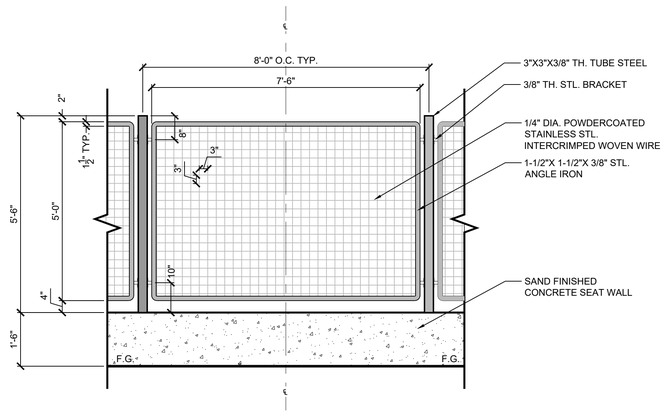
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



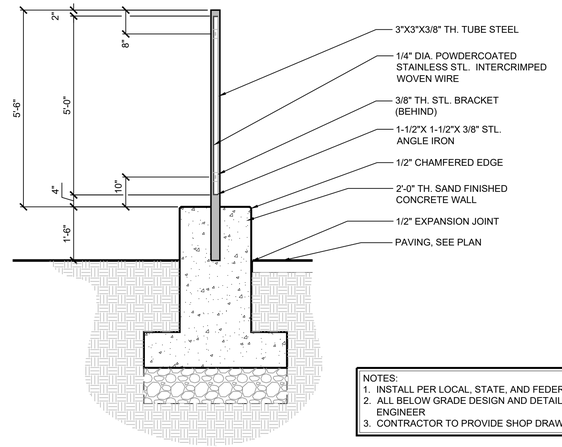
NOTES:
1. INSTALL PER LOCAL, STATE, AND FEDERAL CODES.
2. BRICK TYPE, PATTERN, & COLOR TO BE APPROVED BY OWNER
3. ALL STRUCTURAL DESIGN AND DETAILING BY STRUCTURAL ENGINEER
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL
5. WIRE MESH SCREEN:1/4" DIA.STAINLESS STL. INTERCRIMPED WOVEN WIRE BY BANKER WIRE.
   WEBSITE: WWW.BANKERWIRE.COM
   P: 262.363.6120
6. WIRE MESH TO BE POWDERCOATED.

I-256

1 MESH SCREEN - PLAN
Scale: 1/8"=1'-0"



2 MESH SCREEN - ELEVATION
Scale: 1/2"=1'-0"



NOTES:
1. INSTALL PER LOCAL, STATE, AND FEDERAL CODES.
2. ALL BELOW GRADE DESIGN AND DETAILING BY STRUCTURAL ENGINEER
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL

3 MESH SCREEN - SECTION
Scale: 1/2"=1'-0"

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

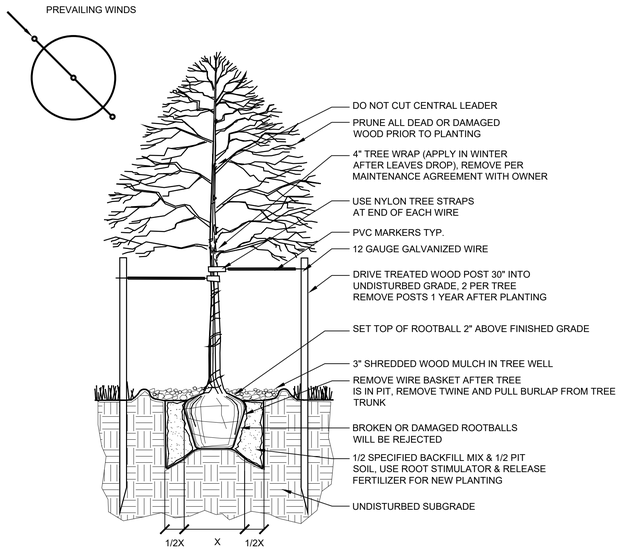
CRAIG L. KARN
171
STATE OF COLORADO
LICENSED LANDSCAPE ARCHITECT
Original Signature
07/31/2020
NOT FOR CONSTRUCTION

REVISION:

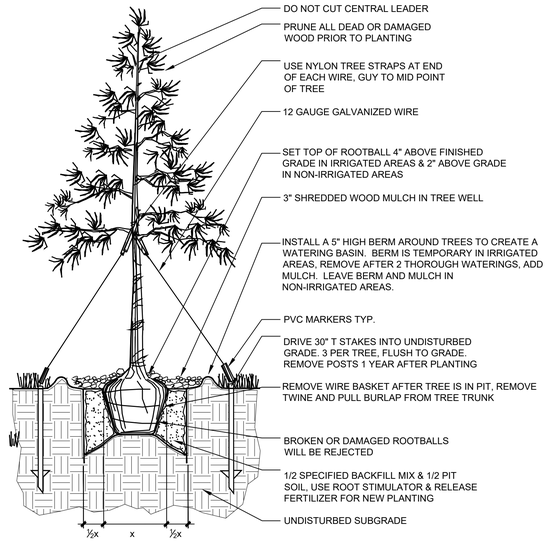
SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

SITE DETAILS

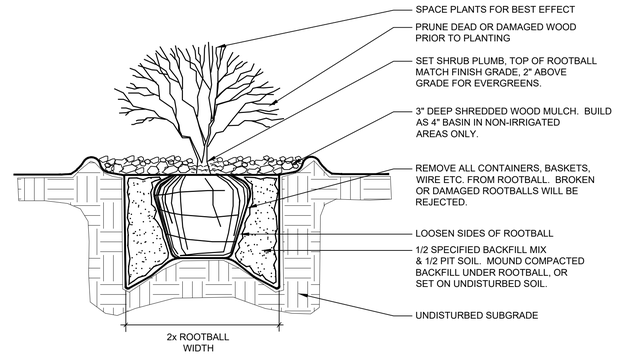
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



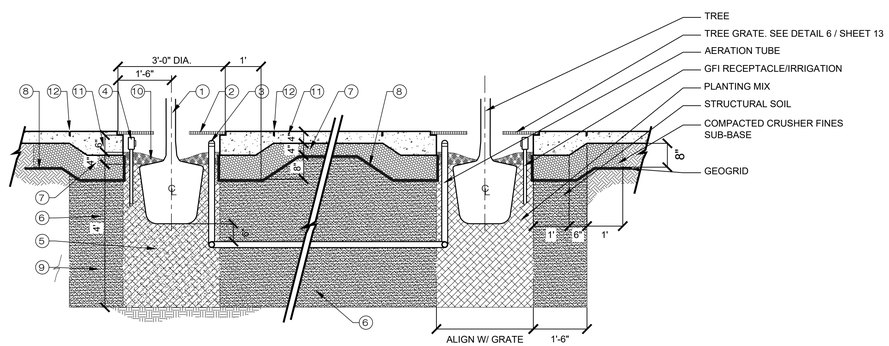
1 DECIDUOUS TREE PLANTING
Scale: 1/2" = 1' - 0"



2 EVERGREEN TREE PLANTING
Scale: 1/2" = 1' - 0"



3 SHRUB PLANTING
Scale: 1/2" = 1' - 0"



1. TREE
2. TREE GRATE SEE DETAIL 6 / SHEET 13
3. AERATION TUBE
4. GFI RECEPTACLE/ IRRIGATION
5. PLANTING MIX
6. STRUCTURAL SOIL
7. COMPACTED CRUSHER FINES SUB-BASE
8. GEOGRID
9. 6" PERFORATED PIPE WITH FILTER FABRIC, DRAIN TO STORM SEWER
10. WOOD MULCH, 4" MIN.
11. POURED CONCRETE WALK W/ THICKENED EDGE
12. 3/16" WIDE x 1 1/2" DEEP SAWED CONTROL JOINT, SEE PLAN

4 TREE GRATE PLANTING SECTION
Scale: 1/2" = 1' - 0"

Consilium Design
LAND PLANNING AND LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

CRAIG L. KARN
171
Original Signature
NOT FOR CONSTRUCTION
STATE OF COLORADO
REGISTERED LANDSCAPE ARCHITECT

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

PLANTING DETAILS

20 OF 55

PLANTING AREAS:
DRIVE/STREETSCAPE LANDSCAPE: 4,600 S.F.
EXTERNAL BUILDING LANDSCAPE: 14,900 S.F.
INTERNAL BUILDING LANDSCAPE: 11,165 S.F.
PARKING LOT LANDSCAPE: 3,550 S.F.
PARK AMENITY LANDSCAPE: 2,835 S.F.
POOL AMENITY LANDSCAPE: 1,280 S.F.
TURF: 2,260 S.F.
NATIVE LANDSCAPE: 13,580 S.F.

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2, RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7 MIXED-USE COMMUTER STATION DISTRICT (MU-3) 8.22 ACRES SIP SP 20-24R

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
8	CAL	Catalpa speciosa	WESTERN CATALPA	2.5" CAL	SEE PLANS	B&B
11	EOC	Quercus robur 'Fastigiata'	ENGLISH COLUMNAR OAK	2.5" CAL	SEE PLANS	B&B
16	ROA	Quercus rubra	NORTHERN RED OAK	2.5" CAL	SEE PLANS	B&B
23	SHA	Gleditsia triacanthos inermis 'Shademaster'	SHADEMASTER HONEYLOCUST	2.5" CAL	SEE PLANS	B&B
18	UPR	Ulmus davidiana var. japonica 'JFS-Bieberich'	EMERALD SUNSHINE ELM	2.5" CAL	SEE PLANS	B&B
EVERGREEN TREES						
63	BAU	Juniperus virginiana 'Blue Arrow'	BLUE ARROW JUNIPER	8' HT.	SEE PLANS	B&B
14	AUS	Pinus nigra	AUSTRIAN PINE	8' HT.	SEE PLANS	B&B
4	CBS	Picea pungens	COLORADO BLUE SPRUCE	8' HT.	SEE PLANS	B&B
ORNAMENTAL TREES						
2	SBC	Amelanchier canadensis	SHADBLOW SERVICE BERRY	2" CAL	SEE PLANS	B&B
14	SSO	Amelanchier alnifolia 'Obelisk'	STANDING OVATION SERVICEBERRY	2" CAL	SEE PLANS	B&B
12	TOH	Cratagus x mordeninsis 'Toba'	TOBA HAWTHORN	2" CAL	SEE PLANS	B&B
6	WAS	Cratagus phaenopyrum	WASHINGTON HAWTHORN	2" CAL	SEE PLANS	B&B
6	PRF	Malus x 'Prairiefire'	PRAIRIE FIRE CRABAPPLE	2" CAL	SEE PLANS	B&B
DECIDUOUS SHRUBS						
17	BLC	Aronia melanocarpa	BLACK CHOKEBERRY			CONTAINER
177	AFD	Cornus stolonifera 'Farrow'	ARCTIC FIRE DOGWOOD	5 GAL.	SEE PLANS	CONTAINER
9	CPL	Syringa vulgaris	COMMON LILAC	5 GAL.	SEE PLANS	CONTAINER
3	LTI	Syringa "Bailbelle'	TINKERBELL LILAC	5 GAL.	SEE PLANS	CONTAINER
45	FLI	Rhamnus frangula 'Ron Williams' PP14791	FINE LINE BUCKTHORN	5 GAL.	SEE PLANS	CONTAINER
75	FGT	Forsythia 'Courtasol'	FORSYTHIA GOLD TIDE	5 GAL.	See Plans	CONTAINER
88	GLS	Rhus aromatica 'Grow-Low'	GROW-LOW SUMAC	5 GAL.	SEE PLANS	CONTAINER
37	SRM	Rhus glabra 'Cismontana'	ROCKY MOUNTAIN SUMAC	5 GAL.	SEE PLANS	CONTAINER
13	RGB	Berberis thunbergii 'Rosy Glow'	ROSY GLOW BARBERRY	5 GAL.	SEE PLANS	CONTAINER
95	RSA	Salvia yangii	RUSSIAN SAGE	5 GAL.	SEE PLANS	CONTAINER
26	NSW	Physocarpus opulifolius 'Seward'	SUMMERWINE NINEBARK	5 GAL.	SEE PLANS	CONTAINER
44	KND	Rosa 'RADko'	DOUBLE KNOCK OUT ROSE	5 GAL.	SEE PLANS	CONTAINER
77	LMS	Spirea x bumalda 'Limemound'	LIMEMOUND SPIREA	5 GAL.	SEE PLANS	CONTAINER
13	VKS	Viburnum carlesii	KOREAN SPICE VIBURNUM	5 GAL.	SEE PLANS	CONTAINER
EVERGREEN SHRUBS						
34	MOO	Juniperus scopulorum 'Moonglow'	MOONGLOW JUNIPER	5 GAL.	SEE PLANS	CONTAINER
328	ECO	Euonymous coloratus	PURPLELEAF WINTERCREEPER	5 GAL.	SEE PLANS	CONTAINER
59	EME	Euonymous fortunei 'Emerald Gaity'	EMERALD GAITY WINTERCREEPER	5 GAL.	SEE PLANS	CONTAINER
103	PMP	Pinus mugo palouse	PALOUSE MUGO PINE	5 GAL.	SEE PLANS	CONTAINER
94	EMA	Euonymous kiautschovica 'Manhattan'	MANHATTAN EUONYMOUS	5 GAL.	SEE PLANS	CONTAINER
60	YEW	Taxus x media 'Densiformis'	DENSE SPREADING YEW	5 GAL.	SEE PLANS	CONTAINER
PERRENIALS						
86	LAD	Achemilla mollis	LADY'S MANTLE	1 GAL.	SEE PLANS	CONTAINER
142	BUJ	Ajuga reptans	BURGUNDY CARPET BUGLE	1 GAL.	SEE PLANS	CONTAINER
13	TVI	Campsis radicans	TRUMPET VINE	1 GAL.	SEE PLANS	CONTAINER
12	FST	Clematis 'Fragrant Star'	FRAGRANT STAR CLEMATIS	1 GAL.	SEE PLANS	CONTAINER
29	DDR	Hemerocallis 'Little Business'	DAYLILY LITTLE BUSINESS DWARF	1 GAL	SEE PLANS	CONTAINER
563	DDY	Hemerocallis 'Stella D'Oro'	STELLA D'ORO DWARF DAYLILY	1 GAL.	SEE PLANS	CONTAINER
256	HFW	Hosta sieboldiana 'Frances Williams'	FRANCES WILLIAMS HOSTA	1 GAL	SEE PLANS	CONTAINER
19	HAL	Lonicera japonica 'Halliana'	HALL'S HONEYSUCKLE	1 GAL.	SEE PLANS	CONTAINER
209	CMW	Nepeta faassenii 'Walker's Low'	WALKERS LOW CATMINT	1 GAL.	SEE PLANS	CONTAINER
17	BIS	Parthenocissus tricuspidata	BOSTON IVY	1 GAL.	SEE PLANS	CONTAINER
240	RGD	Rudbeckia fulgida 'Goldstrum'	BLACKEYED SUSAN	1 GAL	SEE PLANS	CONTAINER
56	SAL	S. sylvestris x 'East Friesland'	PURPLE FLOWERING SAGE	1 GAL.	SEE PLANS	CONTAINER
44	VIN	Vinca minor 'Bowles'	PERIWINKLE	1 GAL.	SEE PLANS	CONTAINER
GRASSES						
213	BLO	Boutelous gracilis 'Blonde Ambition'	BLONDE AMBITION BLUE GRAMA	5 GAL.	SEE PLANS	CONTAINER
134	FRG	Calamagrostis acutiflora 'Karl Foerster'	FEATHER REED GRASS	5 GAL.	SEE PLANS	CONTAINER
138	LAR	Elymus arenarius 'Blue Dune'	BLUE DUNE LYME GRASS	1 GAL.	SEE PLANS	CONTAINER
305	RSG	Panicum virginiana 'Shenandoah'	SHENANDOAH SWITCHGRASS	5 GAL.	SEE PLANS	CONTAINER
153	HFB	Pennisetum alopecuroides 'Little Bunny'	LITTLE BUNNY FOUNTAIN GRASS	5 GAL.	SEE PLANS	CONTAINER

MULCH
38,330 SQFT

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC SYMBOLS ON LANDSCAPE DRAWINGS TAKES PRECEDENCE OVER WRITTEN PLANT QUANTITIES.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO FEDERAL, STATE, CITY, AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

2. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.

3. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS.

4. RECIPIENTS OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.

5. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.

6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

7. CONTRACTOR SHALL VERIFY (CALL FOR UTILITY LOCATES) LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.

8. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTLING DUE TO EXCAVATION AND TRENCHING.

9. CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES/ IMPROVEMENTS, UNLESS OTHERWISE NOTED.

10. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE RIGHT-OF-WAY AND/ OR PUBLIC PROPERTY AT THE END OF EACH WORK DAY.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND/ OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND/ OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.

12. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT.

14. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTED BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.

15. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATION TO ANY VIOLATIONS OR NON-CONFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.

17. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.

18. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.

19. SITE TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.

20. CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.

21. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THEIR CONTRACTED COURSE OF WORK.

22. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS, AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.

23. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.

24. THE CLEANING OF CONCRETE IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.

SOIL AMENDMENT

1. ALL SOILS FOR GENERAL LANDSCAPING AREAS OR ON WHICH ANY COOL-SEASON LAWN, TURF OR SOD IS TO BE INSTALLED MUST BE PROPERLY AMENDED WITH ORGANIC MATTER SUCH AS COMPOST AND AGED MANURE. A MINIMUM OF FOUR (4) CUBIC YARDS OF COMPOST PER EACH ONE THOUSAND (1,000) SQUARE FEET OF SOIL SHOULD BE INCORPORATED TO A DEPTH OF AT LEAST FOUR (4) TO SIX (6) INCHES BY ROTOTILLING OR OTHER SUITABLE MEASURE. SOIL AMENDMENTS FOR NATIVE PLANTS AND GRASSES ARE NOT REQUIRED.
2. STRUCTURED SOILS THAT INCLUDE ROCK AND SAND TO REDUCE COMPACTION AND INCREASE POROSITY FOR ROOT GROWTH MAY BE REQUIRED WHERE TREE GRATES ARE PROPOSED.

MULCH AND GROUNDCOVERS

1. ORGANIC MULCH SUCH AS WOOD/BARK SHALL BE INSTALLED AND MAINTAINED TO A DEPTH OF FOUR (4) INCHES. ROCK MULCH IS DISCOURAGED AS MULCH EXCEPT IN AREAS OF HIGH WINDS OR AREAS PRONE TO EROSION AS EVALUATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT. WHERE ROCK MULCH IS USED, PLACE TO A DEPTH OF THREE (3) INCHES. THE USE OF IMPERMEABLE SHEET PLASTIC AS A WEED BARRIER IS NOT PERMITTED.

PLANTING NOTES

1. WEED FABRIC SHALL NOT BE INSTALLED IN PLANTING BEDS UNLESS SPECIFICALLY SPECIFIED ON PLANS. PLANTING DESIGN IS INTENDED TO ALLOW PLANTS TO SPREAD THROUGHOUT PLANTING BEDS.

2. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.

3. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.

4. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATION. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIAL DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.

6. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.

7. ALL EXISTING TREES SHALL BE SAVED AND PROTECTED (TRANSPLANTED IF NECESSARY), UNLESS OTHERWISE NOTED.

8. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED PRIOR TO CONSTRUCTION SHALL BE COLLECTED, SAVED, AND PROTECTED FOR LATER USE ON AREAS REQUIRING REVEGETATION (SEED) AND/ OR LANDSCAPING.

9. ALL TURF AND BED AREAS SHALL RECEIVE ORGANIC SOIL PREPARATION AT A RATE OF (4) FOUR CUBIC YARDS PER 1000 SQUARE FEET TILLED TO A DEPTH OF 6 INCHES OR AS NOTED IN THE TECHNICAL SPECIFICATIONS. ALL SEEDED AREAS SHALL RECEIVE ORGANIC SOIL PREPARATION AT A RATE RATE RECOMMENDED BY SEED PRODUCER. SEE TECHNICAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.

10. PRIOR TO INSTALLING OF PLANT MATERIALS, ALL AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED, REPAIRED AND SEEDED IF NECESSARY. SEE SPECIFIED SEED MIX INFORMATION.

11. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY'S SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE (SPECIFICATIONS AND DETAILS PROVIDED WITH THE PLANS VERSUS THE CITY AND COUNTY'S SPECIFICATIONS AND DETAILS).

12. ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."

13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC SYMBOLS ON LANDSCAPE DRAWINGS TAKES PRECEDENCE OVER WRITTEN PLANT QUANTITIES.

14. ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/ OR SHOWN ON THE LANDSCAPE DRAWINGS.

15. ALL PLANTS INSTALLED SHALL FOLLOW THE PLANT SCHEDULE ON THE APPROVED LANDSCAPE DRAWINGS. SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.

16. CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT AND/ OR OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.

17. THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

18. CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT AND/OR OWNER.

19. ALL PLANTS SHALL BE WATERED, CARED FOR, AND PROTECTED FROM DAMAGING WEATHER EFFECTS WHEN NECESSARY.

20. ALL PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO THE PROJECT SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO HELP PREVENT ANY DAMAGE.

21. ALL TREES ARE TO BE STAKED WITH WOOD STAKES AND GUYED FOR A PERIOD OF ONE YEAR PER THE DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING WOOD STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.

22. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.

23. TREE WRAP SHALL BE APPLIED IN LATE FALL AFTER INSTALLATION AND REMOVED THE FOLLOWING SPRING. TREES GREATER THAN 4" IN CALIPER MAY NOT REQUIRE TREE WRAP IF BARK IS SUFFICIENTLY DEVELOPED. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE WRAPPED.

24. CONTRACTOR SHALL OBTAIN SOIL SAMPLES FROM A MINIMUM OF 5 SUITABLE LOCATIONS AND SUBMIT SAMPLES TO A STATE-LICENSED SOIL TESTING LABORATORY, SUCH AS COLORADO ANALYTICAL OR COLORADO STATE UNIVERSITY SOILS LAB, SPECIALIZING IN THE ANALYSIS OF SOIL AND IN MAKING RECOMMENDATIONS FOR THE INTRODUCTION OF ORGANIC AMENDMENTS IN LANDSCAPE PLANTING AREAS. THE RESULTS OF THE SOIL ANALYSIS AND RECOMMENDATIONS SHALL BE FORWARDED TO THE OWNER'S REPRESENTATIVE ALONG WITH THE CONTRACTOR'S RECOMMENDATIONS FOR SOIL AMENDMENT MATERIALS AND QUANTITIES.

Consilium Design
LAND PLANNING AND LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

CRAIG L. KARN
171
07/31/2008
Original Document Is Signed and Sealed
STATE OF COLORADO
REGISTERED LANDSCAPE ARCHITECT
NOT FOR CONSTRUCTION

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KLW
CHECKED BY: JDH

PLANTING SCHEDULE AND NOTES

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

IRRIGATION CONSTRUCTION NOTES

1. DRAWINGS AND BASE INFORMATION – ALL BASE AND PLANTING INFORMATION HAVE BEEN PROVIDED BY CONSILIUM DESIGN. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY HYDROSYSTEMS*KDI OF ANY DISCREPANCIES BETWEEN THE UTILITY OR PLANTING PLANS AND THE IRRIGATION PLAN. IF CONTRACTOR FAILS TO NOTIFY HYDROSYSTEMS*KDI AND MAKES CHANGES TO THE IRRIGATION SYSTEM DESIGN, HE ASSUMES ALL COSTS AND LIABILITIES ASSOCIATED WITH THOSE FIELD CHANGES. REFER TO SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS. CONTACT IRRIGATION CONSULTANT FOR CURRENT SPECIFICATIONS IF NOT PROVIDED.

2. SYSTEM PRESSURE - HYDROSYSTEMS*KDI HAS CONTACTED THE LOCAL WATER DISTRICT THAT SERVES THIS SITE AND THEY HAVE BEEN TOLD THAT THE STATIC WATER PRESSURE IN THIS AREA SHOULD BE **(TBD)** PSI. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRESSURE PRIOR TO COMMENCING ANY CONSTRUCTION AND NOTIFY HYDROSYSTEMS*KDI OF ANY VARIANCE FROM THE STATED PRESSURE IMMEDIATELY. WRITTEN DOCUMENTATION OF PRESSURE TEST AND RESULTS SHALL BE PROVIDED TO HYDROSYSTEMS*KDI AT CONSTRUCTION ONSET. IF CONTRACTOR FAILS TO FIELD VERIFY PRESSURE AND/OR NOTIFY HYDROSYSTEMS*KDI OR ANY VARIATIONS FROM THIS PRESSURE, THEN HE ASSUMES ALL CONSTRUCTION AND ENGINEERING COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS REQUIRED TO ACCOMMODATE ACTUAL SITE PRESSURE. REFER TO POINT OF CONNECTION & CONTROLLER DATA MATRIX BELOW FOR REQUIRED PRESSURE AT EACH LOCATION.

3. IRRIGATION SYSTEM OPERATION INTENT - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO IRRIGATE THE ESTABLISHED LANDSCAPE WITHIN A SIX NIGHT PER WEEK, SIX HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A FOUR TO SIX WEEK PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.

BLUEGRASS TURF	2.05" PER WEEK PEAK SEASON
REVEILLE TURF	1.83" PER WEEK PEAK SEASON
ORNAMENTAL PLANTINGS	0.74" PER WEEK PEAK SEASON
NATIVE SEED MIXES	0.95" PER WEEK PEAK SEASON (ONE SEASON)

NOTE: IT IS THE INTENT OF THIS DESIGN THAT NATIVE AREAS WOULD ONLY BE IRRIGATED FOR ESTABLISHMENT.

4. EQUIPMENT INSTALLATION - IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN PROPERTY LIMITS AND WITHIN LANDSCAPED AREAS. ANY EQUIPMENT OTHER THAN VALVE BOXES OR SLEEVING THAT CONTAINS PIPE OR WIRES SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM EDGE OF ANY PAVED SURFACES UNLESS SPECIFICALLY INDICATED ON PLANS. BOXES INSTALLED IN OPEN TURF AREAS SHALL BE KEPT TO EDGES AND STAKED FOR REVIEW IF ALONG HIGH TRAFFIC AREAS. ALL VALVE BOXES SHALL BE PLACED A MINIMUM OF 3'-0" FROM THE CENTERLINE OF ANY DRAINAGE SWALE. ALL VALVE BOXES WITHIN PAVEMENT SHALL BE TIER 15 RATED BOXES FOR HEAVY DUTY NON-DELIBERATE TRAFFIC. BOX LID COLOR SHALL MATCH ADJACENT MATERIALS, I.E. GREEN IN TURF, TAN IN WOOD MULCH, GRAY IN STONE MULCH, PURPLE FOR RECLAIMED WATER SYSTEMS (IF REQUIRED). REFER TO LANDSCAPE PLANS FOR MATERIAL COLORS AND TYPES. ALL BOXES SHALL BE INSTALLED TO BE FLUSH WITH GRADE AND IN AN ORDERLY MANNER. WHERE MORTAR PAVING LIDS ARE INSTALLED ABOVE BOXES, IRRIGATION BOX WITH LID SHALL BE LOWERED TO ACCOMMODATE PAVING LID. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION, TO BE INSTALLED PER MANUFACTURE RECOMMENDATIONS.

5. PIPING INSTALLATION – IRRIGATION PIPING SHALL MAINTAIN A MINIMUM DISTANCE FROM BUILDING FOUNDATIONS OF 5 FEET OR AS DESCRIBED IN SOILS REPORT, WHICHEVER IS GREATER. NO SPRAY IRRIGATION SHALL OCCUR WITHIN 10 FEET OF THE FOUNDATION. NO DRIP IRRIGATION SHALL OCCUR WITHIN 5 FEET OF THE FOUNDATION UNLESS SOIL MOISTURE SENSORS ARE INSTALLED ON VALVES SERVICING THESE AREAS. ALL IRRIGATION PIPING AND EMISSION DEVICES LOCATED ON TOP OF OR WITHIN BUILDING STRUCTURE SHALL CONFORM TO WATERPROOFING CONSULTANT REQUIREMENTS. PIPE ROUTING MAY BE SHOWN WITHIN THESE DISTANCES FOR GRAPHICAL CLARITY ONLY.

6. MANUAL DRAIN VALVES - CONTRACTOR TO INSTALL ONE MANUAL DRAIN VALVE ON PRESSURE SUPPLY LINE DIRECTLY DOWNSTREAM OF BACKFLOW PREVENTER AND AT ALL LOW POINTS AND DEAD ENDS OF PRESSURE SUPPLY PIPING TO ENSURE COMPLETE DRAINAGE OF SYSTEM. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THESE LOCATIONS IN-FIELD AND INSTALLATION LOCATIONS SHALL BE NOTED ON AS-BUILTS. FOR INTERIOR MOUNTED BACKFLOW PREVENTER LOCATIONS, INSTALL ONE BOILER DRAIN VALVE DOWNSTREAM OF BACKFLOW PREVENTER.

7. POP-UP SPRAY NOZZLES - CONTRACTOR TO INSTALL PLASTIC NOZZLES ON ALL POP-UP SPRAY HEADS. INSTALL 15 SERIES NOZZLES ON ALL HEADS SPACED AT 12' TO 14'. INSTALL 12 SERIES NOZZLES ON ALL HEADS SPACED 10' TO 11'. INSTALL 10 SERIES NOZZLES ON ALL HEADS SPACED AT 8' TO 9'. INSTALL 8 SERIES NOZZLES ON ALL HEADS SPACED AT 6' TO 7'. INSTALL 5' NOZZLES ON ALL HEADS SPACED AT 5'. INSTALL SIDE STRIP NOZZLES ON ALL HEADS WITH AN "S" DESIGNATION AND RIGHT AND LEFT CORNER STRIP NOZZLES ON ALL HEADS WITH AN "L" OR "R" DESIGNATION. VARIABLE ARC NOZZLES SHOULD BE UTILIZED ADJACENT TO CURVILINEAR SHRUB BEDS OR FOR ANY ANGLES THAT ARE NOT A STANDARD NOZZLE ANGLE. WHERE INDICATED, INSTALL LOW FLOW SQ SERIES SQUARE NOZZLES AT SPACING SHOWN.

8. DRIP IRRIGATION - REFER TO IRRIGATION DETAIL SHEET FOR DRIP EMITTER QUANTITIES AND PLACEMENT.

9. UNLABELED PIPING - ALL UNLABELED LATERAL PIPING SHALL BE 1" MINIMUM UNLESS OTHERWISE NOTED.

10. SLEEVING - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS OR BASED ON THE SCHEDULE BELOW. WHERE SLEEVES ARE SHOWN, BUT NOT LABELED, FOLLOW THE SCHEDULE BELOW. ALL MAINLINE, CONTROL WIRES AND DRIP LINES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. ALL MAINLINE SLEEVE LOCATIONS TO INCLUDE A SEPARATE WIRE SLEEVE.

SLEEVED PIPE SIZE/WIRE QUANTITY	REQUIRED SLEEVE SIZE & (QUANTITY)
¾" - 1¼" PIPING	2" PVC (1)
1½" - 2" PIPING	4" PVC (1)
1-25 CONTROL WIRES	2" PVC (1)

11. SPARE CONTROL WIRES - CONTRACTOR SHALL EXTEND THREE SPARE WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM EACH CONTROLLER TO THE END OF THE MAINLINE SERVING THAT CONTROLLER OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN 10" ROUND VALVE BOX WITH QUICK COUPLING VALVE. REFER TO SPECIFICATIONS FOR WIRE COLOR. SEE IRRIGATION SCHEDULE FOR ADDITIONAL INFORMATION.

12. ADJUSTMENT - CONTRACTOR SHALL FINE TUNE/ADJUST THE IRRIGATION SYSTEM TO REDUCE/AVOID OVERSPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.

13. PLANS AND SPECIFICATIONS - CONTRACTOR RESPONSIBLE TO ENSURE WORK CONFORMS TO PLANS AND SPECIFICATIONS. AT ONSET OF CONSTRUCTION, VERIFY PLANS ARE CURRENT. WHERE REQUIRED BY CITY OR TOWN, CONTRACTOR SHALL CONSTRUCT ONLY OFF CITY OR TOWN STAMPED PLANS. REVISIONS TO CITY OR TOWN STAMPED PLANS SHALL CONFORM TO CITY OR TOWN FIELD CHANGE PROCEDURES AND DOCUMENTATION.

14. SIMULTANEOUS ZONE OPERATION - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE MULTIPLE ZONES SIMULTANEOUSLY BASED ON INDIVIDUAL ZONE FLOW. THE DESIGN IS INTENDED TO OPERATE MULTIPLE VALVES, UP TO THE MAXIMUM FLOW IN THE POINT OF CONNECTION NOTE. REFER TO CONTROLLER SPECIFICATION FOR MAXIMUM SIMULTANEOUS VALVE COUNT.

15. CITY DETAILS - HYDROSYSTEMS-KDI WILL BE RESPONSIBLE FOR THE IRRIGATION DESIGN ITSELF. HYDROSYSTEMS*KDI DID NOT DESIGN AND SPECIFY THIS DETAIL. HYDROSYSTEMS*KDI IS NOT RESPONSIBLE, AND ACCEPTS NO RESPONSIBILITY, FOR THE SELECTION AND SPECIFICATION OF THIS DETAIL, AND HYDROSYSTEMS*KDI MAKES NO REPRESENTATIONS WITH REGARD TO THIS DETAIL.

16. WATER BUDGETS AND PROJECTIONS - HYDROSYSTEMS-KDI HAS BASED THE IRRIGATION DESIGN AND THE ASSOCIATED PROJECTED WATER USE UPON SUCH FACTORS AS CITY OR WATER DISTRICT IMPOSED REQUIREMENTS, PUBLISHED PLANT SPECIES WATER NEEDS, SELECTED IRRIGATION METHOD EFFICIENCIES AS REPORTED BY INDEPENDENT TESTING FACILITIES, HISTORICAL WEATHER DATA FOR THE PROJECT LOCATION, AND PROPER MAINTENANCE PROCEDURES. HYDROSYSTEMS*KDI IS NOT RESPONSIBLE, AND ACCEPTS NO RESPONSIBILITY, FOR THE ACTUAL WATER USAGE VARIATION THAT IS A RESULT OF FIELD MODIFICATIONS TO THE SYSTEM NOT MATCHING CONSTRUCTION DOCUMENTS, IMPROPER MAINTENANCE, WASTE DUE TO SYSTEM DAMAGE OR VANDALISM, OR WEATHER CONDITIONS THAT DEVIATE FROM PUBLISHED 30 YEAR HISTORICAL AVERAGES.

PARKER WATER STANDARD NOTES

1. IRRIGATION SYSTEMS CANNOT BE INTERCONNECTED (LOOPED) BETWEEN EACH INDIVIDUAL IRRIGATION TAP ON THE SAME SITE.
2. THE IRRIGATION DESIGN MUST COMPLY WITH THE APPROVED PWSD IRRIGATION WORKSHEET. IRRIGATION SYSTEMS MUST BE DESIGNED AND INSTALLED TO PROVIDE WATER TO THE LANDSCAPES AS SPECIFIED ON THE WORKSHEET.
3. ALL TEMPORARY IRRIGATION COMPONENTS, INCLUDING BUT NOT LIMITED TO, MAINLINES, LATERALS, VALVES, HEADS AND QUICK COUPLERS MUST BE INSTALLED ABOVE GROUND.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
	RAIN BIRD	1806-SAM-PRS WITH HE-VAN SERIES NOZZLE	POPUP SPRAY HEAD	1
	RAIN BIRD	1806-SAM-PRS WITH HE-VAN SERIES NOZZLE	POP SPRAY HEAD - TEMPORARY ABOVE GROUND	21
	RAIN BIRD	5006-PL-PC-SAM-R-SS WITH #MPR-30 MATCHED PRECPITATION NOZZLE (GREEN)	GEAR DRIVEN ROTOR	2
B	RAIN BIRD	1402	BUBBLER	3
	RAIN BIRD	PEB	ELECTRIC CONTROL VALVE	4
	RAIN BIRD / HUNTER	PEB W/ NODE-100	BATTERY OPERATED CONTROL VALVE	23, 24
	RAIN BIRD	44-LRC	QUICK COUPLING VALVE	5
A	RAIN BIRD	ESP-LXMEF WITH LXMM AND LXMMPED - 24 STATION MODEL	PEDESTAL ELECTRIC CONTROLLER	6
B C D	RAIN BIRD	ESP-LXMEF WITH LXMM - 24 STATION MODEL	INTERIOR WALL MOUNTED ELECTRIC CONTROLLER	7
W	RAIN BIRD	WR2-RFC	WEATHER SENSOR DEVICE	8
R	RAIN BIRD	ETC-LX - ET MANAGER CARTRIDGE WITH ETMRG RAIN GAUGE	WEATHER BASED CONTROL AND RAIN SHUT-OFF DEVICE	9
	FEBCO	825YA WITH WATTS 223-HP PRV	RP BACKFLOW PREVENTER	10
N/S	STRONG BOX	SBBC-30AL	BACKFLOW PREVENTER ENCLOSURE	11
N/S	OLDCASTLE / CARSON	REFER TO SPECIFICATIONS AND DETAILS	VALVE BOXES	VARIOUS
N/S	MACDONALD	AY 1/4 TURN - 1"	MANUAL DRAIN VALVE	12
		LINE SIZE - 2½" AND SMALLER	GATE VALVE	13
	RAIN BIRD	PESB	MASTER CONTROL VALVE	14, 26
FS	RAIN BIRD	FS-100-P	FLOW SENSOR	15, 26
		CLASS 200 SE - 1½"	PVC MAINLINE	16
		DR-11 - 1½"	HDPE MAINLINE	16
		CLASS 200 SE - 2" TEMPORARY	PVC MAINLINE - ABOVE GROUND	22, 23
		TYPE K COPPER	HARD COPPER PIPE	10, 26
		CLASS 200 SE - 1" MIN.	PVC LATERAL	16
		CLASS 200 SE - 1" MIN. TEMPORARY	PVC LATERAL - ABOVE GROUND	22, 23
		CLASS 160	PVC SLEEVING	17
		DR-11	HDPE SLEEVING	17
	RAIN BIRD	XCZ-075-PRF	DRIP VALVE ASSEMBLY	19
	TORO	BLUE STRIPE	POLY DRIP TUBING -¾" MIN. WIDTH	18
N/S	RAIN BIRD	XERI-BUG	DRIP EMITTERS	18
			DRIP LINE BLOW-OUT STUB	20
	HARCO	65-3135"X" WITH SLIPXFIPT COUPLING - DR11 ("X" REFERS TO PIPE SIZE)	TRANSITIONAL FITTING - HDPE TO PVC - 2" AND SMALLER	N/A
T		FWSD CONNECTION	TEMPORARY HYDRANT IRRIGATION	25
	FEBCO	860U WITH WATTS 223-HP PRV	RP BACKFLOW PREVENTER	26
M			WATER METER	BY OTHERS

(FS-1) — CONTROLLER & STATION NO. / CONTROL VALVE SIZE

(2w A (controller)) — NUMBER OF SPARE WIRES - 2 CONTROL AND 1 SPARE WIRES TO INDICATED CONTROLLER - SEE CONSTRUCTION NOTES

HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DIRECTORY

EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

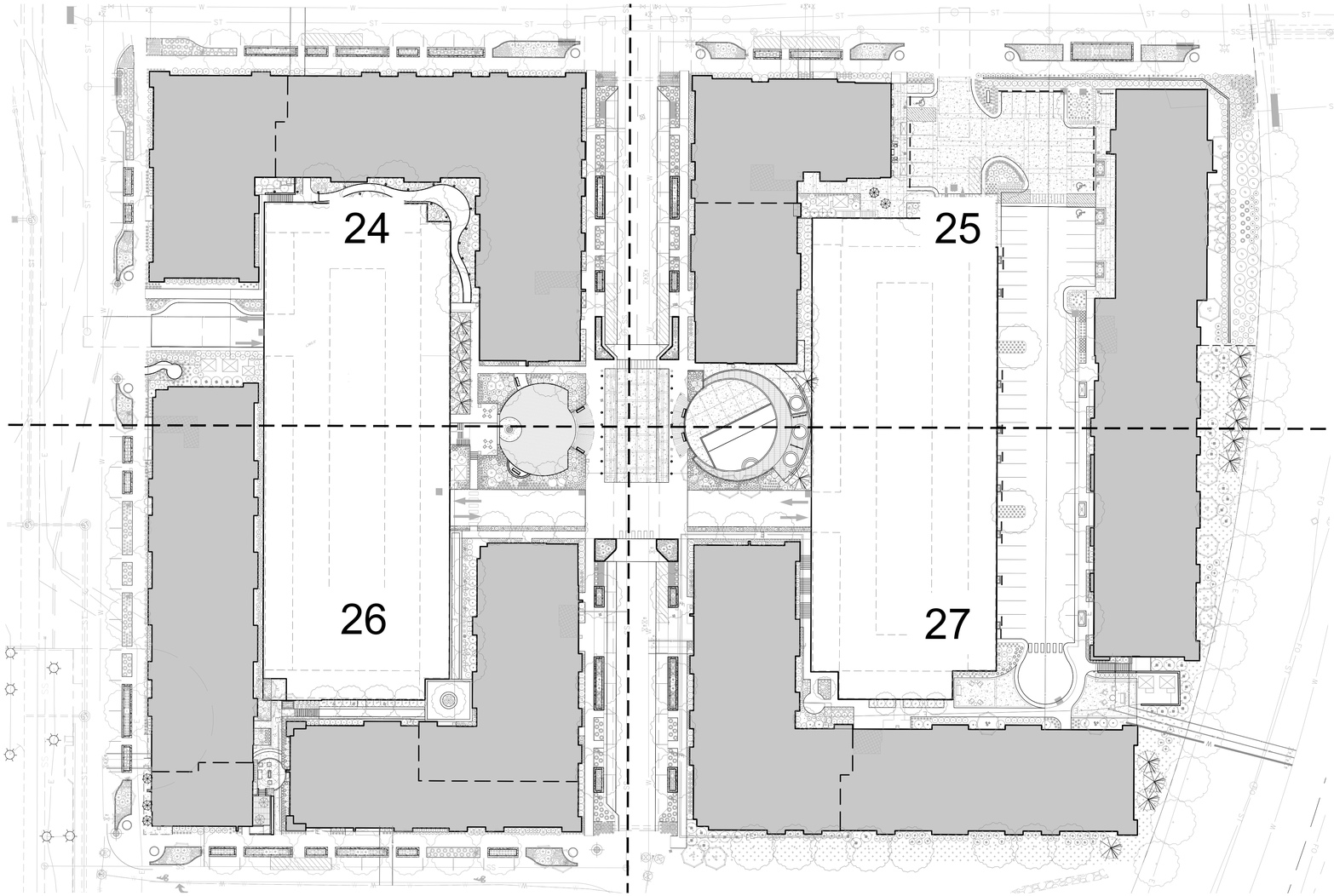
RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION NOTES & SCHEDULE

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



1 IRRIGATION PLAN - OVERALL SITE
Scale: 1" = 40'-0"

0 20 40 80
SCALE: 1" = 40'-0"
NORTH

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

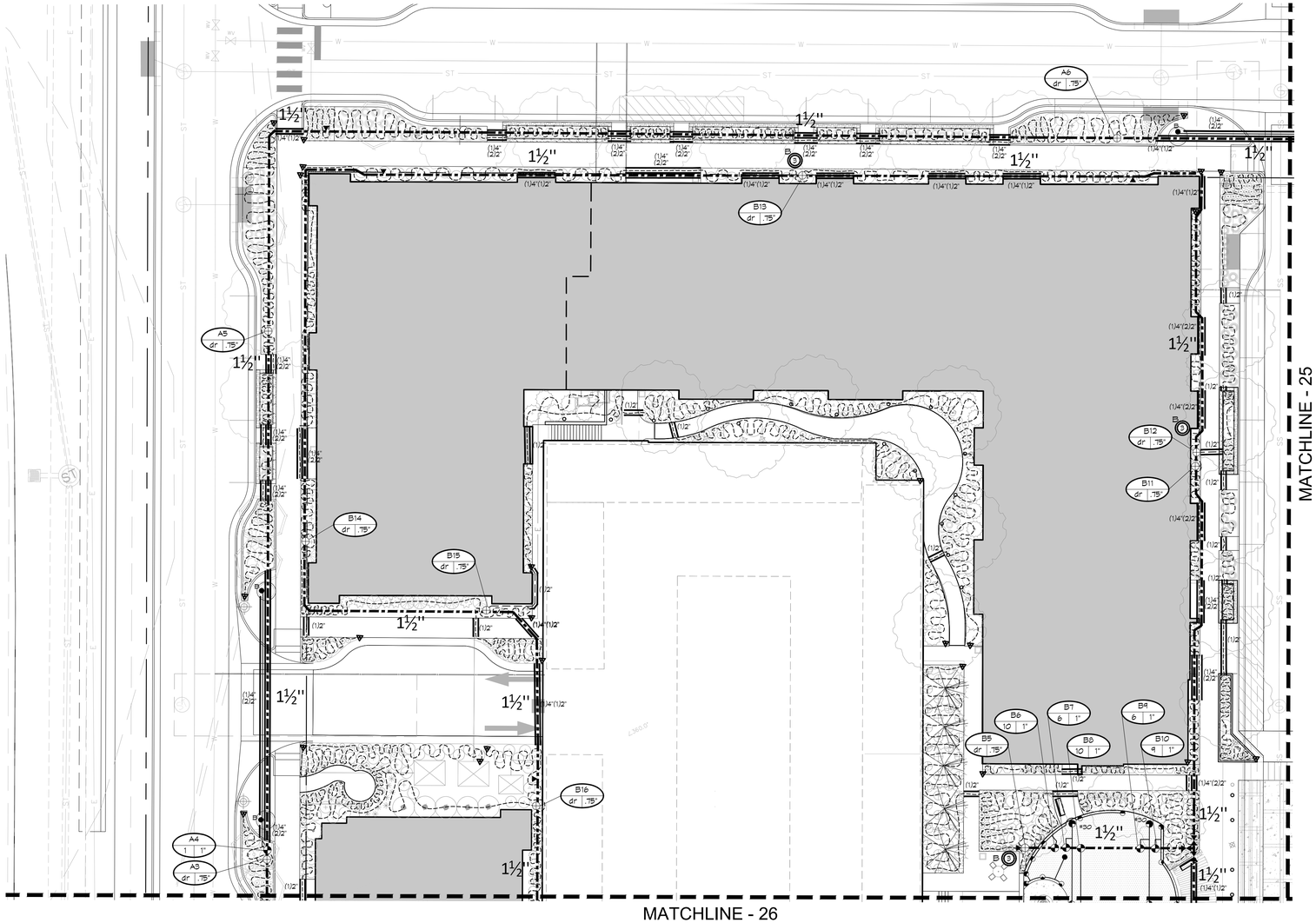
IRRIGATION PLAN - OVERALL SITE

23 OF 55

DIRECTORY

KDI HydroSystems
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

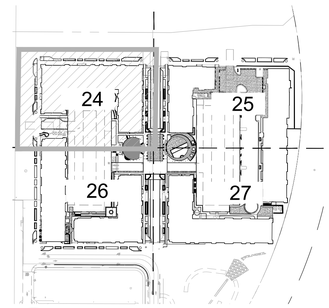
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



1 IRRIGATION PLAN - NORTHWEST
Scale: 1" = 20'-0"

0 10 20 40
SCALE: 1" = 20'-0"

NORTH



2 KEY PLAN
Scale: 1" = 200'-0"

DIRECTORY

HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

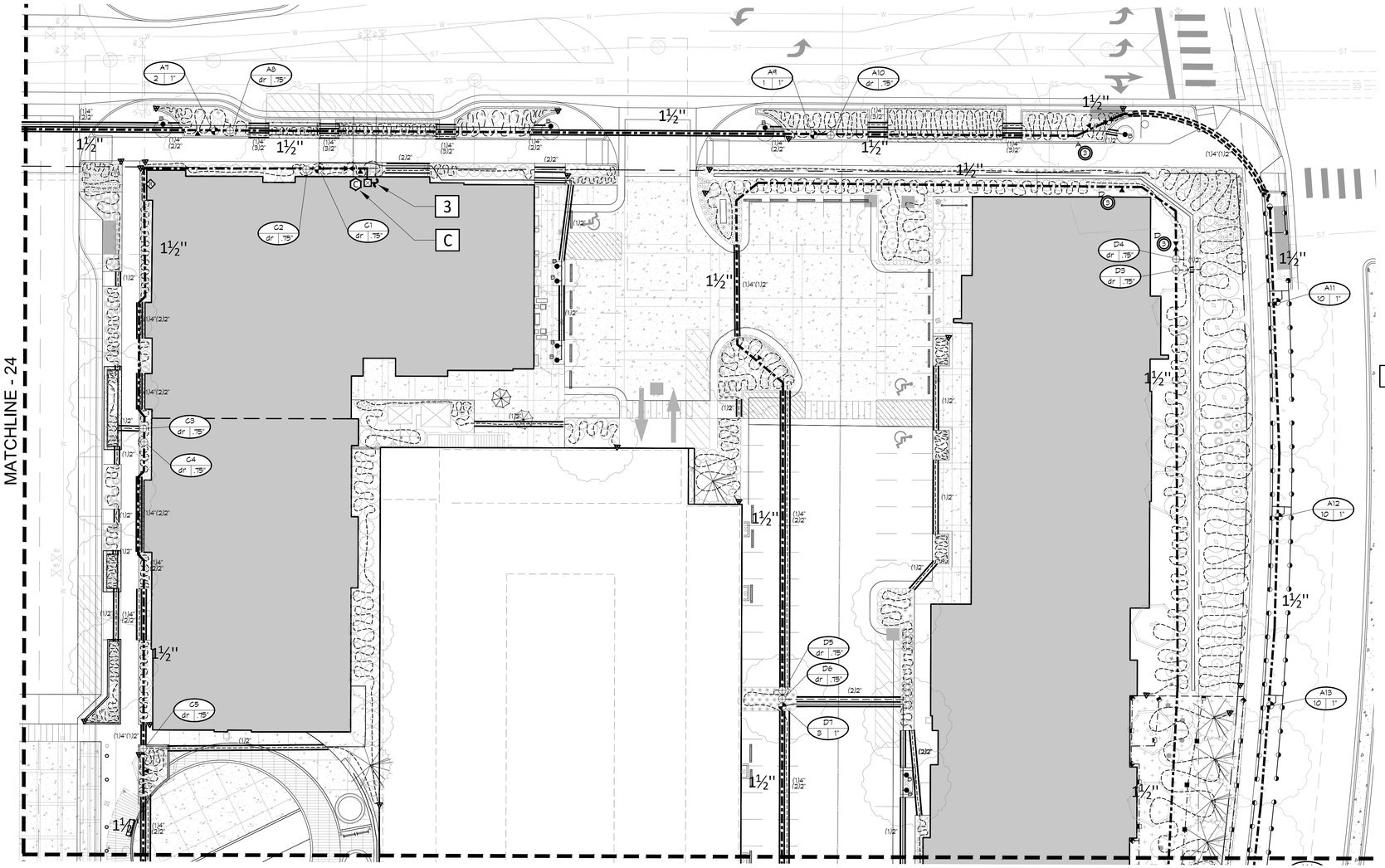
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION PLAN - NORTHWEST

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



1 IRRIGATION PLAN - NORTHEAST
Scale: 1" = 20'-0"

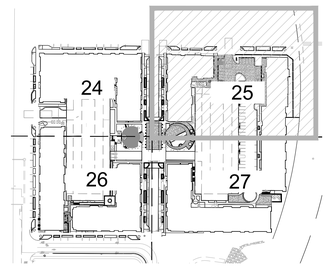
0 10 20 40
SCALE: 1" = 20'-0"
NORTH

3 POINT OF CONNECTION #3 - ¾"

PEAK FLOW REQUIREMENT: 10GPM. REQUIRED STATIC PRESSURE: 73 PSI
INSTALLED BY DEVELOPER TO BE MAINTAINED BY RIDGEGATE STATION COM.
CONTRACTOR SHALL TIE ONTO EXISTING BUILDING SERVICE UPSTREAM OF DOMESTIC BACKFLOW PREVENTER AND ANY PRESSURE REDUCING DEVICES IN THE WATER ENTRY ROOM. INSTALL ONE LINE SIZE ISOLATION BALL VALVE AND EXTEND ¾" TYPE K HARD COPPER TO IRRIGATION BACKFLOW PREVENTER LOCATION. INSTALL ONE ¾" INTERIOR MODEL REDUCED PRESSURE BACKFLOW PREVENTER AND PRESSURE REDUCING VALVE WITH AIR GAP DRAIN PLUMBED TO BUILDING FLOOR DRAIN, PER MANUFACTURER'S RECOMMENDATIONS, ONE IRRIGATION SUBMETER, ONE FLOW SENSOR, ONE MASTER VALVE AND ONE LINE SIZE BOILER DRAIN. RUN ¾" TYPE K HARD COPPER ALONG THE INSIDE OF THE EXTERIOR WALL AND STUB OUT THROUGH THE EXTERIOR WALL AT A MINIMUM DEPTH OF 18" UNDER SLAB AS SHOWN. SLOPE ALL COPPER WITHIN BUILDING TO BOILER DRAIN. INSTALL 3/4" INVERTED BOILER DRAIN AT LOW SPOT IN COPPER. CONTRACTOR IS RESPONSIBLE FOR WATERPROOF SEALING ALL FOUNDATION PENETRATION. TRANSITION TO PVC PIPING A MINIMUM OF 24" PAST ANY PLANNED HARD OR PAVED SURFACE. INSTALL ONE GATE VALVE, ONE MANUAL DRAIN VALVE, ONE QUICK COUPLER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. SET PRV PER POC DATA SCHEDULE. EXTEND ONE PE89 SHIELDED CABLE FROM FLOW SENSOR TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. EXTEND 4 UFUL14# WIRE (TWO ORANGE AND TWO BLUE) AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT.
FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL CONTROL WIRING WITHIN BUILDING SHALL BE INSTALLED IN EMT CONDUIT.
NO COPPER TUBING SHALL BE VISIBLE ON BUILDING EXTERIOR. COORDINATE PLUMBING WORK WITH MECHANICAL CONTRACTOR. WORK SHALL CONFORM TO LOCAL CODE. FEES, PERMITS AND INSPECTIONS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE REVIEWED AND APPROVED BY CONSULTANT PRIOR TO INSTALLATION.

C CONTROLLER LOCATION "C"

WALL MOUNT ONE CONTROLLER (REFER TO SCHEDULE FOR MODEL & STATION COUNT). REMOTE READY, AT INDICATED LOCATION. 120 VOLT POWER IS AVAILABLE WITHIN 40 LF. OF CONTROLLER LOCATION FROM BUILDING, BY OTHERS RE:ELECTRICAL PLAN. CONTROLLER CANNOT BE IN FIRE ROOM. ELECTRICAL WIRE/CONDUIT, STEP-DOWN TRANSFORMER (IF REQUIRED) AND POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. LOCATE SHIELDED CABLE FROM FLOW SENSOR AND CONNECT TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. LOCATE MASTER VALVE WIRES WITH SPARES AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. MOUNT ONE WEATHER SENSOR ON BUILDING WHERE THERE IS 20 FT. OF CLEARANCE FROM ANY OVERHANG OR OBSTRUCTING FEATURE. INSTALL WEATHER SENSOR RECEIVER ON WALL NEXT TO CONTROLLER. CONNECT SENSOR RECEIVER WIRES TO IRRIGATION CONTROLLER SENSOR PORT THROUGH CONDUIT. FINAL WEATHER SENSOR LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



2 KEY PLAN
Scale: 1" = 200'-0"

DIRECTORY

EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

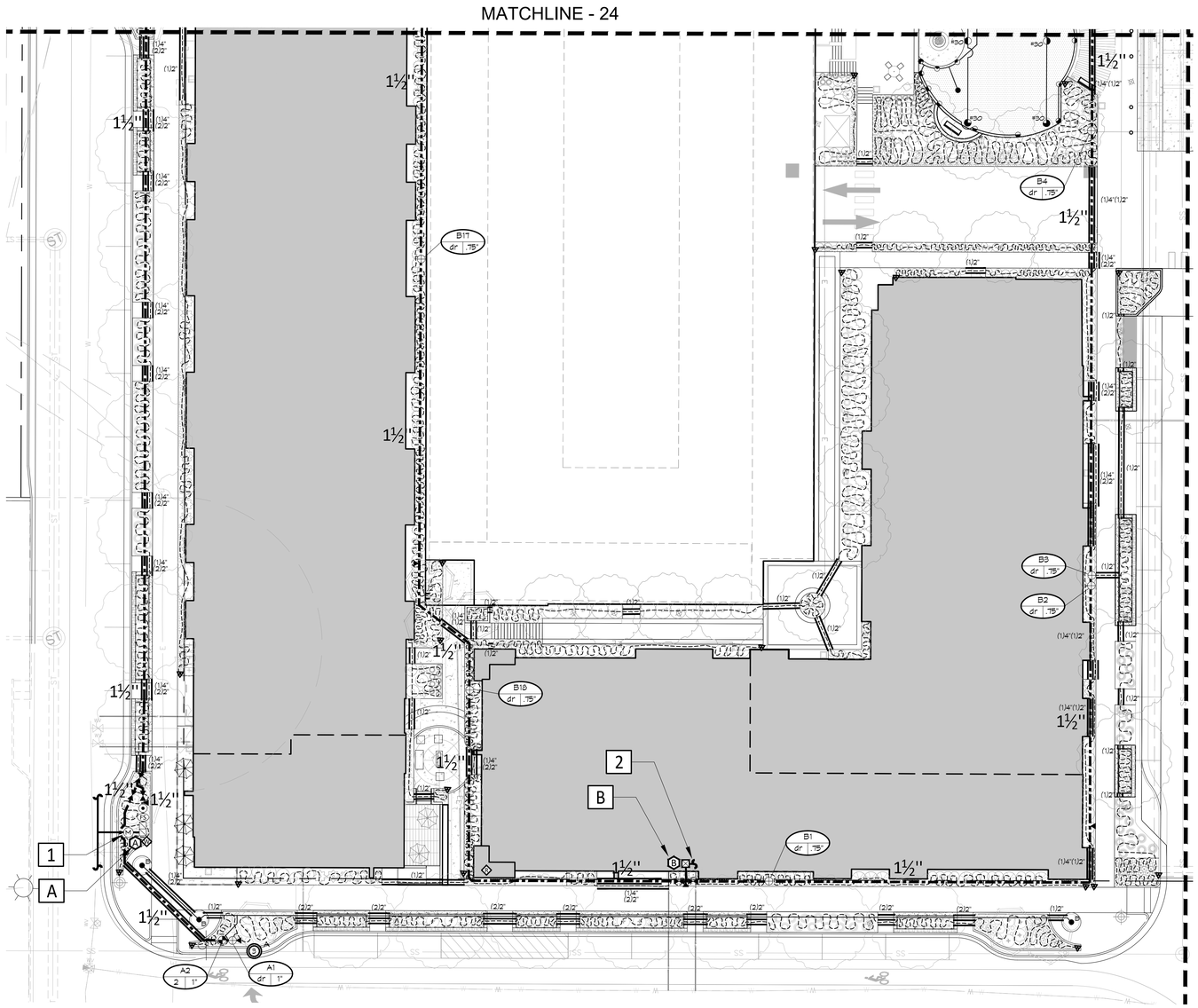
SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION PLAN - NORTHEAST

25 OF 55

KDI HydroSystems
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



1 IRRIGATION PLAN - SOUTHWEST
Scale: 1" = 20'-0"

0 10 20 40
SCALE: 1" = 20'-0"

NORTH

1 POINT OF CONNECTION #1 - ¾"

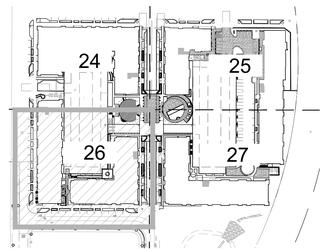
PEAK FLOW REQUIREMENT: 10 GPM. REQUIRED STATIC PRESSURE: 50 PSI
INSTALLED BY DEVELOPER AND TO BE MAINTAINED BY THE RAMPART RANGE METRO DISTRICT
CONTRACTOR SHALL TIE ONTO 3/4" COPPER STUB-OUT DOWNSTREAM OF METER PIT AT 54" DEPTH IN THIS APPROXIMATE LOCATION. INSTALLATION OF TAP, SERVICE LINE, METER, PIT AND STUB TO THIS LOCATION IS BY OTHERS RE:CIVIL. INSTALL ONE 3/4" METER PER PAKER WATER & SANITATION SPECIFICATIONS AND STANDARDS. CONNECT TO STUB AND EXTEND 3/4" TYPE K SOFT COPPER AT 54" MINIMUM DEPTH TO BACKFLOW PREVENTER LOCATION. INSTALL ONE 3/4" STOP AND WASTE VALVE, ONE 3/4" REDUCED PRESSURE BACKFLOW PREVENTER WITH PRESSURE REDUCING VALVE AND PROTECTIVE ENCLOSURE, ONE MANUAL DRAIN VALVE, ONE FLOW SENSOR, ONE MASTER VALVE, ONE QUICK COUPLING VALVE, ONE GATE VALVE AND EXTEND PVC MAINLINE AS SHOWN. SET PRV AT 50 PSI. EXTEND ONE PE#9 SHIELDED CABLE FROM FLOW SENSOR TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. EXTEND 4 UFUL14# WIRE (TWO ORANGE AND TWO BLUE) AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT. WORK SHALL CONFORM TO LOCAL CODE. FEES, PERMITS AND INSPECTIONS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

A CONTROLLER LOCATION "A"

PEDESTAL MOUNT ONE CONTROLLER (REFER TO SCHEDULE FOR MODEL & STATION COUNT), REMOTE READY, AT INDICATED LOCATION. 120 VOLT POWER IS AVAILABLE WITHIN 50 LF. OF CONTROLLER LOCATION FROM TRANSFORMER, BY OTHERS RE:ELECTRICAL PLAN. ELECTRICAL METER, WIRE/CONDUIT, STEP-DOWN TRANSFORMER (IF REQUIRED) AND POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. LOCATE SHIELDED CABLE FROM FLOW SENSOR AND CONNECT TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. LOCATE MASTER VALVE WIRES WITH SPARES AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. MOUNT ONE WEATHER SENSOR ON POLE WHERE THERE IS 20 FT. OF CLEARANCE FROM ANY OVERHANG OR OBSTRUCTING FEATURE. INSTALL WEATHER SENSOR RECEIVER IN CONTROLLER ENCLOSURE. FINAL WEATHER SENSOR LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

2 POINT OF CONNECTION #2 - ¾"

PEAK FLOW REQUIREMENT: 10GPM. REQUIRED STATIC PRESSURE: 63 PSI
INSTALLED BY DEVELOPER TO BE MAINTAINED BY THE RIDGEGATE STATION COMMUNITY
CONTRACTOR SHALL TIE ONTO EXISTING BUILDING SERVICE UPSTREAM OF DOMESTIC BACKFLOW PREVENTER AND ANY PRESSURE REDUCING DEVICES IN THE WATER ENTRY ROOM. INSTALL ONE LINE SIZE ISOLATION BALL VALVE AND EXTEND ¾" TYPE K HARD COPPER TO IRRIGATION BACKFLOW PREVENTER LOCATION. INSTALL ONE ¾" INTERIOR MODEL REDUCED PRESSURE BACKFLOW PREVENTER AND PRESSURE REDUCING VALVE WITH AIR GAP DRAIN PLUMBED TO BUILDING FLOOR DRAIN, PER MANUFACTURER'S RECOMMENDATIONS, ONE IRRIGATION SUBMETER, ONE FLOW SENSOR, ONE MASTER VALVE AND ONE LINE SIZE BOILER DRAIN. RUN ¾" TYPE K HARD COPPER ALONG THE INSIDE OF THE EXTERIOR WALL AND STUB OUT THROUGH THE EXTERIOR WALL AT A MINIMUM DEPTH OF 18" UNDER SLAB AS SHOWN. SLOPE ALL COPPER WITHIN BUILDING TO BOILER DRAIN. INSTALL 3/4" INVERTED BOILER DRAIN AT LOW SPOT IN COPPER. CONTRACTOR IS RESPONSIBLE FOR WATERPROOF SEALING ALL FOUNDATION PENETRATION. TRANSITION TO PVC PIPING A MINIMUM OF 24" PAST ANY PLANNED HARD OR PAVED SURFACE. INSTALL ONE GATE VALVE, ONE MANUAL DRAIN VALVE, ONE QUICK COUPLER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. SET PRV PER POC DATA SCHEDULE. EXTEND ONE PE#9 SHIELDED CABLE FROM FLOW SENSOR TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. EXTEND 4 UFUL14# WIRE (TWO ORANGE AND TWO BLUE) AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT.
FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL CONTROL WIRING WITHIN BUILDING SHALL BE INSTALLED IN EMT CONDUIT.
NO COPPER TUBING SHALL BE VISIBLE ON BUILDING EXTERIOR. COORDINATE PLUMBING WORK WITH MECHANICAL CONTRACTOR. WORK SHALL CONFORM TO LOCAL CODE. FEES, PERMITS AND INSPECTIONS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE REVIEWED AND APPROVED BY CONSULTANT PRIOR TO INSTALLATION.



2 KEY PLAN
Scale: 1" = 200'-0"

B CONTROLLER LOCATION "B"

WALL MOUNT ONE CONTROLLER (REFER TO SCHEDULE FOR MODEL & STATION COUNT), REMOTE READY, AT INDICATED LOCATION. 120 VOLT POWER IS AVAILABLE WITHIN 40 LF. OF CONTROLLER LOCATION FROM BUILDING, BY OTHERS RE:ELECTRICAL PLAN. CONTROLLER CANNOT BE IN FIRE ROOM. ELECTRICAL WIRE/CONDUIT, STEP-DOWN TRANSFORMER (IF REQUIRED) AND POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. LOCATE SHIELDED CABLE FROM FLOW SENSOR AND CONNECT TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. LOCATE MASTER VALVE WIRES WITH SPARES AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. MOUNT ONE WEATHER SENSOR ON BUILDING WHERE THERE IS 20 FT. OF CLEARANCE FROM ANY OVERHANG OR OBSTRUCTING FEATURE. INSTALL WEATHER SENSOR RECEIVER ON WALL NEXT TO CONTROLLER. CONNECT SENSOR RECEIVER WIRES TO IRRIGATION CONTROLLER SENSOR PORT THROUGH CONDUIT. FINAL WEATHER SENSOR LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

811 Know what's below. Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DIRECTORY

EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

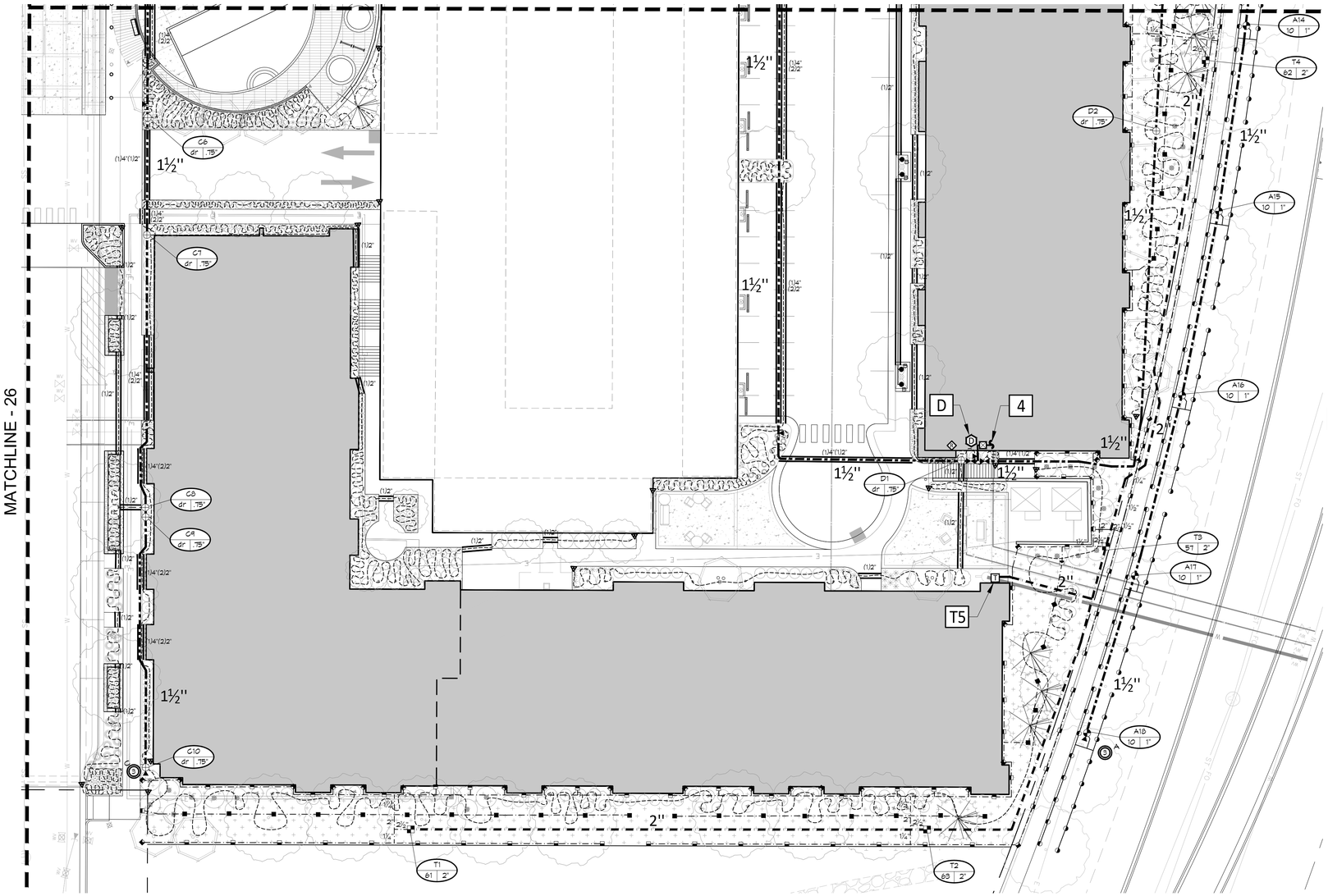
RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION PLAN - SOUTHWEST

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



1 IRRIGATION PLAN - SOUTHEAST
Scale: 1" = 20'-0"

0 20 40 80
SCALE: 1" = 40'-0"

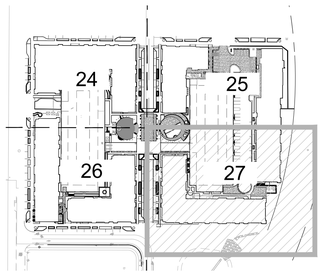
NORTH

4 POINT OF CONNECTION #4 - ¾"

PEAK FLOW REQUIREMENT: 10GPM. REQUIRED STATIC PRESSURE: 55 PSI
INSTALLED BY DEVELOPER TO BE MAINTAINED BY THE RIDGEGATE STATION COMMUNNUTY
CONTRACTOR SHALL TIE ONTO EXISTING BUILDING SERVICE UPSTREAM OF DOMESTIC BACKFLOW PREVENTER AND ANY PRESSURE REDUCING DEVICES IN THE WATER ENTRY ROOM. INSTALL ONE LINE SIZE ISOLATION BALL VALVE AND EXTEND ¾" TYPE K HARD COPPER TO IRRIGATION BACKFLOW PREVENTER LOCATION. INSTALL ONE ¾" INTERIOR MODEL REDUCED PRESSURE BACKFLOW PREVENTER AND PRESSURE REDUCING VALVE WITH AIR GAP DRAIN PLUMBED TO BUILDING FLOOR DRAIN, PER MANUFACTURER'S RECOMMENDATIONS, ONE IRRIGATION SUBMETER, ONE FLOW SENSOR, ONE MASTER VALVE AND ONE LINE SIZE BOILER DRAIN. RUN ¾" TYPE K HARD COPPER ALONG THE INSIDE OF THE EXTERIOR WALL AND STUB OUT THROUGH THE EXTERIOR WALL AT A MINIMUM DEPTH OF 18" UNDER SLAB AS SHOWN. SLOPE ALL COPPER WITHIN BUILDING TO BOILER DRAIN. INSTALL 3/4" INVERTED BOILER DRAIN AT LOW SPOT IN COPPER. CONTRACTOR IS RESPONSIBLE FOR WATERPROOF SEALING ALL FOUNDATION PENETRATION. TRANSITION TO PVC PIPING A MINIMUM OF 24" PAST ANY PLANNED HARD OR PAVED SURFACE. INSTALL ONE GATE VALVE, ONE MANUAL DRAIN VALVE, ONE QUICK COUPLER VALVE, AND EXTEND PVC MAINLINE AS SHOWN. SET PRV PER POC DATA SCHEDULE. EXTEND ONE FEB#8 SHIELDED CABLE FROM FLOW SENSOR TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. EXTEND 4 UFUL14# WIRE (TWO ORANGE AND TWO BLUE) AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT.
FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ALL CONTROL WIRING WITHIN BUILDING SHALL BE INSTALLED IN EMT CONDUIT.
NO COPPER TUBING SHALL BE VISIBLE ON BUILDING EXTERIOR. COORDINATE PLUMBING WORK WITH MECHANICAL CONTRACTOR. WORK SHALL CONFORM TO LOCAL CODE. FEES, PERMITS AND INSPECTIONS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE REVIEWED AND APPROVED BY CONSULTANT PRIOR TO INSTALLATION.

D CONTROLLER LOCATION "D"

WALL MOUNT ONE CONTROLLER (REFER TO SCHEDULE FOR MODEL # STATION COUNT), REMOTE READY, AT INDICATED LOCATION. 120 VOLT POWER IS AVAILABLE WITHIN 40 LF. OF CONTROLLER LOCATION FROM BUILDING, BY OTHERS RE:ELECTRICAL PLAN. CONTROLLER CANNOT BE IN FIRE ROOM. ELECTRICAL WIRE/CONDUIT, STEP-DOWN TRANSFORMER (IF REQUIRED) AND POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. LOCATE SHIELDED CABLE FROM FLOW SENSOR AND CONNECT TO DATA RETRIEVAL UNIT LOCATED IN ASSOCIATED CONTROLLER. LOCATE MASTER VALVE WIRES WITH SPARES AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN ASSOCIATED CONTROLLER. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. MOUNT ONE WEATHER SENSOR ON BUILDING WHERE THERE IS 20 FT. OF CLEARANCE FROM ANY OVERHANG OR OBSTRUCTING FEATURE. INSTALL WEATHER SENSOR RECEIVER ON WALL NEXT TO CONTROLLER. CONNECT SENSOR RECEIVER WIRES TO IRRIGATION CONTROLLER SENSOR PORT THROUGH CONDUIT. FINAL WEATHER SENSOR LOCATION SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



2 KEY PLAN
Scale: 1" = 200'-0"

T5 POINT OF CONNECTION "T" - FIRE HYDRANT

PEAK FLOW REQUIREMENT: 80 GPM. REQUIRED STATIC PRESSURE: 83 PSI
INSTALLED BY DEVELOPER IN COORDINATION WITH PW&S ONLY FOR TEMPORARY USE UNTIL THE NATIVE SEED ESTABLISHES.
CONTRACTOR SHALL TIE ONTO EXISTING FIRE HYDRANT AT INDICATED LOCATION INSTALL ONE 2" REDUCED PRESSURE BACKFLOW PREVENTER AND METER ASSEMBLY APPROVED BY PARKER WATER AND SANITATION DISTRICT, PER DETAIL. INSTALL PROTECTIVE ENCLOSURE AROUND ASSEMBLY, ONE 1" MANUAL DRAIN VALVE, ONE QUICK COUPLING VALVE, AND EXTEND PVC MAINLINE AS SHOWN. ALL LATERAL LINES, CONTROL VALVES AND IRRIGATION HEADS SHALL BE INSTALLED ON GRADE PER DETAILS, WITH THE EXCEPTION OF WHERE RUNNING THROUGH PERMANENTLY IRRIGATED AREAS, AS NOTED ON PLANS. CONNECTIONS TO FIRE HYDRANTS FOR NATIVE VEGETATION IRRIGATION SHALL BE COORDINATED BY OWNERS OR THEIR REPRESENTATIVE WITH PARKER WATER AND SANITATION.

HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DIRECTORY

EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

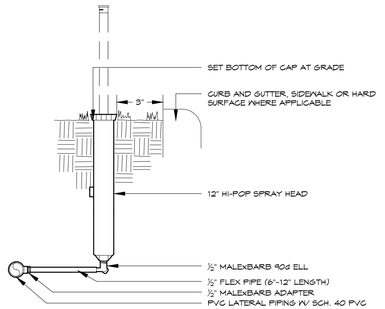
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION PLAN - SOUTHEAST

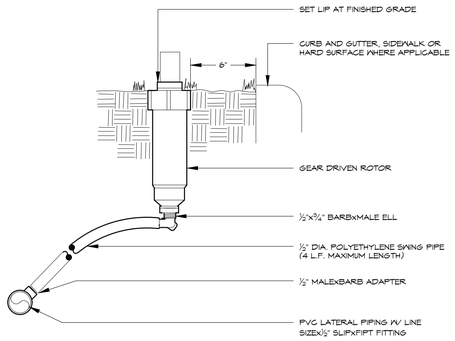
27 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



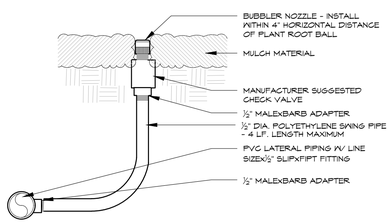
NOTE:
- SET HEAD PERPENDICULAR TO FINISH GRADE SWING.
- FLEX PIPE SHALL BE ATTACHED TO BOTTOM SPRAY HEAD INLET ONLY.
- APPLY TEFLON TAPE TO ALL MALE PVC THREADED FITTINGS AND NIPPLES.

HI-POP SPRAY HEAD — 1



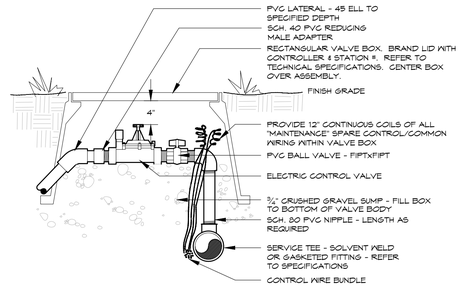
SET HEAD PERPENDICULAR TO FINISH GRADE

GEAR DRIVEN ROTOR — 2



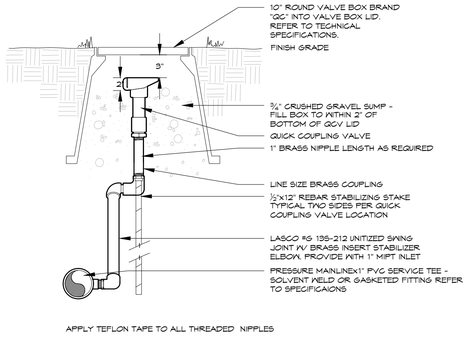
NOTE:
- SET BUBBLER(S) ON UPHILL SIDE OF ROOT BALL WHERE TREES PLANTED ON SLOPES EQUAL TO OR GREATER THAN 4 TO 1.
- APPLY TEFLON TAPE TO ALL MIPT FITTINGS

BUBBLER
WITH CHECK VALVE - PVC — 3



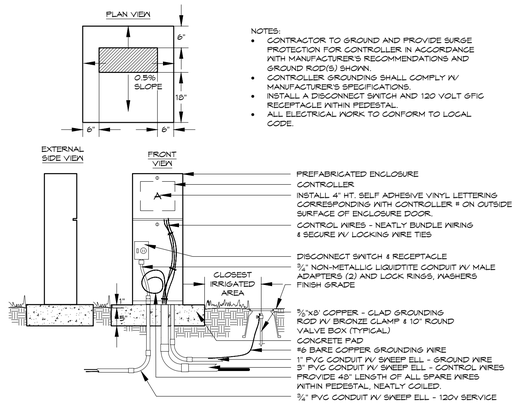
NOTE: DIAMETERS OF BALL VALVES, PVC FITTINGS AND NIPPLES SHALL EQUAL ELECTRIC CONTROL VALVE DIAMETER. VALVE BOXES SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO ADJACENT SIDEWALKS AND HARD SURFACES WHERE APPLICABLE. APPLY TEFLON TAPE TO ALL MALE THREADED FITTINGS AND THREADED NIPPLES.

ELECTRIC CONTROL VALVE — 4



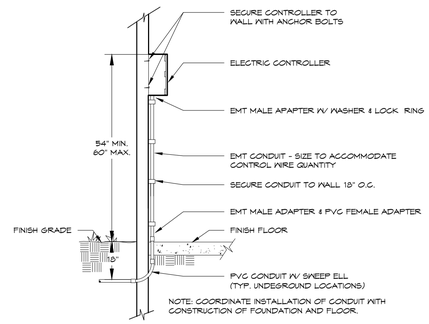
APPLY TEFLON TAPE TO ALL THREADED NIPPLES

QUICK COUPLING VALVE — 5



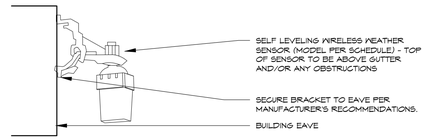
NOTES:
- CONTRACTOR TO GROUND AND PROVIDE SURGE PROTECTION FOR CONTROLLER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND GROUND ROD(S) SHOWN.
- CONTROLLER GROUNDING SHALL COMPLY W/ MANUFACTURER'S SPECIFICATIONS.
- INSTALL A DISCONNECT SWITCH AND 120 VOLT GFIC RECEPTACLE WITHIN PEDESTAL.
- ALL ELECTRICAL WORK TO CONFORM TO LOCAL CODE.

ELECTRIC CONTROLLER
PEDESTAL — 6



NOTE: COORDINATE INSTALLATION OF CONDUIT WITH CONSTRUCTION OF FOUNDATION AND FLOOR.

ELECTRIC CONTROLLER
INTERIOR WALL MOUNT - FLOOR PENETRATING — 7



NOTE: MOUNT SENSOR RECEIVER PER CONTROLLER DETAIL.

WEATHER SENSOR
EAVE MOUNTED - Self-Leveling — 8

HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DIRECTORY

EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

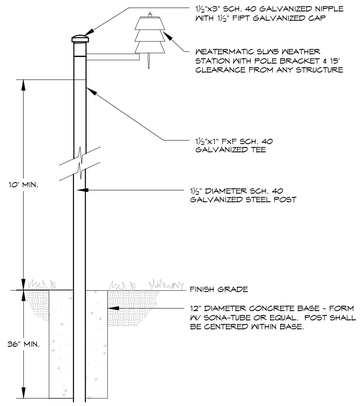
RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION DETAILS
28 OF 55

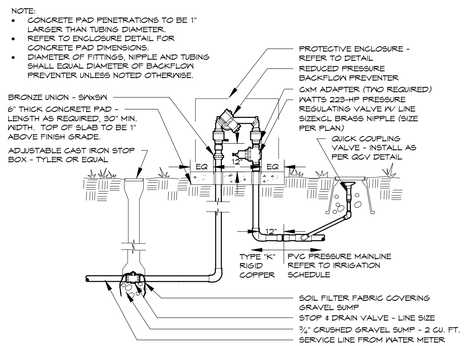
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



WEATHER SENSOR

Pole Mounted - Wireless

9

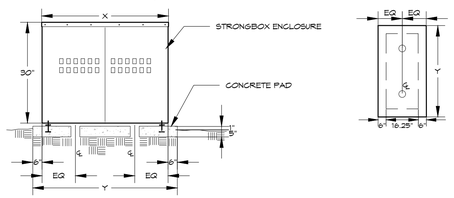


BACKFLOW PREVENTER

3/4" - 2" SYSTEMS WITH PRV & PVC CONNECTION

10

BFP MODEL/SIZE	ENCLOSURE MODEL	X	Y
FEBCO 825Y ¾" & 1"	SBBC-30AL	30"	42"
FEBCO 825Y 1½" & 2"	SBBC-45AL	45"	57"
FEBCO 825YA ¾" & 1"	SBBC-22AL	22"	34"
FEBCO 825YA 1½" & 2"	SBBC-30AL	30"	42"

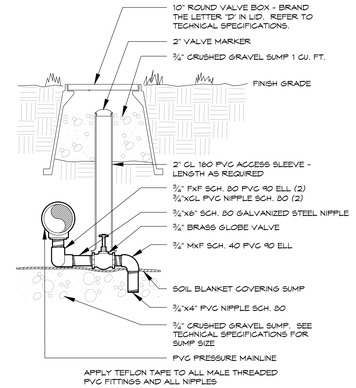


NOTES:
- PAD PENETRATIONS FOR BACKFLOW PREVENTER RISERS TO BE 1" LARGER THAN RISER DIAMETER.
- TOP SURFACE OF CONCRETE PAD SHALL BE 1" ABOVE FINISH GRADE.
- INSTALL ENCLOSURE ANCHORS AS PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE OWNER WITH KEYED PADLOCK FOR ENCLOSURE.

BACKFLOW ENCLOSURE

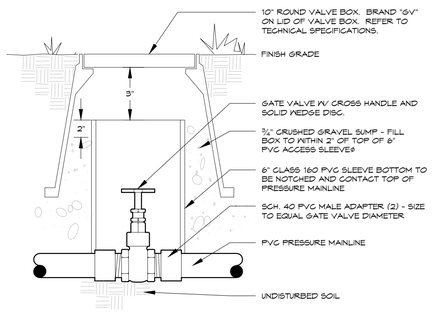
STRONGBOX - 3/4" - 2" SYSTEMS

11



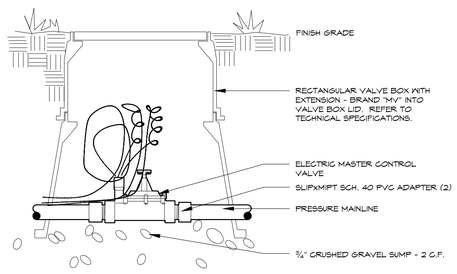
MANUAL DRAIN VALVE

12



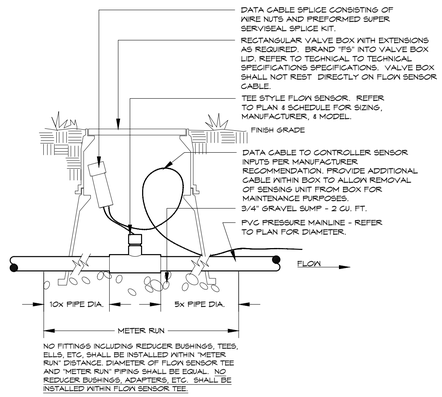
GATE VALVE

13



MASTER VALVE

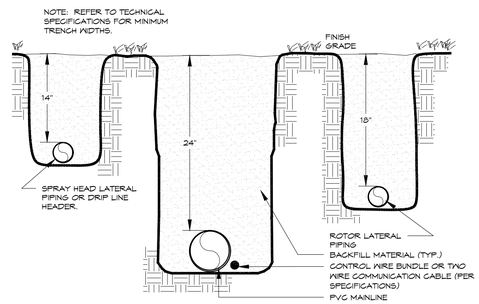
14



FLOW SENSOR

VIA DATA CABLE - TEE STYLE

15



TRENCH

16

HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DIRECTORY

EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION DETAILS

29 OF 55

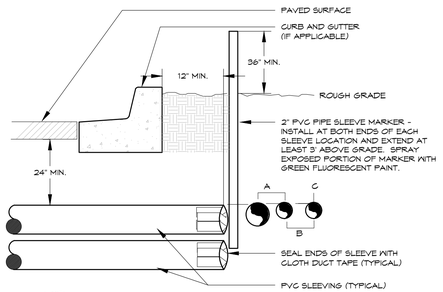
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

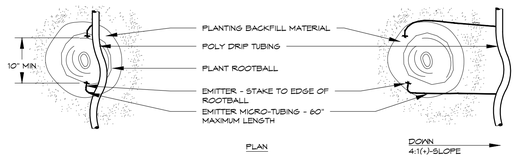
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

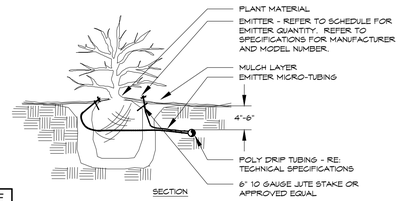


NOTE:
- ALL SLEEVING TO BE CLASS 160 BE PVC, SIZE AS NOTED.
- INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES VERTICALLY.
- CONTRACTOR TO COORDINATE WITH FLATWORK INSTALLER TO BRAND A "V" IN SIDEWALK OR CURB AT BOTH ENDS OF SLEEVE CROSSING.

IRRIGATION SLEEVING — 17

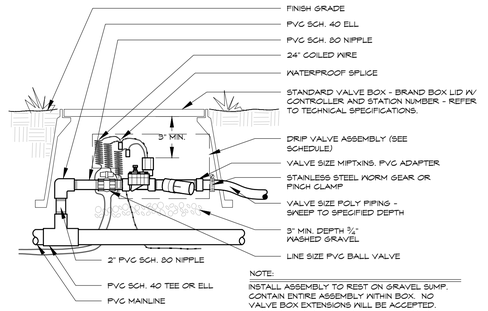


PLANT SIZE	EMITTER FLOW RATE	EMITTER QTY. AT MULCHED BED LOCATIONS	EMITTER QTY. AT NATIVE SEED LOCATIONS
1 - 2 GALLON MATERIAL	0.5 GPH	ONE EACH	ONE EACH
5 GALLON MATERIAL	0.5 GPH	TWO EACH	TWO EACH
1½" CALIPER TREE	1.0 GPH	THREE EACH	FOUR EACH
2" CALIPER TREE	1.0 GPH	FOUR EACH	SIX EACH
2½" CALIPER TREE	1.0 GPH	SIX EACH	EIGHT EACH
3" CALIPER TREE	1.0 GPH	EIGHT EACH	TEN EACH
3½" CALIPER TREE	1.0 GPH	NINE EACH	ELEVEN EACH
4" CALIPER TREE	1.0 GPH	TEN EACH	TWELVE EACH
6 FT. CONIFEROUS TREE	1.0 GPH	FOUR EACH	SIX EACH
8 FT. CONIFEROUS TREE	1.0 GPH	SIX EACH	NINE EACH
10 FT. CONIFEROUS TREE	1.0 GPH	EIGHT EACH	TWELVE EACH
12 FT. CONIFEROUS TREE	1.0 GPH	TEN EACH	FOURTEEN EACH



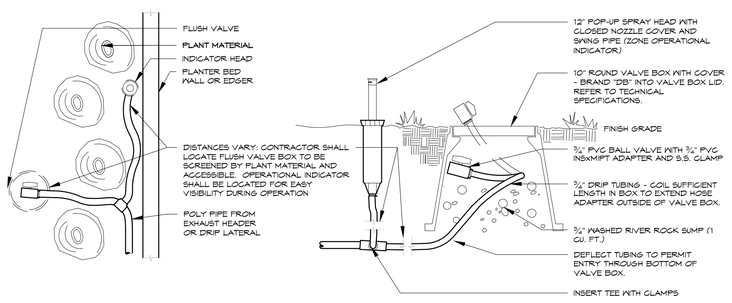
NOTES:
- INSTALL EMITTERS ON OPPOSING SIDES OF ROOTBALL. THREE OR MORE EMITTERS SHALL BE EQUALLY SPACED AROUND ROOT BALL.
- EMITTERS ARE TO BE INSTALLED TO CLEAR SURFACE BY A MINIMUM OF 1" AND A MAXIMUM OF 2".
- FLUSH ALL LINES THOROUGHLY, NCLUDING EMITTER MICRO-TUBING PRIOR TO EMITTER INSTALLATION.
- IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL BOTH EMITTERS ON UPHILL SIDE OF ROOT BALL.
- EMITTERS SHALL BE SELF-FLUSHING, PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE WITHIN TECHNICAL SPECIFICATIONS.
- DRIP VALVE ZONES ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT REQUIREMENTS (HYDROZONES) AND SUN EXPOSURE.
- CONTRACTOR SHALL ENSURE HYDROZONES ARE VALVED SEPARATELY AS SHOWN ON PLAN.
- SITE CONDITIONS MAY DICTATE THAT MULTIPLE SUN EXPOSURES ARE VALVED TOSETHER DURING THE DESIGN PROCESS. CONTRACTOR SHALL ADJUST EMITTER SCHEDULE AS FOLLOWS:
  - •• EMITTER QUANTITIES SHALL REMAIN THE SAME BUT EMITTER GALLONAGES SHALL BE DOUBLED FOR PLANTS WITH SOUTH AND WEST EXPOSURES.
  - •• EMITTER QUANTITIES AND GALLONAGE SHALL BE AS SHOWN IN SCHEDULE FOR PLANTS WITH NORTH AND EAST EXPOSURES.
  - •• PLANTINGS WITH NORTH AND EAST EXPOSURE SHALL DICTATE VALVE RUN-TIMES AND CONTRACTOR SHALL ADJUST SCHEDULING ACCORDINGLY.

DRIP EMITTER
BELOW GRADE — 18

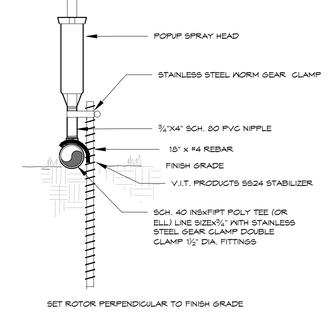


NOTE:
INSTALL ASSEMBLY TO REST ON GRAVEL SUMP. CONTAIN ENTIRE ASSEMBLY WITHIN BOX. NO VALVE BOX EXTENSIONS WILL BE ACCEPTED. PROVIDE 3"-4" CLEARANCE BETWEEN TOP OF CONTROL VALVE SOLENOID AND BOTTOM OF VALVE BOX LID. TOP OF VALVE BOX TO BE FLUSH WITH FINISH GRADE. VALVE BOX SHALL NOT REST ON DRIP TUBING.

DRIP VALVE
POLY LATERAL — 19



DRIP FLUSH VALVE
WITH OPERATIONAL INDICATOR — 20



SET ROTOR PERPENDICULAR TO FINISH GRADE

POP-UP SPRAY HEAD
ON GRADE — 21

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION DETAILS

30 OF 55

KDI HydroSystems
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

Know what's below.
Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DIRECTORY

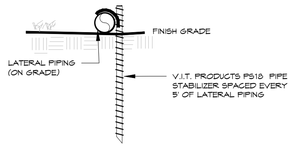
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

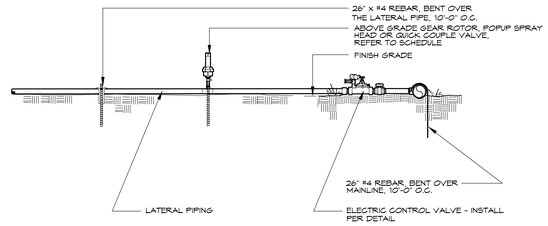
inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

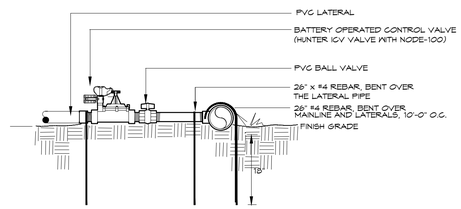


NOTE: REFER TO TECHNICAL SPECIFICATIONS FOR MINIMUM TRENCH WIDTHS.

PIPING STABILIZATION 22
ON GRADE PIPING

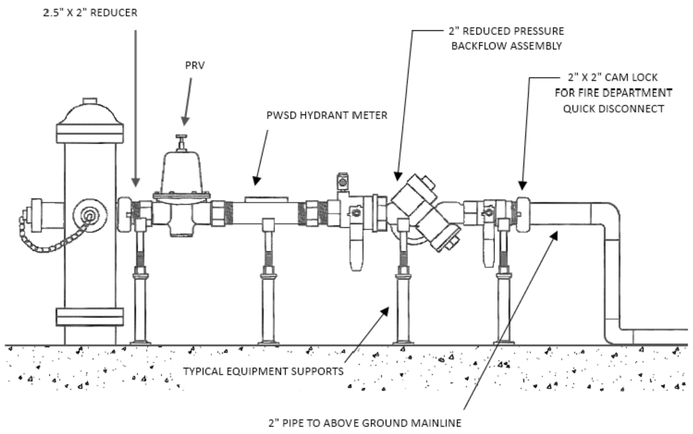


MAINLINE - LATERAL PIPING 23
TEMPORARY IRRIGATION ONLY



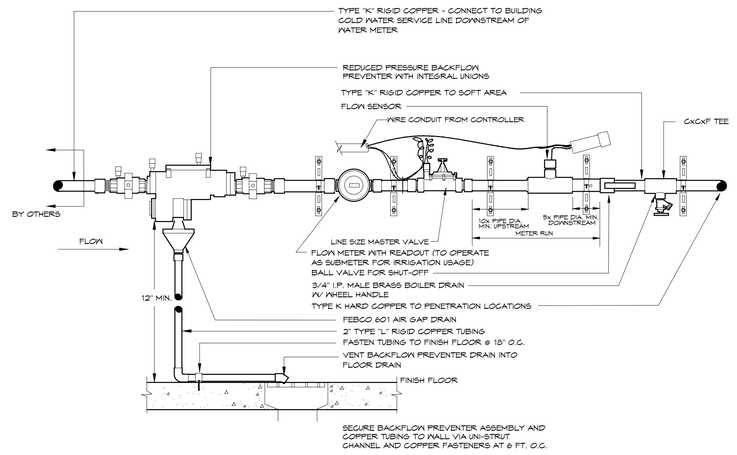
NOTE: DIAMETERS OF PVC FITTINGS AND NIPPLES SHALL EQUAL CONTROL VALVE DIAMETER

ELECTRIC CONTROL VALVE 24
TEMPORARY SYSTEM



PWSD TEMPORARY NATIVE SEED
IRRIGATION CONNECTION

HYDRANT IRRIGATION CONNECTION 25
TEMPORARY IRRIGATION ONLY



POINT OF CONNECTION 26
TYPICAL - WATER ENTRY ROOM

HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

811 Know what's below. Call before you dig.
CALL 3 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DIRECTORY

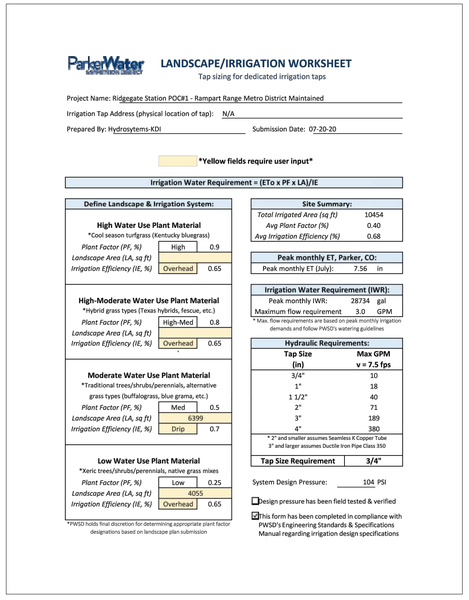
RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

IRRIGATION DETAILS

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



LANDSCAPE/IRRIGATION WORKSHEET
Tap sizing for dedicated irrigation taps

Project Name: Ridgegate Station POC#1 - Rampart Range Metro District Maintained
Irrigation Tap Address (physical location of tap): N/A
Prepared By: Hydrosytems-KDI Submission Date: 07-20-20

Yellow fields require user input

Irrigation Water Requirement = (ETo x PF x LA)/IE

Define Landscape & Irrigation System:

High Water Use Plant Material
*Cool season turfgrass (Kentucky bluegrass)

Plant Factor (PF, %)	High	0.9
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

High-Moderate Water Use Plant Material
*Hybrid grass types (Texas hybrids, fescue, etc.)

Plant Factor (PF, %)	High-Med	0.8
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

Moderate Water Use Plant Material
*Traditional trees/shrubs/perennials, alternative grass types (buffalograss, blue grama, etc.)

Plant Factor (PF, %)	Med	0.5
Landscape Area (LA, sq ft)	6399	
Irrigation Efficiency (IE, %)	Drip	0.7

Low Water Use Plant Material
*Xeric trees/shrubs/perennials, native grass mixes

Plant Factor (PF, %)	Low	0.25
Landscape Area (LA, sq ft)	4055	
Irrigation Efficiency (IE, %)	Overhead	0.65

*PWSD holds final discretion for determining appropriate plant factor designations based on landscape plan submission

Site Summary:

Total Irrigated Area (sq ft)	10454
Avg Plant Factor (%)	0.40
Avg Irrigation Efficiency (%)	0.68

Peak monthly ET, Parker, CO:

Peak monthly ET (July):	7.56 in

Irrigation Water Requirement (IWR):

Peak monthly IWR:	28734	gal
Maximum flow requirement	3.0	GPM

* Max. flow requirements are based on peak monthly irrigation demands and follow PWSD's watering guidelines

Hydraulic Requirements:

Tap Size (in)	Max GPM v = 7.5 fps
3/4"	10
1"	18
1 1/2"	40
2"	71
3"	189
4"	380

* 2" and smaller assumes Seamless K Copper Tube
3" and larger assumes Ductile Iron Pipe Class 350

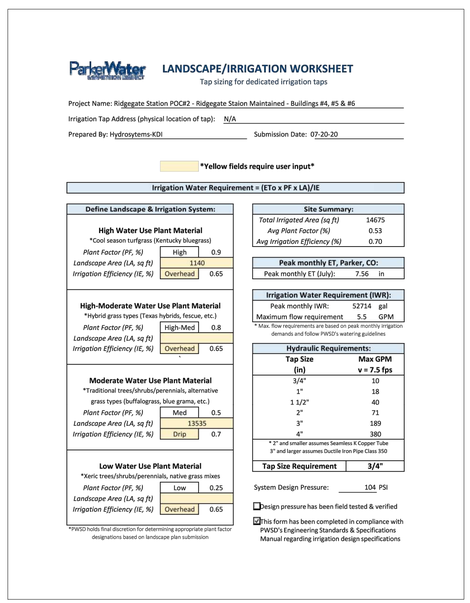
Tap Size Requirement	3/4"

System Design Pressure: 104 PSI

☐ Design pressure has been field tested & verified

☑ This form has been completed in compliance with PWSD's Engineering Standards & Specifications Manual regarding irrigation design specifications

TAP #1 - PERMANENT - RRMD
IRRIGATION WORKSHEET — 1



LANDSCAPE/IRRIGATION WORKSHEET
Tap sizing for dedicated irrigation taps

Project Name: Ridgegate Station POC#2 - Ridgegate Staion Maintained - Buildings #4, #5 & #6
Irrigation Tap Address (physical location of tap): N/A
Prepared By: Hydrosystems-KDI Submission Date: 07-20-20

Yellow fields require user input

Irrigation Water Requirement = (ETo x PF x LA)/IE

Define Landscape & Irrigation System:

High Water Use Plant Material
*Cool season turfgrass (Kentucky bluegrass)

Plant Factor (PF, %)	High	0.9
Landscape Area (LA, sq ft)	1140	
Irrigation Efficiency (IE, %)	Overhead	0.65

High-Moderate Water Use Plant Material
*Hybrid grass types (Texas hybrids, fescue, etc.)

Plant Factor (PF, %)	High-Med	0.8
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

Moderate Water Use Plant Material
*Traditional trees/shrubs/perennials, alternative grass types (buffalograss, blue grama, etc.)

Plant Factor (PF, %)	Med	0.5
Landscape Area (LA, sq ft)	13535	
Irrigation Efficiency (IE, %)	Drip	0.7

Low Water Use Plant Material
*Xeric trees/shrubs/perennials, native grass mixes

Plant Factor (PF, %)	Low	0.25
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

*PWSD holds final discretion for determining appropriate plant factor designations based on landscape plan submission

Site Summary:

Total Irrigated Area (sq ft)	14675
Avg Plant Factor (%)	0.53
Avg Irrigation Efficiency (%)	0.70

Peak monthly ET, Parker, CO:

Peak monthly ET (July):	7.56 in

Irrigation Water Requirement (IWR):

Peak monthly IWR:	52714	gal
Maximum flow requirement	5.5	GPM

* Max. flow requirements are based on peak monthly irrigation demands and follow PWSD's watering guidelines

Hydraulic Requirements:

Tap Size (in)	Max GPM v = 7.5 fps
3/4"	10
1"	18
1 1/2"	40
2"	71
3"	189
4"	380

* 2" and smaller assumes Seamless K Copper Tube
3" and larger assumes Ductile Iron Pipe Class 350

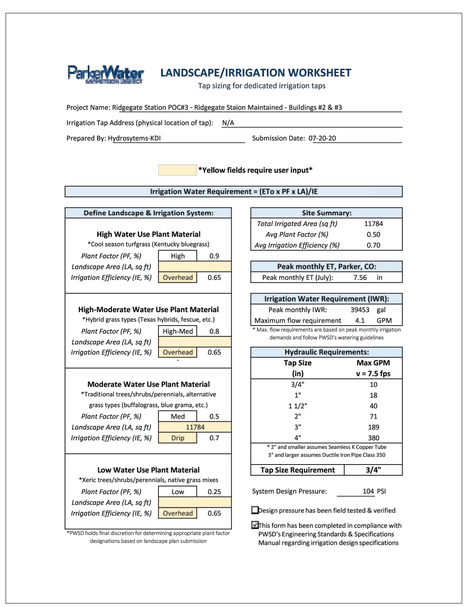
Tap Size Requirement	3/4"

System Design Pressure: 104 PSI

☐ Design pressure has been field tested & verified

☑ This form has been completed in compliance with PWSD's Engineering Standards & Specifications Manual regarding irrigation design specifications

TAP #2 - PERMANENT - OWNER
IRRIGATION WORKSHEET — 2



LANDSCAPE/IRRIGATION WORKSHEET
Tap sizing for dedicated irrigation taps

Project Name: Ridgegate Station POC#3 - Ridgegate Staion Maintained - Buildings #2 & #3
Irrigation Tap Address (physical location of tap): N/A
Prepared By: Hydrosystems-KDI Submission Date: 07-20-20

Yellow fields require user input

Irrigation Water Requirement = (ETo x PF x LA)/IE

Define Landscape & Irrigation System:

High Water Use Plant Material
*Cool season turfgrass (Kentucky bluegrass)

Plant Factor (PF, %)	High	0.9
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

High-Moderate Water Use Plant Material
*Hybrid grass types (Texas hybrids, fescue, etc.)

Plant Factor (PF, %)	High-Med	0.8
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

Moderate Water Use Plant Material
*Traditional trees/shrubs/perennials, alternative grass types (buffalograss, blue grama, etc.)

Plant Factor (PF, %)	Med	0.5
Landscape Area (LA, sq ft)	11784	
Irrigation Efficiency (IE, %)	Drip	0.7

Low Water Use Plant Material
*Xeric trees/shrubs/perennials, native grass mixes

Plant Factor (PF, %)	Low	0.25
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

*PWSD holds final discretion for determining appropriate plant factor designations based on landscape plan submission

Site Summary:

Total Irrigated Area (sq ft)	11784
Avg Plant Factor (%)	0.50
Avg Irrigation Efficiency (%)	0.70

Peak monthly ET, Parker, CO:

Peak monthly ET (July):	7.56 in

Irrigation Water Requirement (IWR):

Peak monthly IWR:	39453	gal
Maximum flow requirement	4.1	GPM

* Max. flow requirements are based on peak monthly irrigation demands and follow PWSD's watering guidelines

Hydraulic Requirements:

Tap Size (in)	Max GPM v = 7.5 fps
3/4"	10
1"	18
1 1/2"	40
2"	71
3"	189
4"	380

* 2" and smaller assumes Seamless K Copper Tube
3" and larger assumes Ductile Iron Pipe Class 350

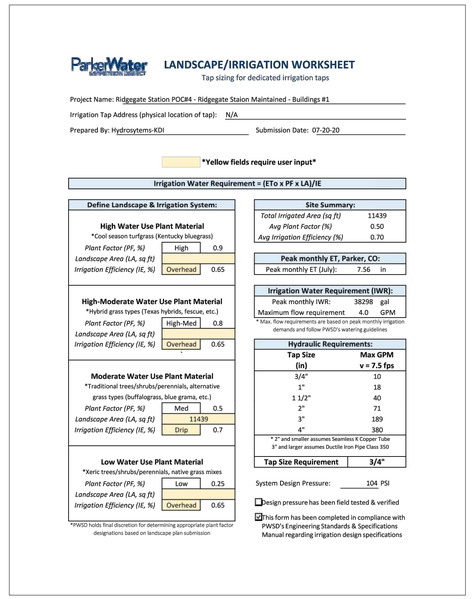
Tap Size Requirement	3/4"

System Design Pressure: 104 PSI

☐ Design pressure has been field tested & verified

☑ This form has been completed in compliance with PWSD's Engineering Standards & Specifications Manual regarding irrigation design specifications

TAP #3 - PERMANENT - OWNER
IRRIGATION WORKSHEET — 3



LANDSCAPE/IRRIGATION WORKSHEET
Tap sizing for dedicated irrigation taps

Project Name: Ridgegate Station POC#4 - Ridgegate Staion Maintained - Buildings #1
Irrigation Tap Address (physical location of tap): N/A
Prepared By: Hydrosystems-KDI Submission Date: 07-20-20

Yellow fields require user input

Irrigation Water Requirement = (ETo x PF x LA)/IE

Define Landscape & Irrigation System:

High Water Use Plant Material
*Cool season turfgrass (Kentucky bluegrass)

Plant Factor (PF, %)	High	0.9
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

High-Moderate Water Use Plant Material
*Hybrid grass types (Texas hybrids, fescue, etc.)

Plant Factor (PF, %)	High-Med	0.8
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

Moderate Water Use Plant Material
*Traditional trees/shrubs/perennials, alternative grass types (buffalograss, blue grama, etc.)

Plant Factor (PF, %)	Med	0.5
Landscape Area (LA, sq ft)	11439	
Irrigation Efficiency (IE, %)	Drip	0.7

Low Water Use Plant Material
*Xeric trees/shrubs/perennials, native grass mixes

Plant Factor (PF, %)	Low	0.25
Landscape Area (LA, sq ft)		
Irrigation Efficiency (IE, %)	Overhead	0.65

*PWSD holds final discretion for determining appropriate plant factor designations based on landscape plan submission

Site Summary:

Total Irrigated Area (sq ft)	11439
Avg Plant Factor (%)	0.50
Avg Irrigation Efficiency (%)	0.70

Peak monthly ET, Parker, CO:

Peak monthly ET (July):	7.56 in

Irrigation Water Requirement (IWR):

Peak monthly IWR:	38298	gal
Maximum flow requirement	4.0	GPM

* Max. flow requirements are based on peak monthly irrigation demands and follow PWSD's watering guidelines

Hydraulic Requirements:

Tap Size (in)	Max GPM v = 7.5 fps
3/4"	10
1"	18
1 1/2"	40
2"	71
3"	189
4"	380

* 2" and smaller assumes Seamless K Copper Tube
3" and larger assumes Ductile Iron Pipe Class 350

Tap Size Requirement	3/4"

System Design Pressure: 104 PSI

☐ Design pressure has been field tested & verified

☑ This form has been completed in compliance with PWSD's Engineering Standards & Specifications Manual regarding irrigation design specifications

TAP #4 - PERMANENT - OWNER
IRRIGATION WORKSHEET — 4

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: HO
CHECKED BY: KD

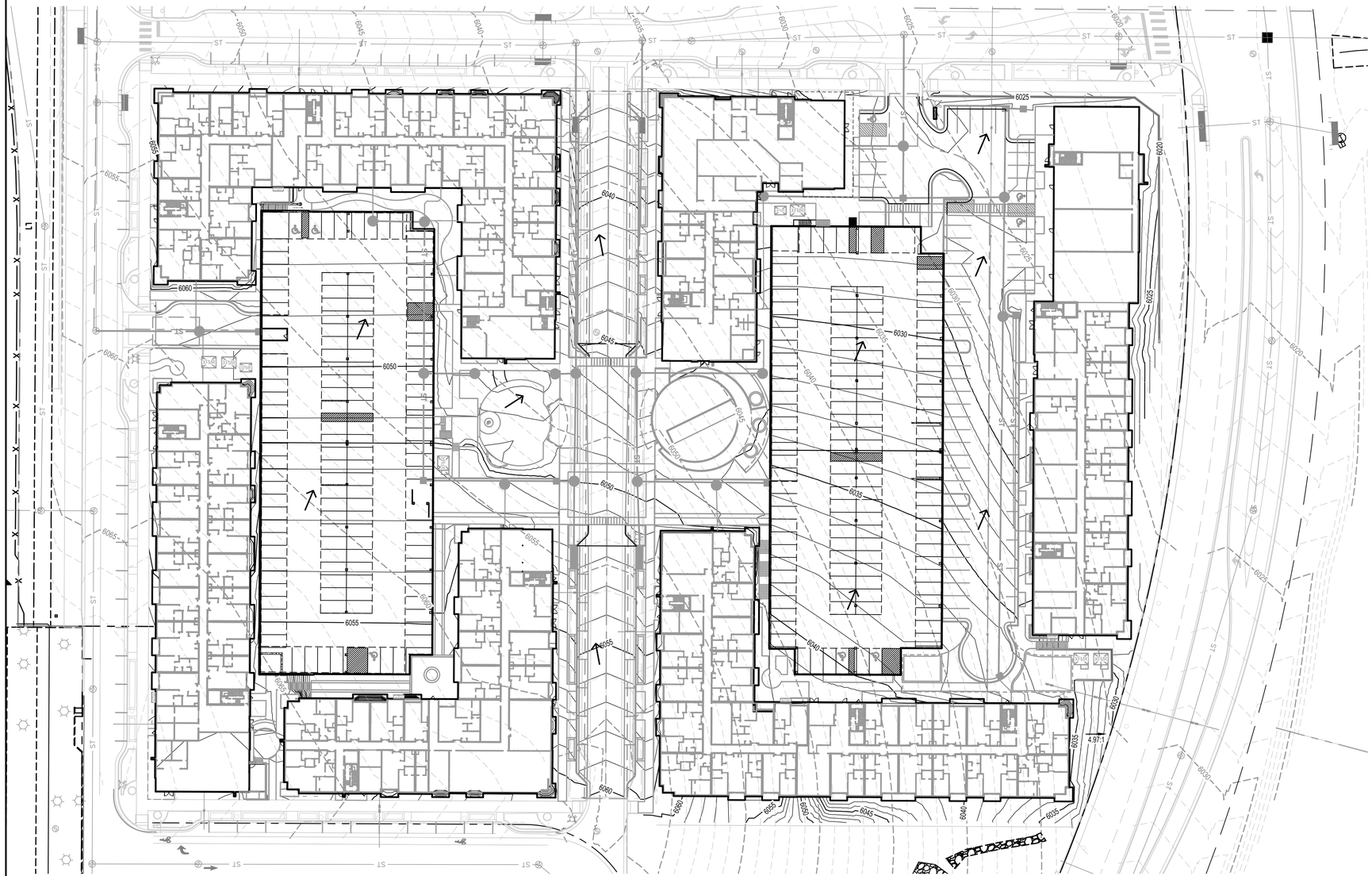
IRRIGATION CHARTS

32 OF 55

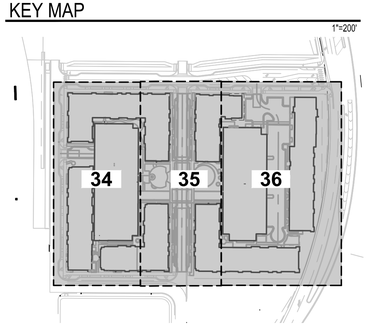
HydroSystems KDI
Irrigation Consulting & Water Management
860 Tabor Street, Suite 200 Lakewood, Colorado 80401
o: 303.980.5327 www.hydrosystemskdi.com

DIRECTORY

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



KEY MAP

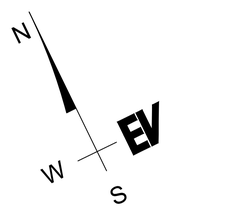


LEGEND

EXISTING	PROPOSED	
		TOP OF CURB
		FLOWLINE
		CURB LIP
5280	5280	MAJOR CONTOUR
5281	5281	MINOR CONTOUR
ST		STORM SEWER MANHOLE
		STORM SEWER INLET
S		SANITARY SEWER MANHOLE
		FIRE HYDRANT
		EXTERIOR LIGHTING
		ADA PARKING SYMBOL
		PROPERTY LINE
		BUILDING SETBACK
		LOT LINE
		EASEMENT LINE
		RIGHT OF WAY (R.O.W.) LINE
		CHAINLINK FENCE
		BARBED WIRE FENCE
		DRAINAGE ARROW

NOTES:

1. FOR UTILITY INFORMATION SEE UTILITY PLAN SHEETS.



40 0 20 40 80
ORIGINAL SCALE: 1"=40' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

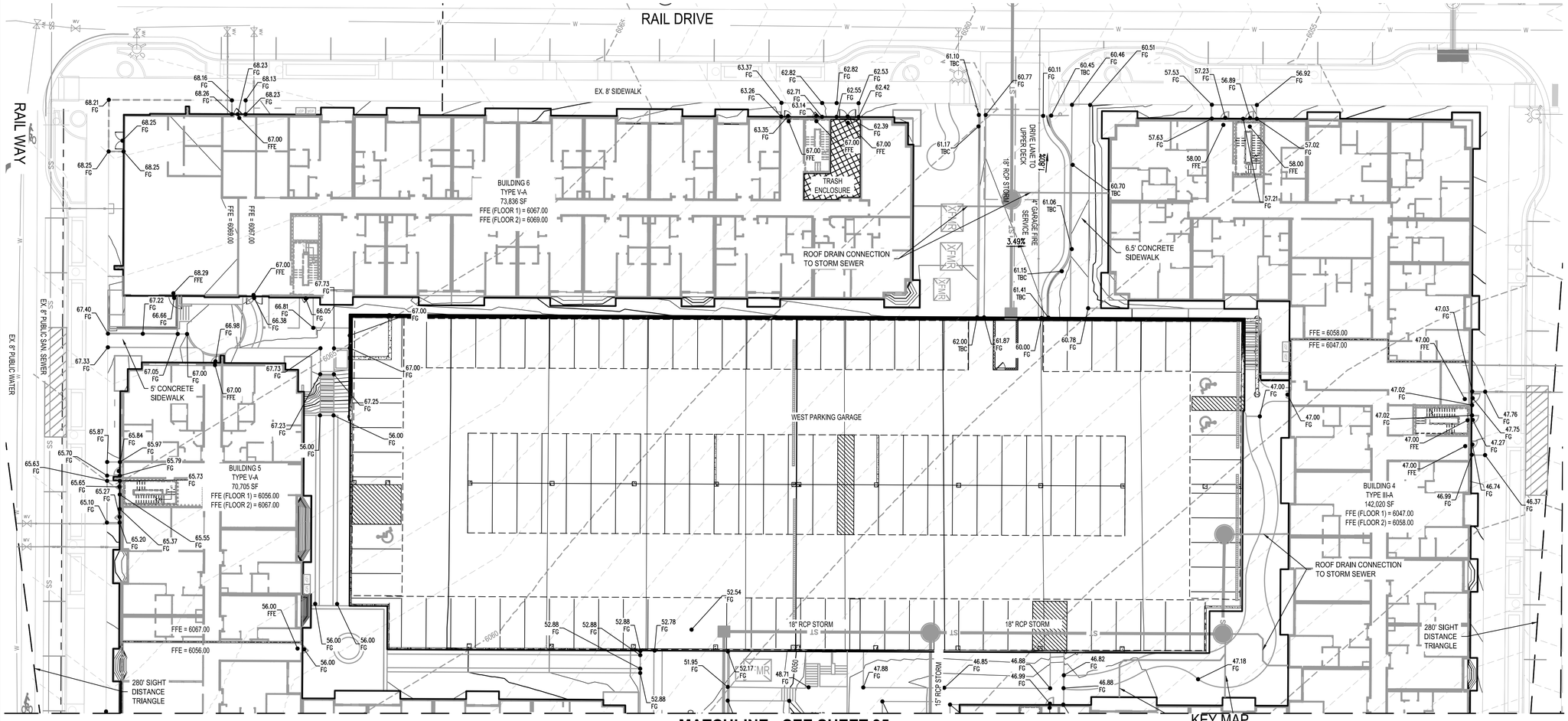
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

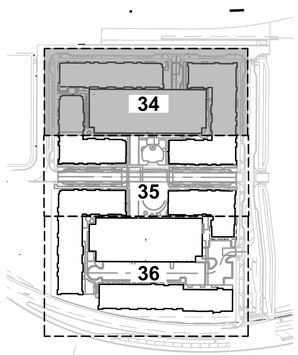
GRADING PLAN

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



MATCHLINE - SEE SHEET 35

KEY MAP



1"=200'

LEGEND

EXISTING	PROPOSED	
		TOP OF CURB
		FLOWLINE
		CURB LIP
5280	5280	MAJOR CONTOUR
5281	5281	MINOR CONTOUR
ST		STORM SEWER MANHOLE
		STORM SEWER INLET
S		SANITARY SEWER MANHOLE
		FIRE HYDRANT
		EXTERIOR LIGHTING
		ADA PARKING SYMBOL
		PROPERTY LINE
		BUILDING SETBACK
		LOT LINE
		EASEMENT LINE
		RIGHT OF WAY (R.O.W.) LINE
		CHAINLINK FENCE
		BARBED WIRE FENCE
		DRAINAGE ARROW

ABBREVIATIONS

FG	FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION
TBC	TOP BACK CURB
TOW	TOP OF WALL
BOW	BOTTOM OF WALL

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

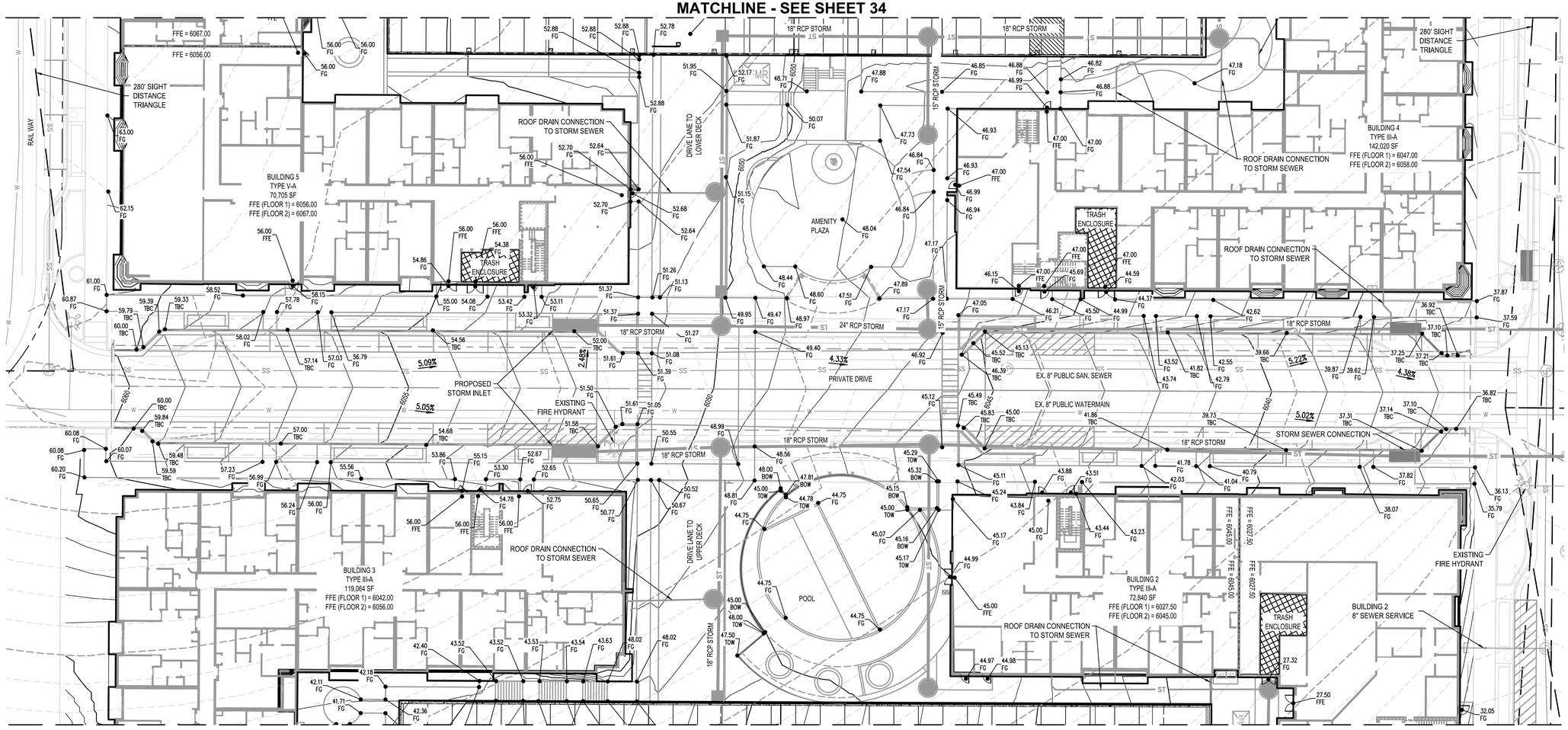
GRADING PLAN - WEST

34 OF 55

ORIGINAL SCALE: 1"=20' HORIZ.

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

MATCHLINE - SEE SHEET 34



MATCHLINE - SEE SHEET 36

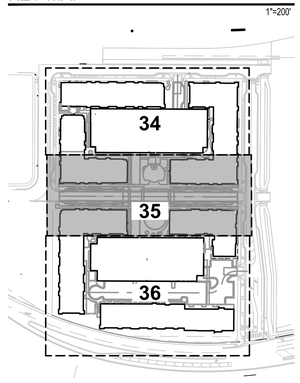
LEGEND

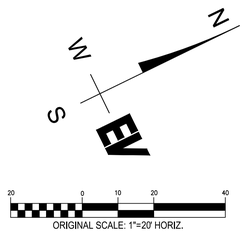
EXISTING	PROPOSED	
		TOP OF CURB
		FLOWLINE
		CURB LIP
5280	5280	MAJOR CONTOUR
5281	5281	MINOR CONTOUR
ST		STORM SEWER MANHOLE
		STORM SEWER INLET
S		SANITARY SEWER MANHOLE
		FIRE HYDRANT
		EXTERIOR LIGHTING
		ADA PARKING SYMBOL
		PROPERTY LINE
		BUILDING SETBACK
		LOT LINE
		EASEMENT LINE
		RIGHT OF WAY (R.O.W.) LINE
		CHAINLINK FENCE
		BARBED WIRE FENCE
		DRAINAGE ARROW

ABBREVIATIONS

FG	FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION
TBC	TOP BACK CURB
TOW	TOP OF WALL
BOW	BOTTOM OF WALL

KEY MAP





EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

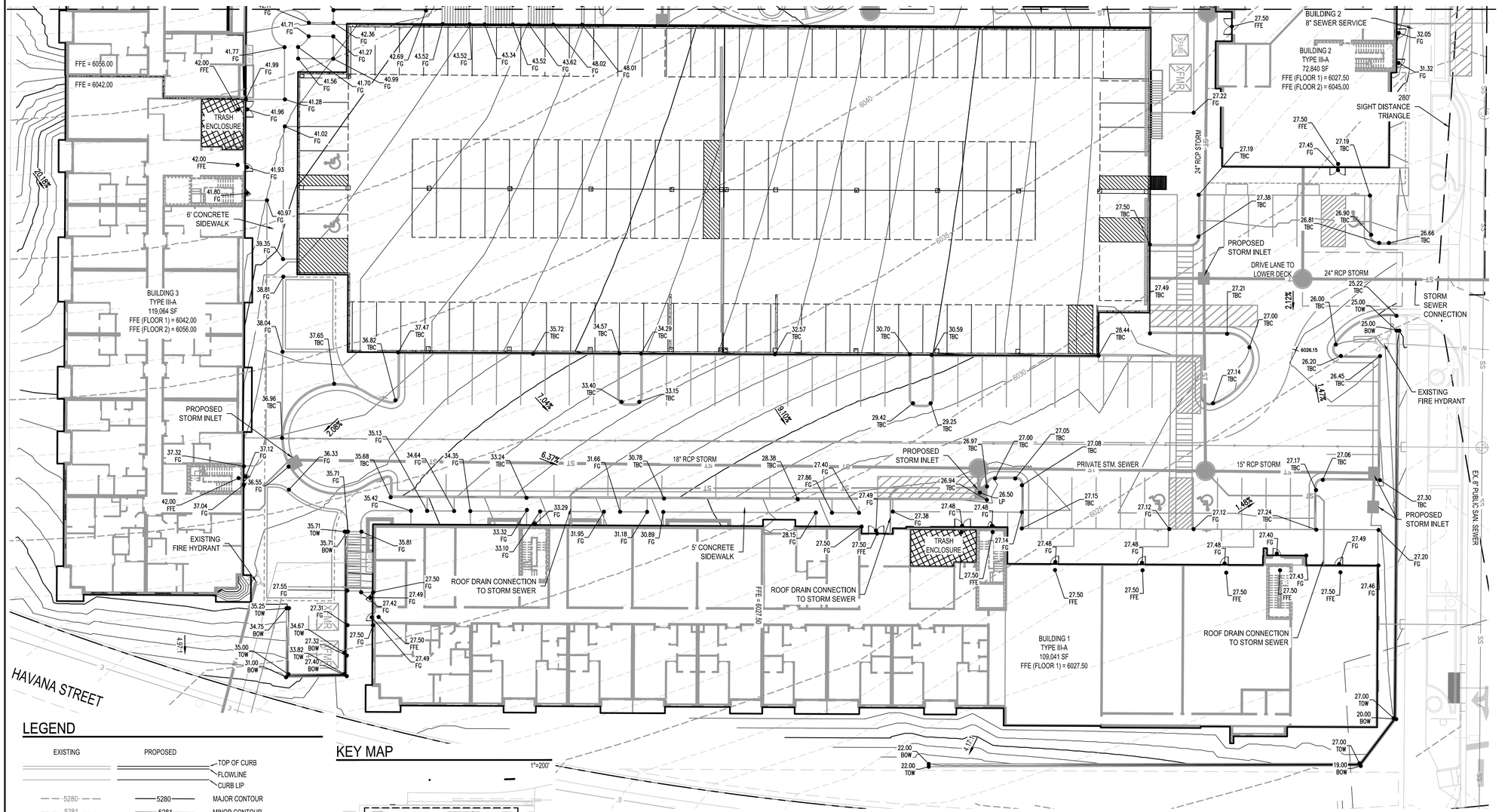
SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

GRADING PLAN - CENTER

35 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

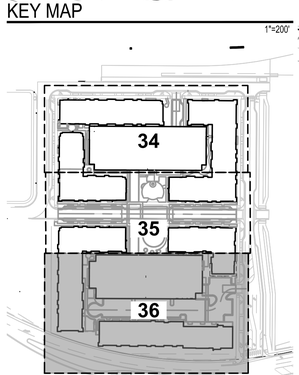
MATCHLINE - SEE SHEET 35



LEGEND

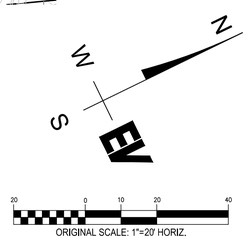
EXISTING	PROPOSED	
		TOP OF CURB
		FLOWLINE
		CURB LIP
5280	5280	MAJOR CONTOUR
5281	5281	MINOR CONTOUR
ST		STORM SEWER MANHOLE
		STORM SEWER INLET
S		SANITARY SEWER MANHOLE
		FIRE HYDRANT
		EXTERIOR LIGHTING
		ADA PARKING SYMBOL
		PROPERTY LINE
		BUILDING SETBACK
		LOT LINE
		EASEMENT LINE
		RIGHT OF WAY (R.O.W.) LINE
		CHAINLINK FENCE
		BARBED WIRE FENCE
		DRAINAGE ARROW

KEY MAP



ABBREVIATIONS

FG	FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION
TBC	TOP BACK CURB
TOW	TOP OF WALL
BOW	BOTTOM OF WALL



20 0 10 20 40
ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

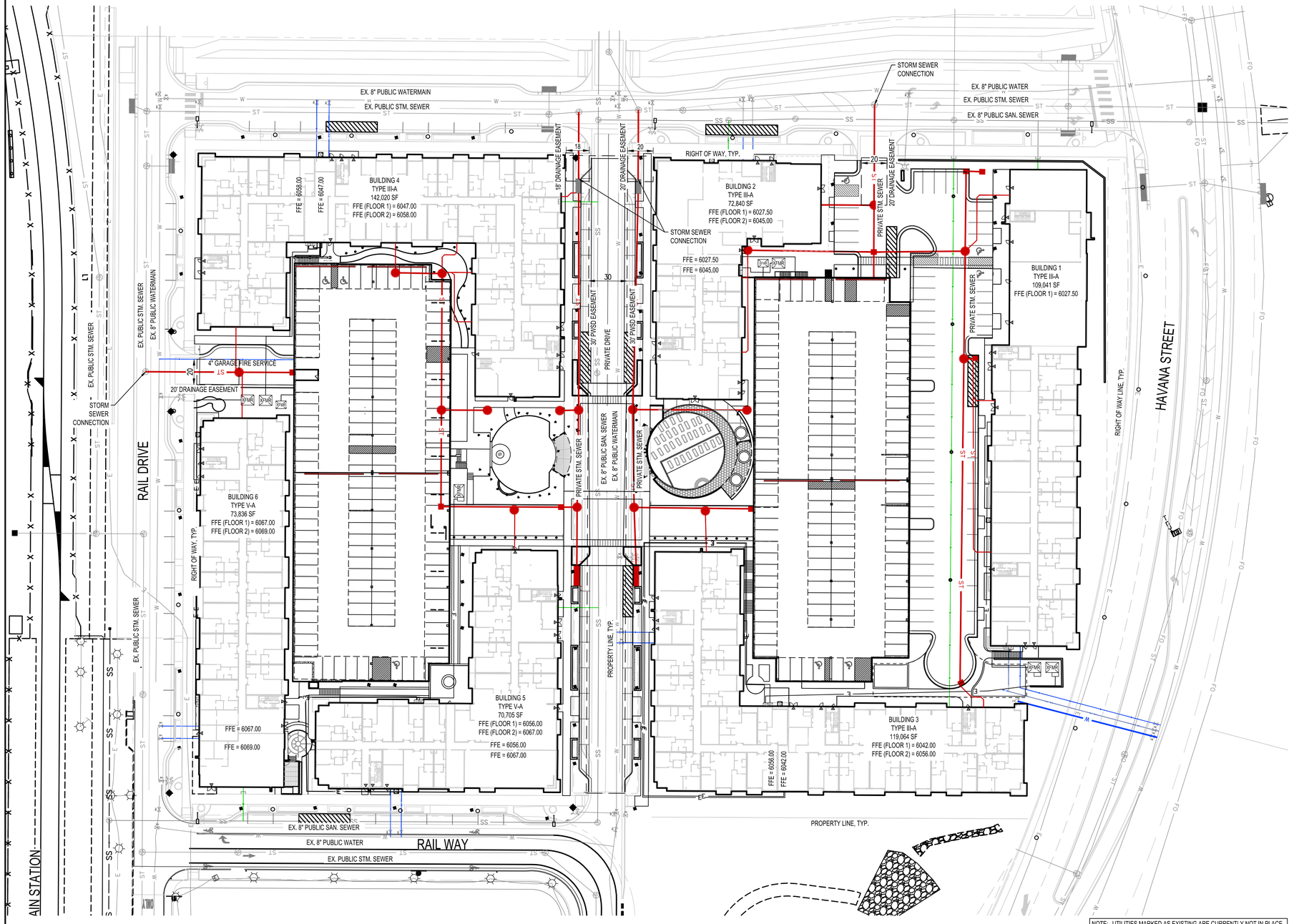
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

GRADING PLAN - EAST

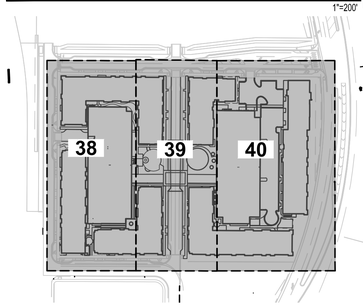
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



NOTE: UTILITIES MARKED AS EXISTING ARE CURRENTLY NOT IN PLACE. THEY WILL BE CONSTRUCTED IN 2020 BY THE RIDGEGATE COMMUNITY AND WILL THEREFORE BE EXISTING BY TIME OF CONSTRUCTION OF THIS PROJECT.

KEY MAP

1"=200'



LEGEND

EXISTING	PROPOSED	
		TOP OF CURB
		FLOWLINE
		PAN
		EXISTING LOT LINE
		PROPOSED LOT LINE
		BUILDING SETBACK
		EASEMENT LINE
		RIGHT-OF-WAY (R.O.W.)
ST	ST	STORM SEWER LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
E	E	ELECTRIC LINE
		STORM SEWER MANHOLE
		SANITARY SEWER MANHOLE
		TELECOMM MANHOLE
		LIGHT POLE
		POWER POLE
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		FLARED END SECTION
		ELECTRIC EQUIPMENT / TRANSFORMER
		ELECTRIC METER
		GAS METER
		IRRIGATION CONTROL BOX
X	X	FENCE
5280	5280	MAJOR CONTOUR
5281	5281	MINOR CONTOUR

N
W
E
S

40 0 20 40 80
ORIGINAL SCALE: 1"=40' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

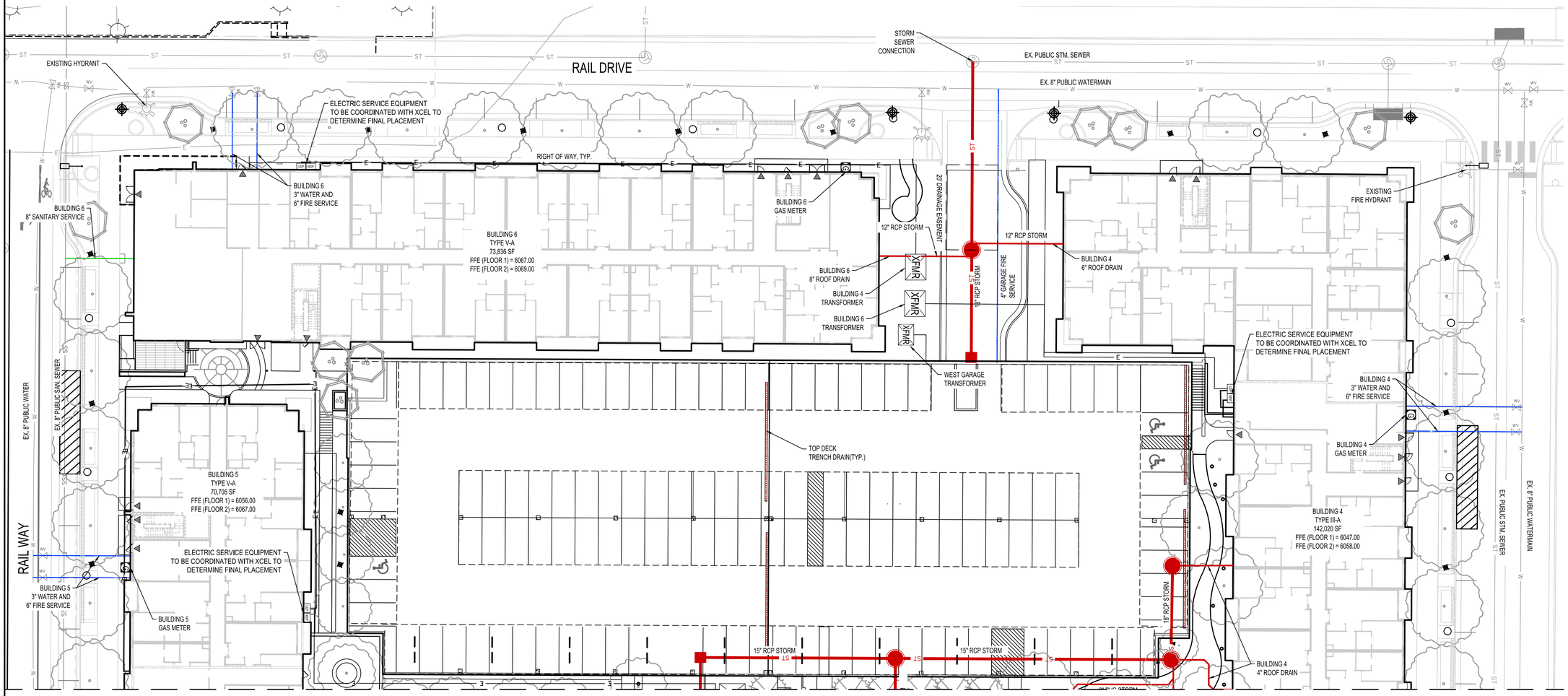
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

UTILITY PLAN

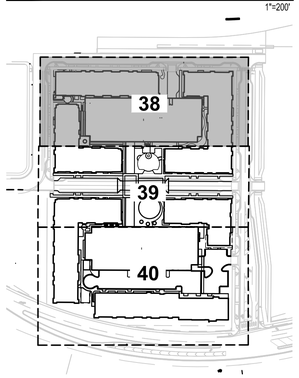
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



MATCHLINE - SEE SHEET 39

KEY MAP

1"=200'



LEGEND

EXISTING	PROPOSED	
ST	ST	STORM SEWER LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
E	E	ELECTRIC LINE

NOTE: UTILITIES MARKED AS EXISTING ARE CURRENTLY NOT IN PLACE. THEY WILL BE CONSTRUCTED IN 2020 BY THE RIDGEGATE COMMUNITY AND WILL THEREFORE BE EXISTING BY TIME OF CONSTRUCTION OF THIS PROJECT.

20 0 10 20 40

ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

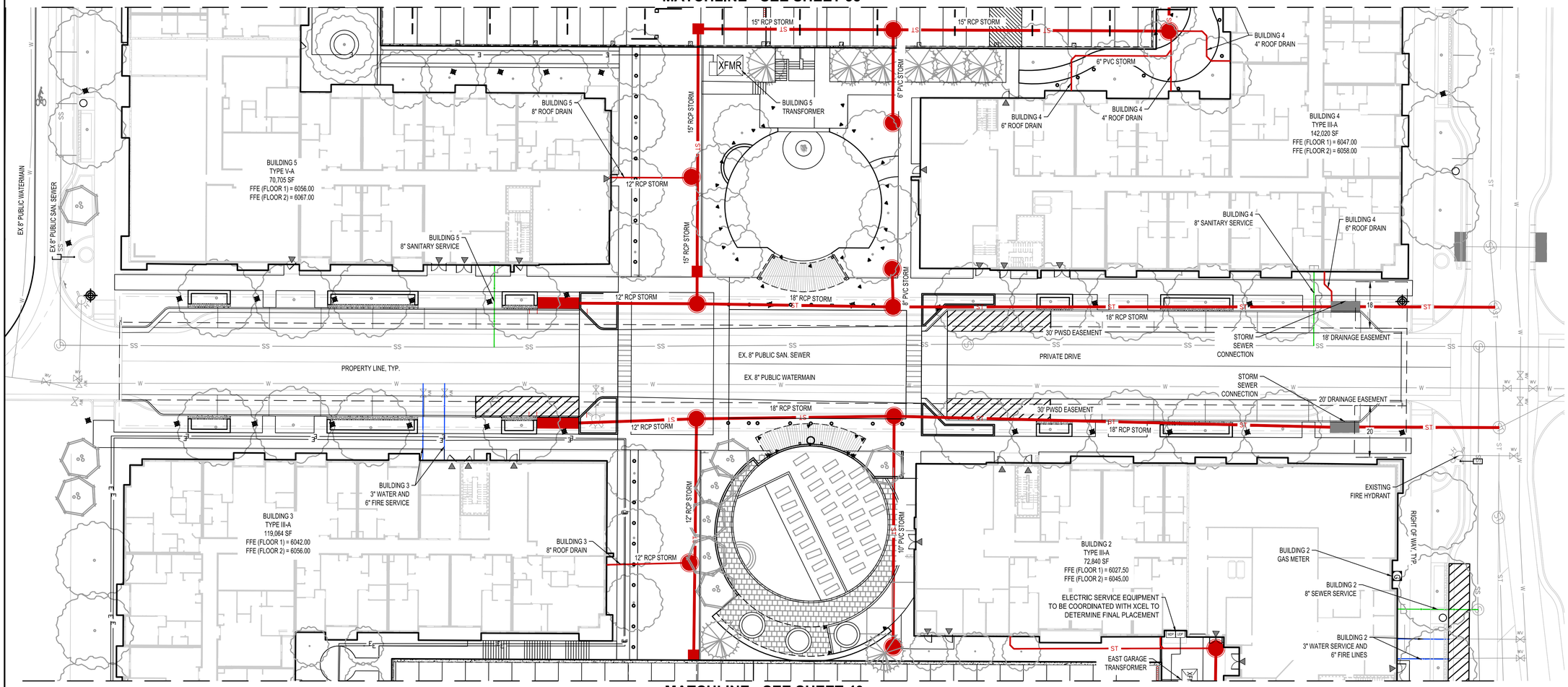
SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

UTILITY PLAN - WEST

38 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

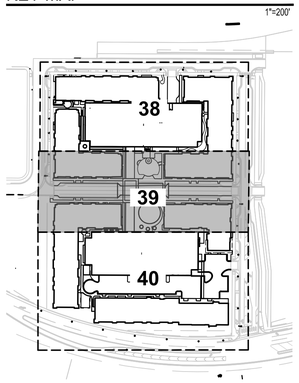
MATCHLINE - SEE SHEET 38



MATCHLINE - SEE SHEET 40

KEY MAP

1"=200'



LEGEND

EXISTING	PROPOSED	
ST	ST	STORM SEWER LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
E	E	ELECTRIC LINE

NOTE: UTILITIES MARKED AS EXISTING ARE CURRENTLY NOT IN PLACE. THEY WILL BE CONSTRUCTED IN 2020 BY THE RIDGEGATE COMMUNITY AND WILL THEREFORE BE EXISTING BY TIME OF CONSTRUCTION OF THIS PROJECT.

20 0 10 20 40
ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

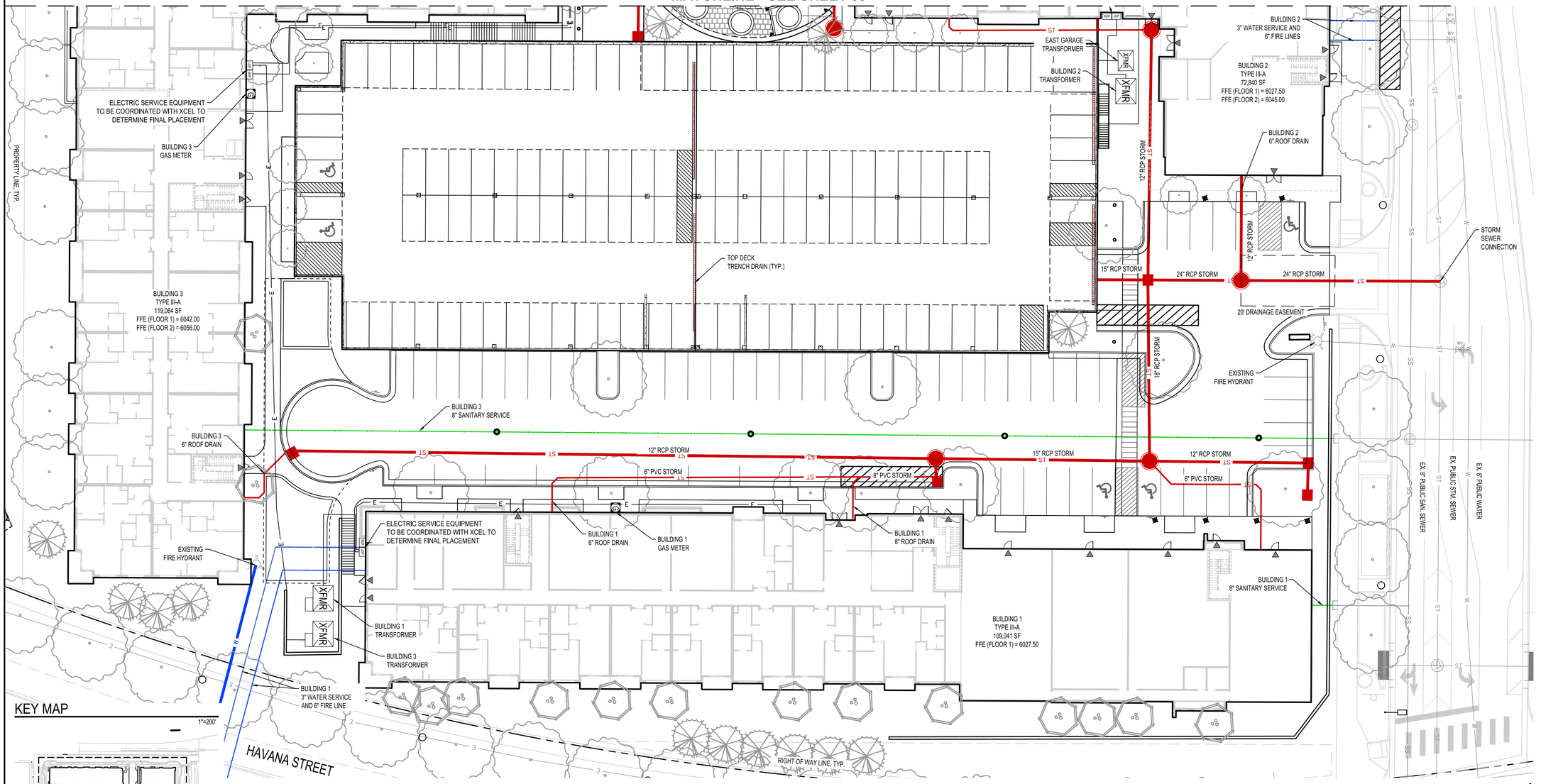
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

UTILITY PLAN - CENTER

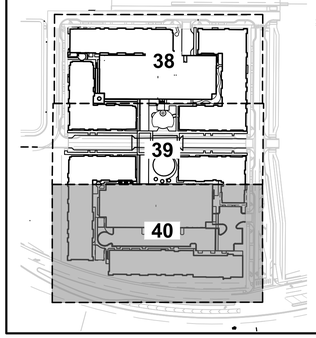
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

MATCHLINE - SEE SHEET 39



KEY MAP

1"=200'



LEGEND

EXISTING	PROPOSED	
ST	ST	STORM SEWER LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
E	E	ELECTRIC LINE

NOTE: UTILITIES MARKED AS EXISTING ARE CURRENTLY NOT IN PLACE. THEY WILL BE CONSTRUCTED IN 2020 BY THE RIDGEGATE COMMUNITY AND WILL THEREFORE BE EXISTING BY TIME OF CONSTRUCTION OF THIS PROJECT.

20 0 10 20 40
ORIGINAL SCALE: 1"=20' HORIZ.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

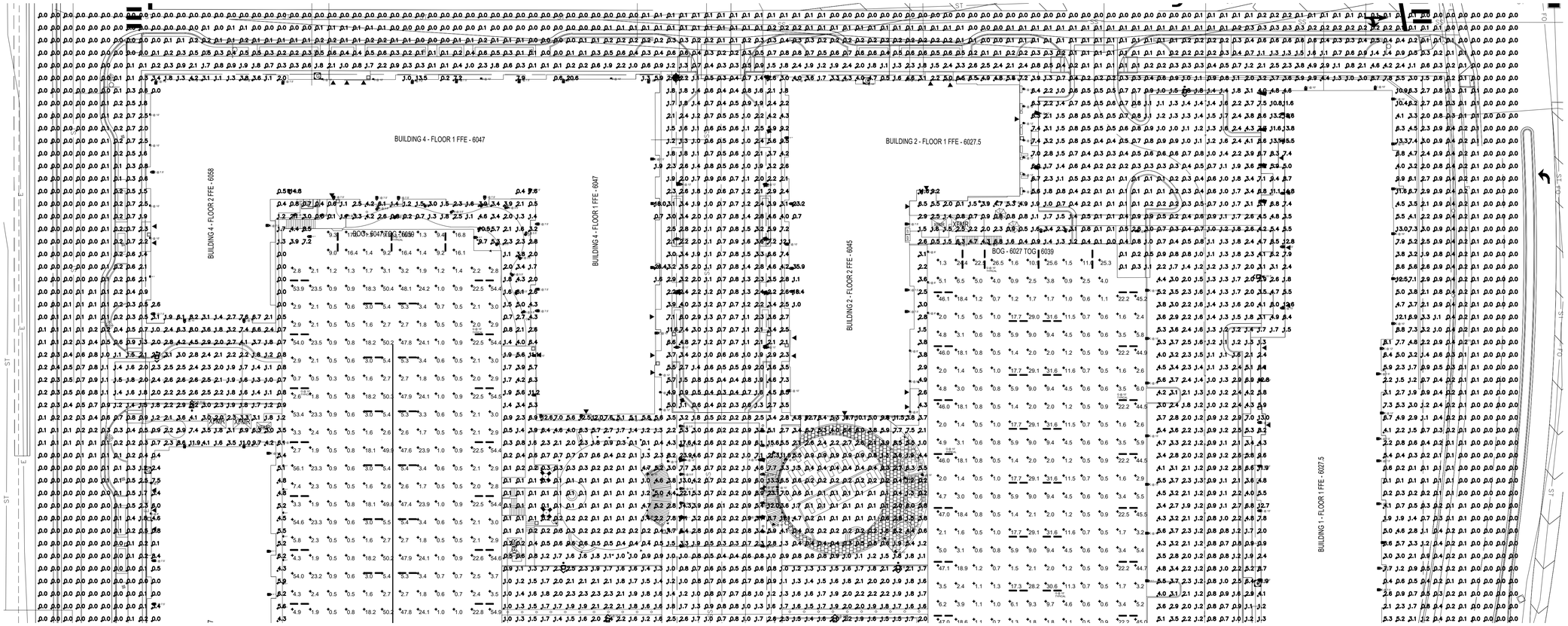
19082

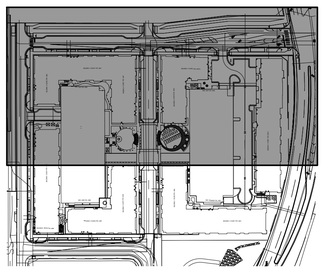
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: JDN
CHECKED BY: BMW

UTILITY PLAN - EAST

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP 20-24R





KEY MAP
1"=200'

Site Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Site	+	1.5 fc	10.6 fc	0.0 fc	N/A	N/A
Top of West Garage	+	10.0 fc	56.1 fc	0.3 fc	187.0:1	33.3:1
Top of East Garage	+	8.8 fc	57.5 fc	0.5 fc	115.0:1	17.6:1

PHOTOMETRIC PLAN NOTES

1. ILLUMINATION VALUES INDICATED ARE IN FOOTCANDLES, TYPICAL. VALUES INDICATED ARE INITIAL HORIZONTAL ILLUMINANCE MEASURED AT GRADE. 7'X7' GRID, 1"=30'-0" SCALE.
2. ALL LUMINAIRES SHALL BE FULLY SHIELDED AND FULL CUT-OFF TO DIRECT LIGHT DOWNWARDS. NO EMITTED LIGHT SHALL BE PERMITTED ABOVE HORIZONTAL PLANE.
3. ALL LUMINAIRES SHALL BE REVIEWED FOR ACCEPTABILITY AND AESTHETICS WITH PROJECT REQUIREMENTS BY THE AUTHORITY HAVING JURISDICTION. LUMINAIRES INDICATED ARE PRELIMINARY BASIS OF DESIGN ONLY AND ARE SUBJECT TO CHANGE.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

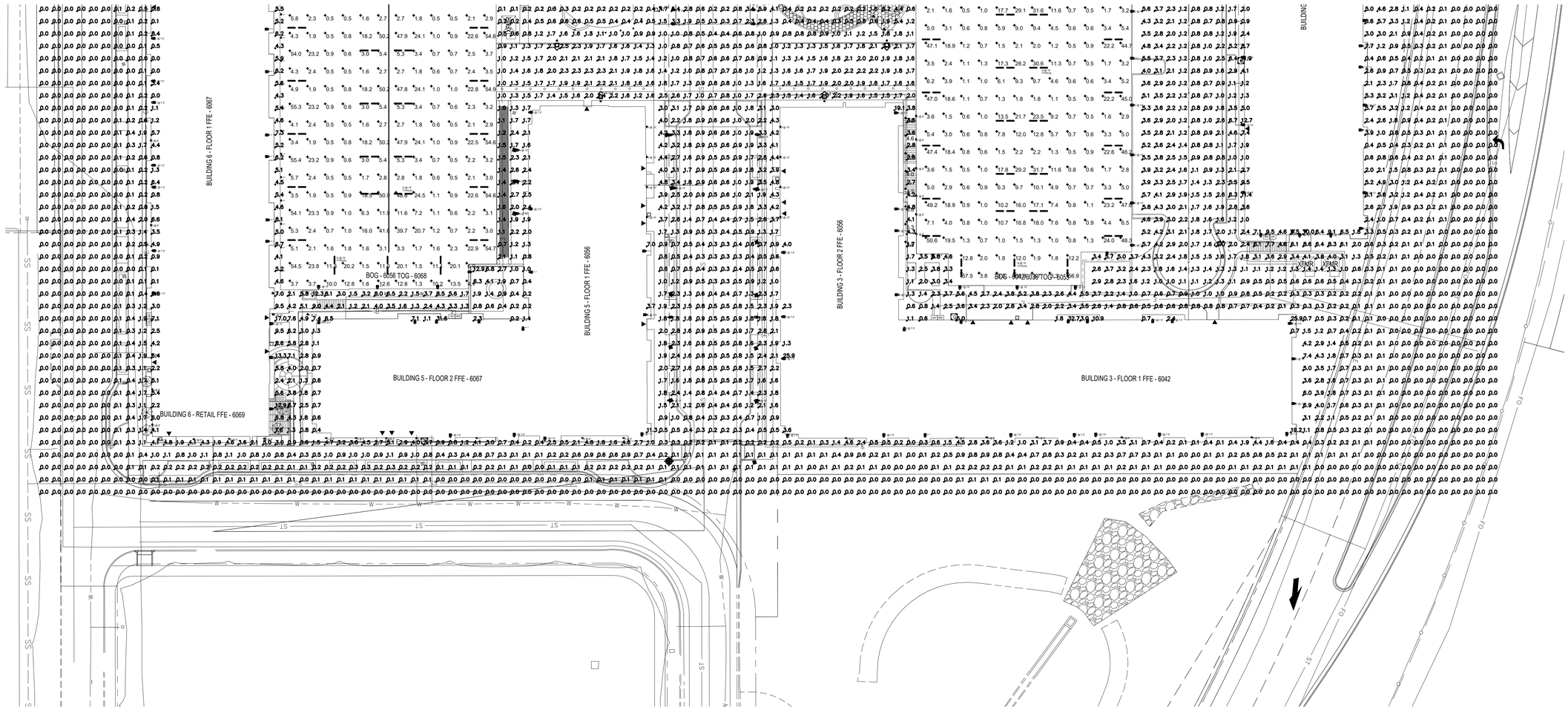
NOT FOR REGULATORY APPROVAL, PERMITING OR CONSTRUCTION

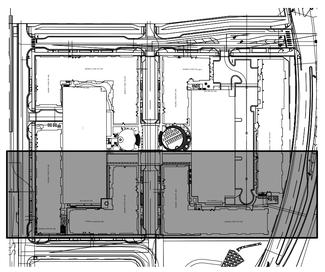
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KMH
CHECKED BY: DV

PHOTOMETRIC SITE PLAN
SC: 1"=30'-0"

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP 20-24R





KEY MAP
1"=200'

Site Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Site	+	1.5 fc	10.6 fc	0.0 fc	N/A	N/A
Top of West Garage	+	10.0 fc	56.1 fc	0.3 fc	187.0:1	33.3:1
Top of East Garage	+	8.8 fc	57.5 fc	0.5 fc	115.0:1	17.6:1

PHOTOMETRIC PLAN NOTES

1. ILLUMINATION VALUES INDICATED ARE IN FOOTCANDLES, TYPICAL. VALUES INDICATED ARE INITIAL HORIZONTAL ILLUMINANCE MEASURED AT GRADE. 7'X7' GRID, 1"=30'-0" SCALE.
2. ALL LUMINAIRES SHALL BE FULLY SHIELDED AND FULL CUT-OFF TO DIRECT LIGHT DOWNWARDS. NO EMITTED LIGHT SHALL BE PERMITTED ABOVE HORIZONTAL PLANE.
3. ALL LUMINAIRES SHALL BE REVIEWED FOR ACCEPTABILITY AND AESTHETICS WITH PROJECT REQUIREMENTS BY THE AUTHORITY HAVING JURISDICTION. LUMINAIRES INDICATED ARE PRELIMINARY BASIS OF DESIGN ONLY AND ARE SUBJECT TO CHANGE.

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

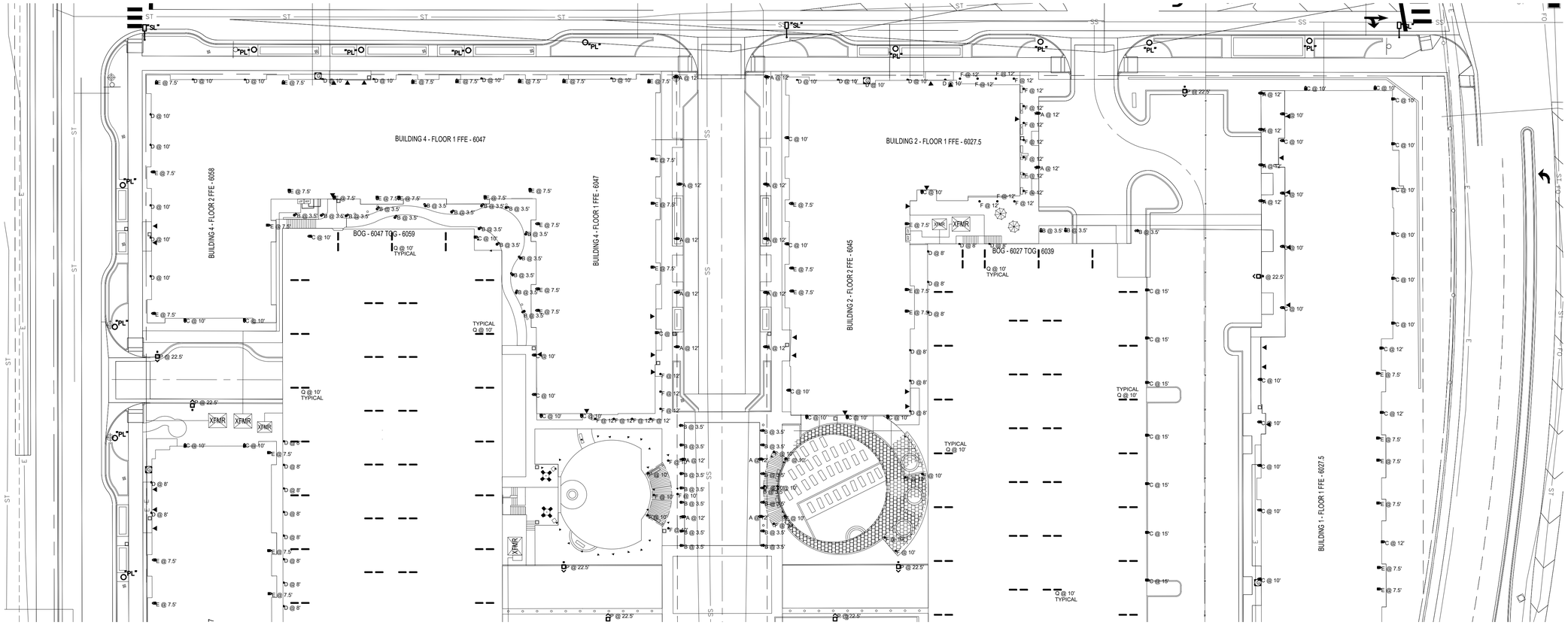
NOT FOR REGULATORY APPROVAL, PERMITING OR CONSTRUCTION

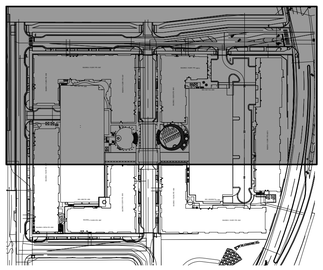
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KMH
CHECKED BY: DV

PHOTOMETRIC SITE PLAN
SC: 1"=30'-0"

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP 20-24R





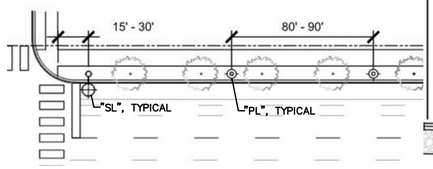
KEY MAP
1"=200'

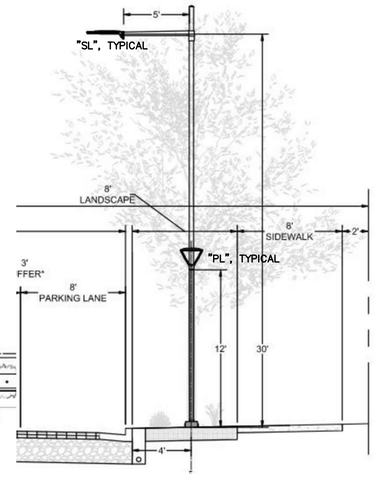
Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	26	GARDCO Pureform	PPT 140L 650 WW-G2	12' POLE MOUNTED WALKWAY LIGHT	140 LEDs	1	AP 2063 100F 35K.ies	2519	1	30
	B	34	GARDCO Pureform	PBL 42 14L 100 WW-G2 5 120	42" PUREFORM LED BOLLARD	LED	1	AP 006L4 035F 35K.ies	538	1	6.1
	C	71	Lithonia Lighting	WST LED P2 30K VF MVOLT VG	WST LED, Performance package 2, 3000 K, visual comfort forward throw, MVOLT, vandal guard	LED	1	WST_LED_P2_30K_VF_MVOLT_VG.ies	2962	1	25
	D	79	Lithonia Lighting	OLWX1 LED 13W 40K DDB	13W 4000K LED WALL PACK	LED	1	OLWX1_LED_13W_40K_DDB.ies	1260	1	14
	E	87	LITON Lighting	WD2360BZ	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	LED	1	WD22360_P1_40K_120_DDB.ies	1034	1	31.0
	F	45	Lithonia Lighting	LDN4 35/05 LO4AR LD	4IN LDN, 3500K, 500LM, 80 CRI, CLEAR, MATTE DIFFUSE REFLECTOR	LED	1	LDN4_35_05_LO4AR_LD.ies	585	1	8.52
	P	9	Lithonia Lighting	DSX0 LED P2 40K T3M MVOLT HS	DSX0 LED P2 40K T3M MVOLT with houseside shield	LED	1	DSX0_LED_P2_40K_T3M_MVOLT_HS.ies	4728	1	49
	Q	182	AXIS Lighting	WBSLED-900-35 T3M MVOLT HS	WET BEAM DIRECT LED LUMINAIRE	LED	1	D900-80-35.ies	3600	1	40
	SL	5	Philips Gardco	P26 48L 400 WW-G2 SF 2 UNV TLRD7	PUREFORM LED 30' POLE W/EXTENSION PER XCEL AND LONE TREE STDS	LED	1		6287	1	44
	PL	25	Philips Gardco	PPT 140L 650 WW-G2 T3 5 UNV TLRD7	PUREFORM LED 12' POLE PER XCEL AND LONE TREE STDS	LED	1		2913	1	27

LUMINAIRE PLAN NOTES

1. ALL LUMINAIRES SHALL BE FULLY SHIELDED AND FULL CUT-OFF TO DIRECT LIGHT DOWNWARDS. NO EMITTED LIGHT SHALL BE PERMITTED ABOVE HORIZONTAL PLANE.
2. ALL LUMINAIRES SHALL BE REVIEWED FOR ACCEPTABILITY AND AESTHETICS WITH PROJECT REQUIREMENTS BY THE AUTHORITY HAVING JURISDICTION. LUMINAIRES INDICATED ARE PRELIMINARY BASIS OF DESIGN ONLY AND ARE SUBJECT TO CHANGE.
3. LUMINAIRE TYPES SL AND PL (STREET LIGHTS AND PEDESTRIAN LIGHTS) SHALL BE PER CITY OF LONE TREE RIDGEGATE DEVELOPMENT LIGHTING GUIDELINES. COORDINATE INSTALLATION TO COMPLY WITH STRATEGY 2 CONTINUOUS PEDESTRIAN LIGHTING WITH STREET LIGHTS AT INTERSECTIONS.
4. LOCATE TYPE SL AT INTERSECTIONS AND TYPE PL AT 80-90 FEET ON CENTER. TYPE PL LIGHTS SHALL BE AIMED AT SIDEWALK, TYPICAL. COORDINATE EXACT LOCATIONS OF ALL STREET AND PEDESTRIAN LUMINAIRES WITH XCEL, CITY OF LONE TREE AUTHORIZED PERSONNEL PRIOR TO ANY INSTALLATION.
5. PEDESTRIAN AND STREET LIGHTING WITHIN ROW TO BE INSTALLED AND MAINTAINED BY RRMD.

NOTE: PEDESTRIAN LIGHTS TO BE AIMED AT SIDEWALK





URBAN LOCAL - TYPE I
STRATEGY 2

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

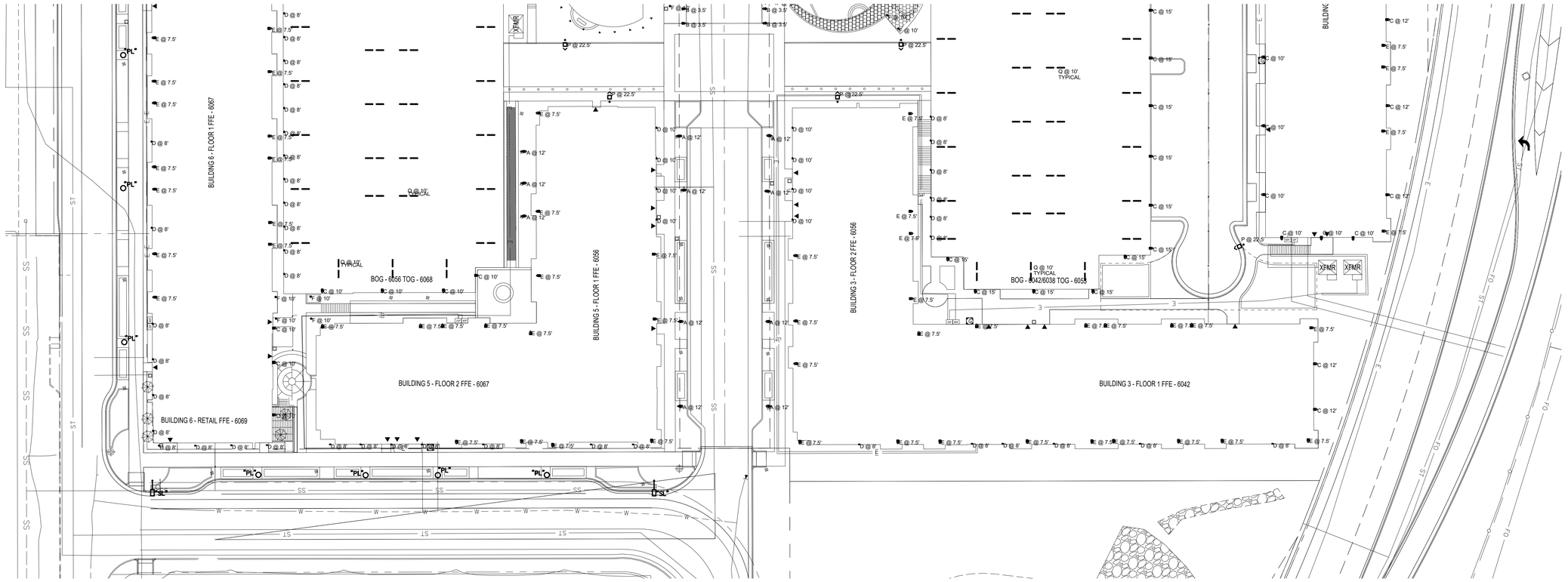
NOT FOR REGULATORY APPROVAL, PERMITING OR CONSTRUCTION

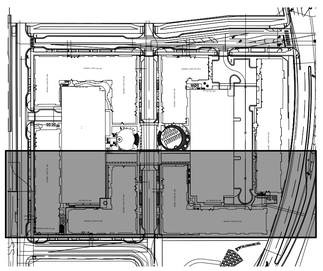
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KMH
CHECKED BY: DV

LUMINAIRE ID PLAN
SC: 1"=30'-0"

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP 20-24R





KEY MAP
1"=200'

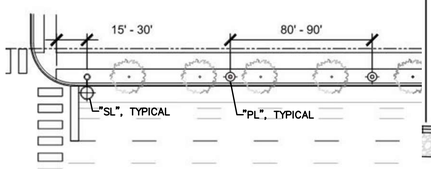
Schedule

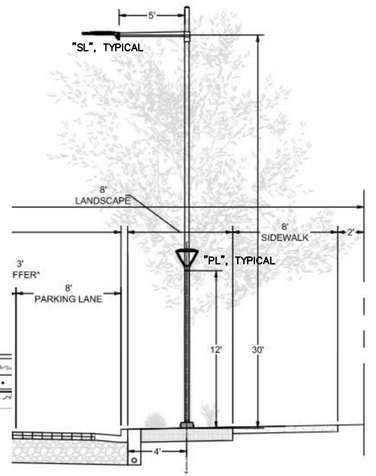
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	26	GARDCO Pureform	PPT 140L 650 WW-G2	12' POLE MOUNTED WALKWAY LIGHT	140 LEDs	1	AP 2063 100F 35K.ies	2519	1	30
	B	34	GARDCO Pureform	PBL 42 14L 100 WW-G2 5 120	42" PUREFORM LED BOLLARD	LED	1	AP 006L4 035F 35K.ies	538	1	6.1
	C	71	Lithonia Lighting	WST LED P2 30K VF MVOLT VG	WST LED, Performance package 2, 3000 K, visual comfort forward throw, MVOLT, vandal guard	LED	1	WST_LED_P2_30K_VF_MVOLT_VG.ies	2962	1	25
	D	79	Lithonia Lighting	OLWX1 LED 13W 40K DDB	13W 4000K LED WALL PACK	LED	1	OLWX1_LED_13W_40K_DDB.ies	1260	1	14
	E	87	LITON Lighting	WD2360BZ	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	LED	1	WD22360_P1_40K_120_DDB.ies	1034	1	31.0
	F	45	Lithonia Lighting	LDN4 35/05 LO4AR LD	4IN LDN, 3500K, 500LM, 80 CRI, CLEAR, MATTE DIFFUSE REFLECTOR	LED	1	LDN4_35_05_LO4AR_LD.ies	585	1	8.52
	P	9	Lithonia Lighting	DSX0 LED P2 40K T3M MVOLT HS	DSX0 LED P2 40K T3M MVOLT with houseside shield	LED	1	DSX0_LED_P2_40K_T3M_MVOLT_HS.ies	4728	1	49
	Q	182	AXIS Lighting	WBSLED-900-35 T3M MVOLT HS	WET BEAM DIRECT LED LUMINAIRE	LED	1	D900-80-35.ies	3600	1	40
	SL	5	Philips Gardco	P26 48L 400 WW-G2 SF 2 UNV TLRD7	PUREFORM LED 30' POLE W/EXTENSION PER XCEL AND LONE TREE STDS	LED	1		6287	1	44
	PL	25	Philips Gardco	PPT 140L 650 WW-G2 T3 5 UNV TLRD7	PUREFORM LED 12' POLE PER XCEL AND LONE TREE STDS	LED	1		2913	1	27

LUMINAIRE PLAN NOTES

1. ALL LUMINAIRES SHALL BE FULLY SHIELDED AND FULL CUT-OFF TO DIRECT LIGHT DOWNWARDS. NO EMITTED LIGHT SHALL BE PERMITTED ABOVE HORIZONTAL PLANE.
2. ALL LUMINAIRES SHALL BE REVIEWED FOR ACCEPTABILITY AND AESTHETICS WITH PROJECT REQUIREMENTS BY THE AUTHORITY HAVING JURISDICTION. LUMINAIRES INDICATED ARE PRELIMINARY BASIS OF DESIGN ONLY AND ARE SUBJECT TO CHANGE.
3. LUMINAIRE TYPES SL AND PL (STREET LIGHTS AND PEDESTRIAN LIGHTS) SHALL BE PER CITY OF LONE TREE RIDGEGATE DEVELOPMENT LIGHTING GUIDELINES. COORDINATE INSTALLATION TO COMPLY WITH STRATEGY 2 CONTINUOUS PEDESTRIAN LIGHTING WITH STREET LIGHTS AT INTERSECTIONS.
4. LOCATE TYPE SL AT INTERSECTIONS AND TYPE PL AT 80-90 FEET ON CENTER. TYPE PL LIGHTS SHALL BE AIMED AT SIDEWALK, TYPICAL. COORDINATE EXACT LOCATIONS OF ALL STREET AND PEDESTRIAN LUMINAIRES WITH XCEL, CITY OF LONE TREE AUTHORIZED PERSONNEL PRIOR TO ANY INSTALLATION.
5. PEDESTRIAN AND STREET LIGHTING WITHIN ROW TO BE INSTALLED AND MAINTAINED BY RRMD.

NOTE: PEDESTRIAN LIGHTS TO BE AIMED AT SIDEWALK





URBAN LOCAL - TYPE I
STRATEGY 2

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

NOT FOR REGULATORY APPROVAL, PERMITING OR CONSTRUCTION

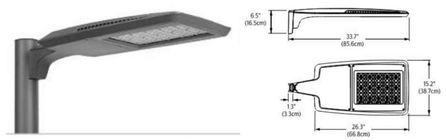
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KMH
CHECKED BY: DV

LUMINAIRE ID PLAN
SC: 1"=30'-0"

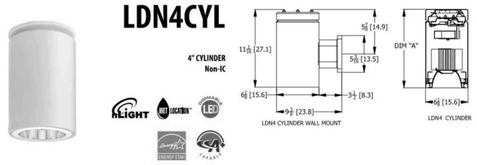
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP 20-24R

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	26	GARDCO Pureform	PPT 140L 650 WW-G2	12' POLE MOUNTED WALKWAY LIGHT	140 LEDs	1	AP 2063 100F 35K.ies	2519	1	30
	B	34	GARDCO Pureform	PBL 42 14L 100 WW-G2 5 120	42" PUREFORM LED BOLLARD	LED	1	AP 006L4 035F 35K.ies	538	1	6.1
	C	71	Lithonia Lighting	WST LED P2 30K VF MVOLT VG	WST LED, Performance package 2, 3000 K, visual comfort forward throw, MVOLT, vandal guard	LED	1	WST_LED_P 2_30K_VF_M VOLT_VG.ies	2962	1	25
	D	79	Lithonia Lighting	OLWX1 LED 13W 40K DDB	13W 4000K LED WALL PACK	LED	1	OLWX1_LED _13W_40K_ DDB.ies	1260	1	14
	E	87	LITON Lighting	WD2360BZ	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	LED	1	WD22360 _P1_40K_12 0_DDB.ies	1034	1	31.0
	F	45	Lithonia Lighting	LDN4 35/05 LO4AR LD	4IN LDN, 3500K, 500LM, 80 CRI, CLEAR, MATTE DIFFUSE REFLECTOR	LED	1	LDN4_35_05 _LO4AR_LD.i es	585	1	8.52
	P	9	Lithonia Lighting	DSX0 LED P2 40K T3M MVOLT HS	DSX0 LED P2 40K T3M MVOLT with houseside shield	LED	1	DSX0_LED_P 2_40K_T3M_ MVOLT_HS.i es	4728	1	49
	Q	182	AXIS Lighting	WBSLED-900-35 T3M MVOLT HS	WET BEAM DIRECT LED LUMINAIRE	LED	1	D900-80-35.ies	3600	1	40
	SL	5	Philips Gardco	P26 48L 400 WW-G2 SF 2 UNV TLRD7	PUREFORM LED 30' POLE W/EXTENSION PER XCEL AND LONE TREE STDS	LED	1		6287	1	44
	PL	25	Philips Gardco	PPT 140L 650 WW-G2 T3 5 UNV TLRD7	PUREFORM LED 12' POLE PER XCEL AND LONE TREE STDS	LED	1		2913	1	27

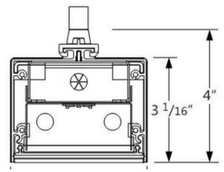


9 STREET LUMINAIRE - TYPE "SL"
MH= +30'-0" AFG PER RIDGEGATE DEVELOPMENT LIGHTING GUIDELINES

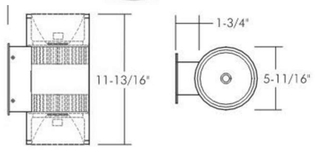
10 PEDESTRIAN LUMINAIRE - TYPE "PL"
MH= +12'-0" AFG PER RIDGEGATE DEVELOPMENT LIGHTING GUIDELINES



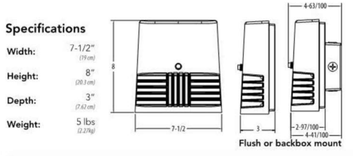
6 PERGOLA/CANOPY MOUNT LUMINAIRE
MH= VARIES (SEE PLAN) TYPE "F"



8 PARKING GARAGE (UPPER) LUMINAIRE
MH= +22'-6" AFG TYPE "Q"



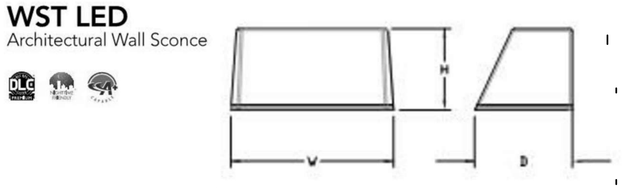
5 WALL MOUNT LUMINAIRE
MH= +7'-6" AFF TYPE "E"



4 WALL MOUNT LUMINAIRE
MH= VARIES (SEE PLAN) TYPE "D"

1 PEDESTRIAN LUMINAIRE
MH= 12'-0" AFG TYPE "A"

7 DRIVE AREA/PARKING AREA LUMINAIRE
MH= +22'-6" AFG TYPE "P"



3 WALL MOUNT LUMINAIRE
MH= VARIES (SEE PLAN) TYPE "C"

2 BOLLARD LUMINAIRE
MH= 3'-8" AFG TYPE "B"

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

NOT FOR REGULATORY APPROVAL, PERMITING OR CONSTRUCTION

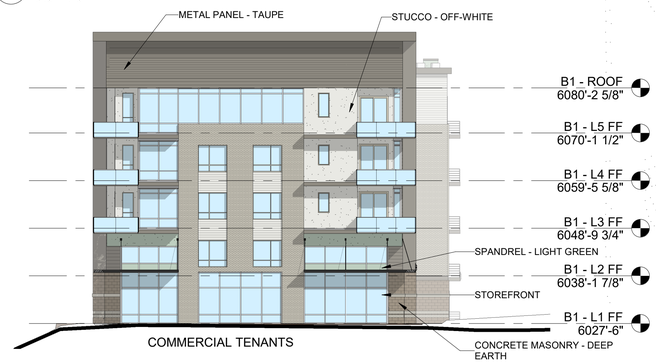
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: KMH
CHECKED BY: DV

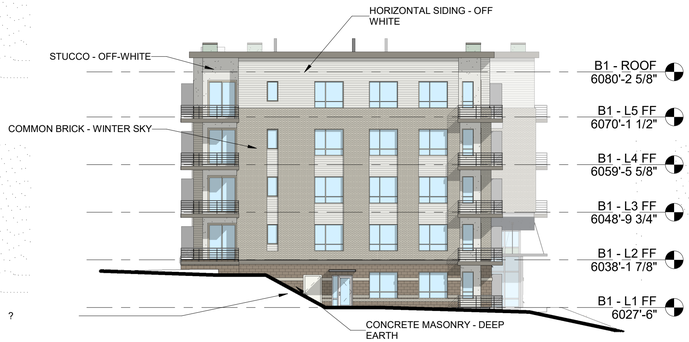
PHOTOMETRIC DETAILS

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

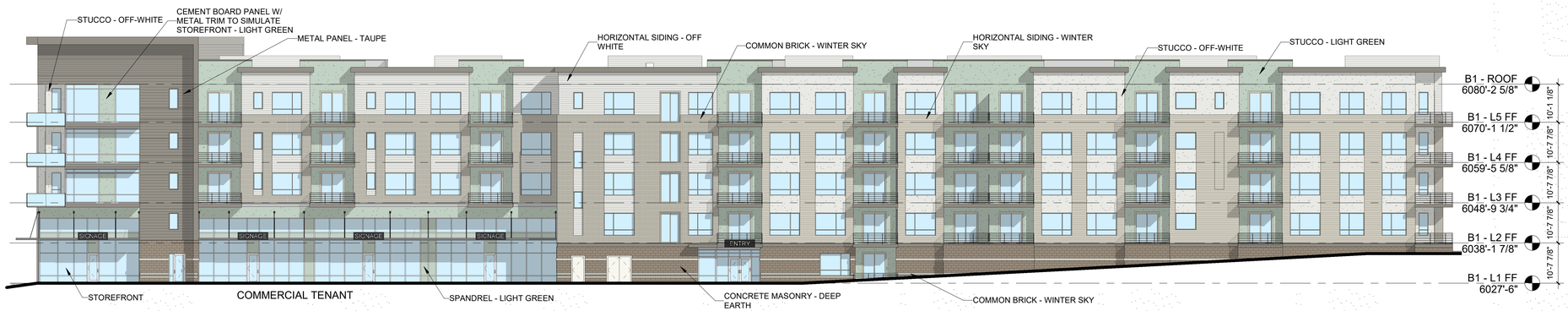
4 BUILDING 1 - EAST
1/16" = 1'-0"



3 BUILDING 1 - NORTH
1/16" = 1'-0"



2 BUILDING 1 - SOUTH
1/16" = 1'-0"



1 BUILDING 1 - WEST
1/16" = 1'-0"

BUILDING MATERIALS

COMMON BRICK
WINTER SKY

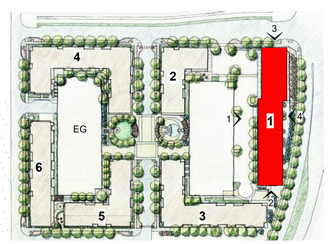
CONCRETE MASONRY
DEEP EARTH W/ WINTER SKY BAND

METAL PANEL/FLASHING
TAUPE

STUCCO
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE | DEEP EARTH | OFF-WHITE | WINTER SKY

HORIZONTAL SIDING
WINTER SKY | OFF-WHITE

SPANDREL PANEL
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE



KEY PLAN

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

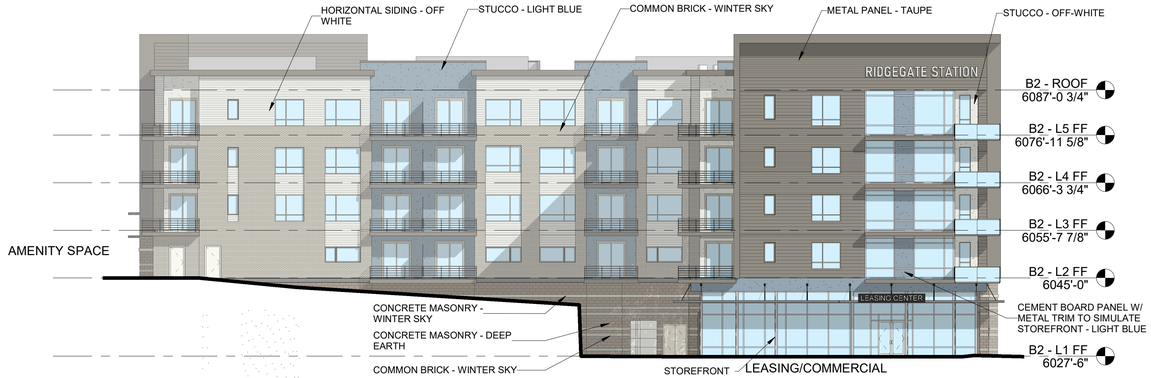
19082

REVISION:

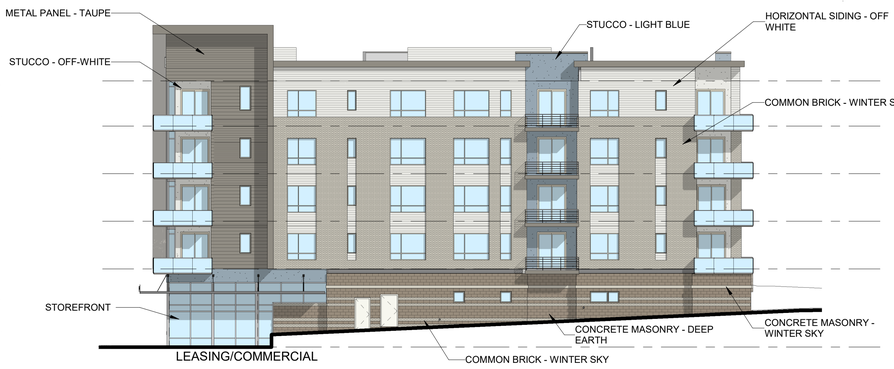
SIP SET
DATE: 07/31/2020
DRAWN BY: MH
CHECKED BY: ND

BUILDING 1
ELEVATIONS

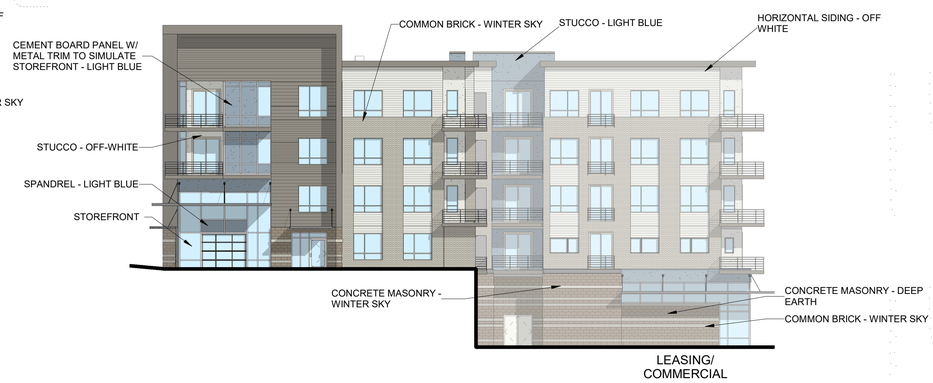
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



4 BUILDING 2 - EAST
1/16" = 1'-0"



3 BUILDING 2 - NORTH
1/16" = 1'-0"



2 BUILDING 2 - SOUTH
1/16" = 1'-0"

1 BUILDING 2 - WEST
1/16" = 1'-0"

BUILDING MATERIALS

COMMON BRICK
WINTER SKY

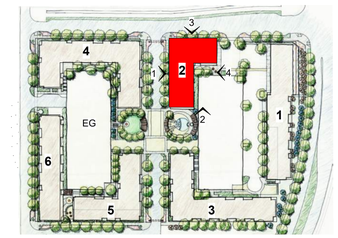
CONCRETE MASONRY
DEEP EARTH W/ WINTER SKY BAND

METAL PANEL/FLASHING
TAUPE

STUCCO
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE | DEEP EARTH | OFF-WHITE | WINTER SKY

HORIZONTAL SIDING
WINTER SKY | OFF-WHITE

SPANDREL PANEL
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE



KEY PLAN

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

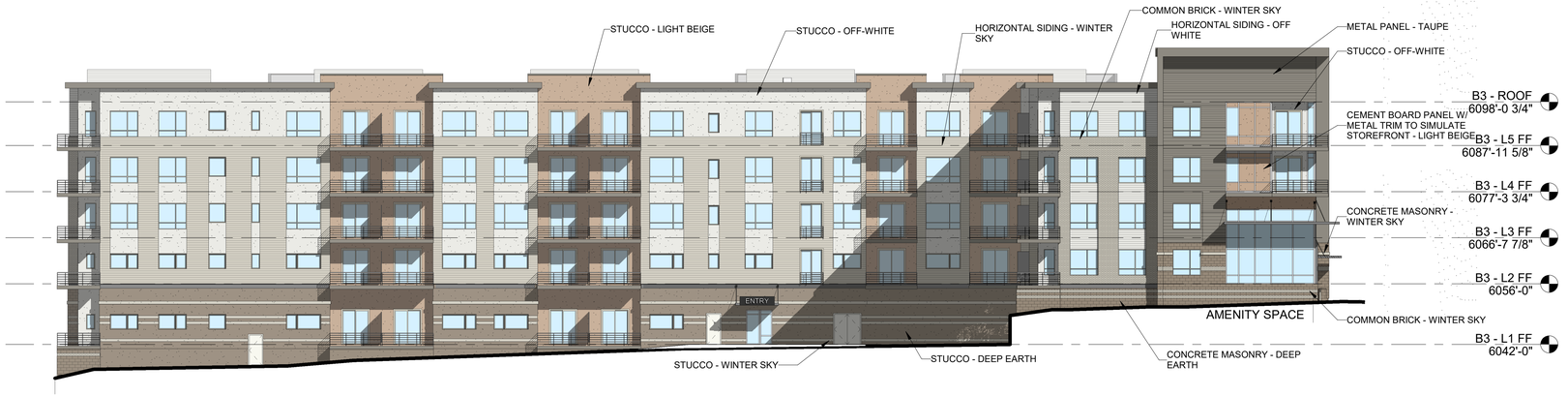
REVISION:

SIP SET

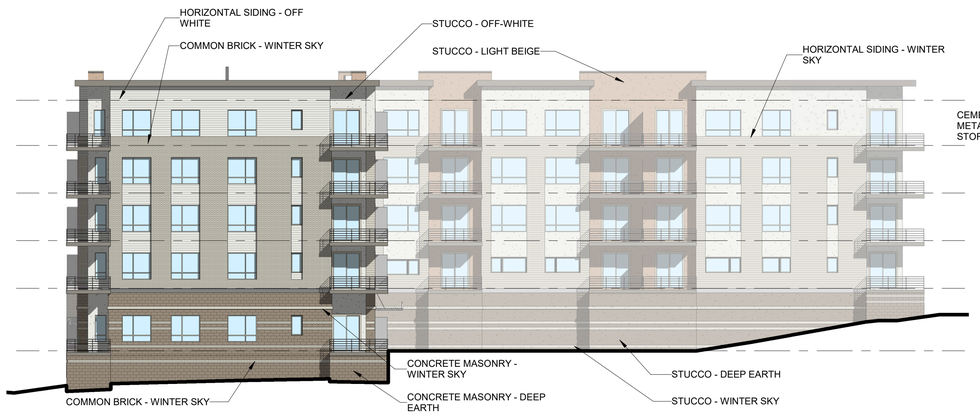
DATE:	07/31/2020
DRAWN BY:	MH
CHECKED BY:	ND

BUILDING 2 ELEVATIONS

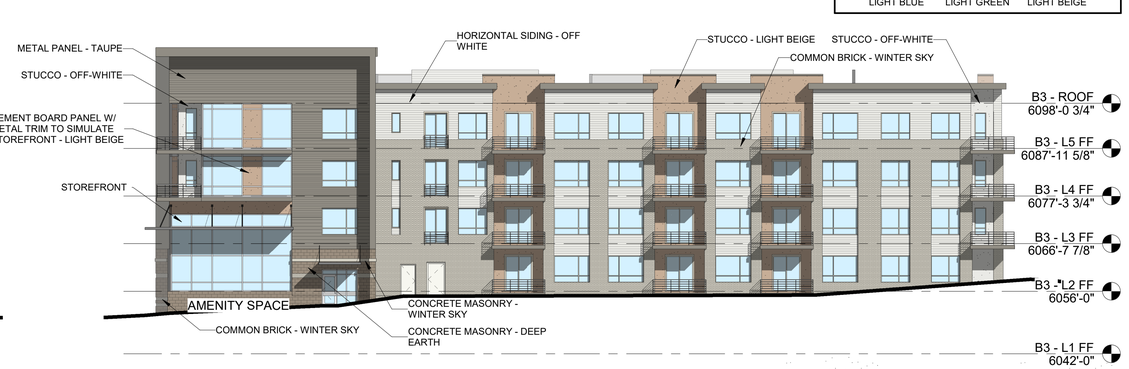
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



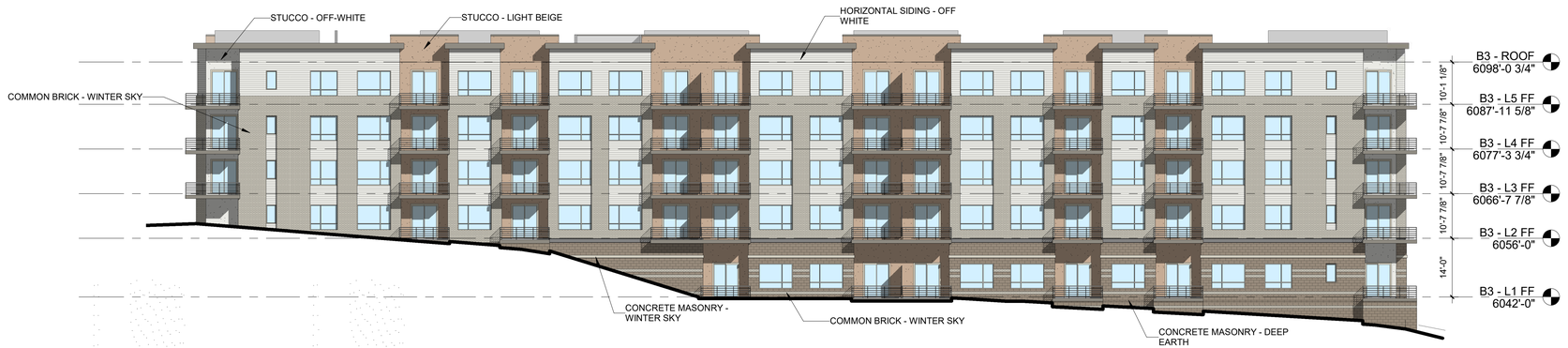
4 BUILDING 3 - NORTH
1/16" = 1'-0"



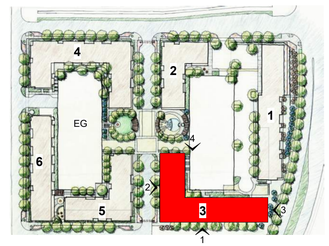
3 BUILDING 3 - EAST
1/16" = 1'-0"



2 BUILDING 3 - WEST
1/16" = 1'-0"



1 BUILDING 3 - SOUTH
1/16" = 1'-0"



KEY PLAN

BUILDING MATERIALS

COMMON BRICK
WINTER SKY

CONCRETE MASONRY
DEEP EARTH W/ WINTER SKY BAND

METAL PANEL/FLASHING
TAUPE

STUCCO
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE | DEEP EARTH | OFF-WHITE | WINTER SKY

HORIZONTAL SIDING
WINTER SKY | OFF-WHITE

SPANDREL PANEL
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

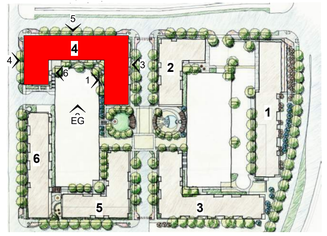
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: MH
CHECKED BY: ND

BUILDING 3
ELEVATIONS

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

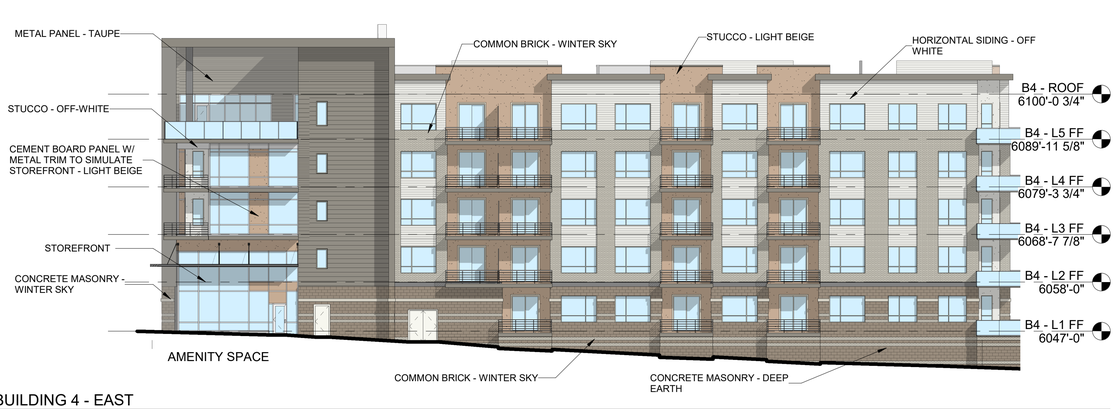
6 BUILDING 4 - EAST INTERIOR COURT
1/16" = 1'-0"



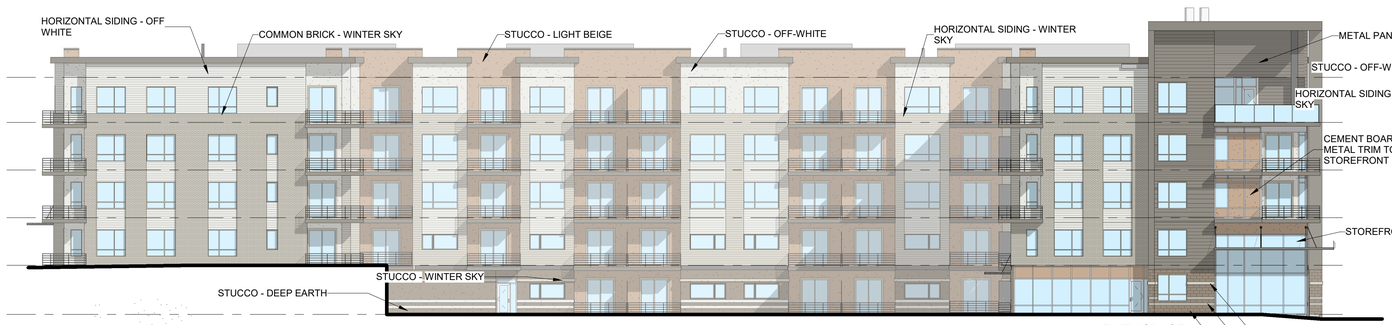
KEY PLAN

5 BUILDING 4 - NORTH
1/16" = 1'-0"

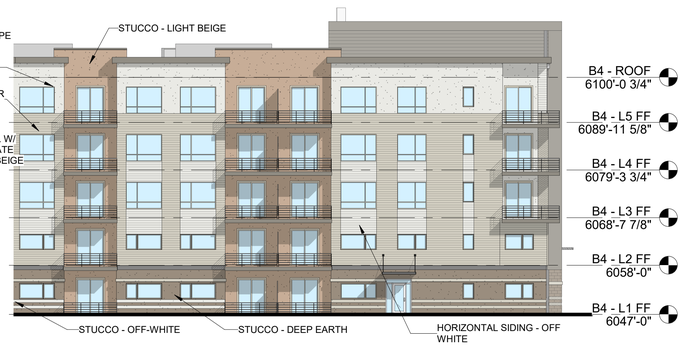
4 BUILDING 4 - WEST
1/16" = 1'-0"



3 BUILDING 4 - EAST
1/16" = 1'-0"



2 BUILDING 4 - SOUTH
1/16" = 1'-0"



1 BUILDING 4 - WEST INTERIOR COURT
1/16" = 1'-0"

BUILDING MATERIALS

COMMON BRICK
WINTER SKY

CONCRETE MASONRY
DEEP EARTH W/ WINTER SKY BAND

METAL PANEL/FLASHING
TAUPE

STUCCO
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE | DEEP EARTH | OFF-WHITE | WINTER SKY

HORIZONTAL SIDING
WINTER SKY | OFF-WHITE

SPANDREL PANEL
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

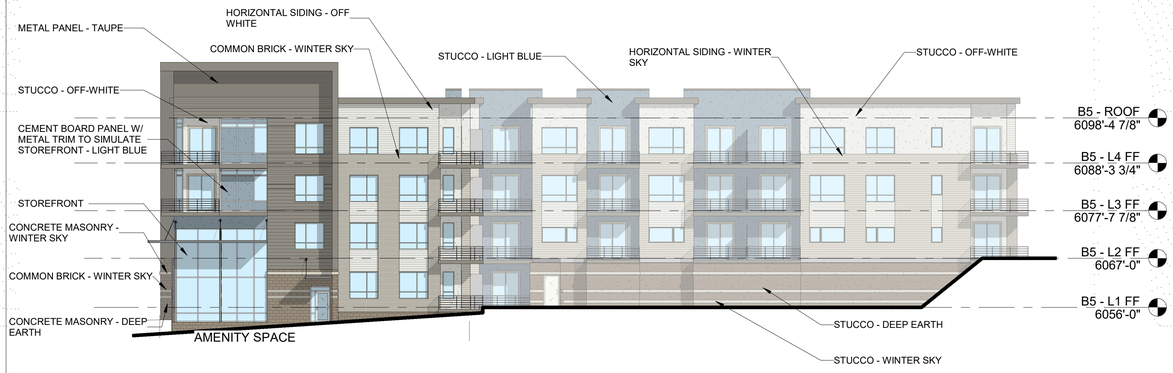
19082

REVISION:

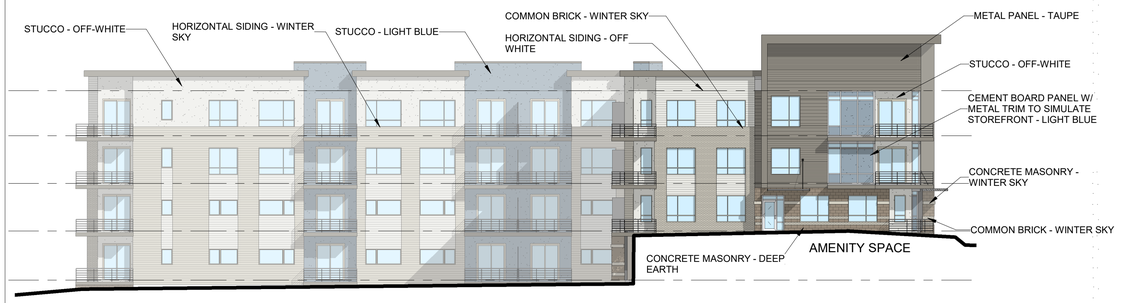
SIP SET
DATE: 07/31/2020
DRAWN BY: MH
CHECKED BY: ND

BUILDING 4 ELEVATIONS

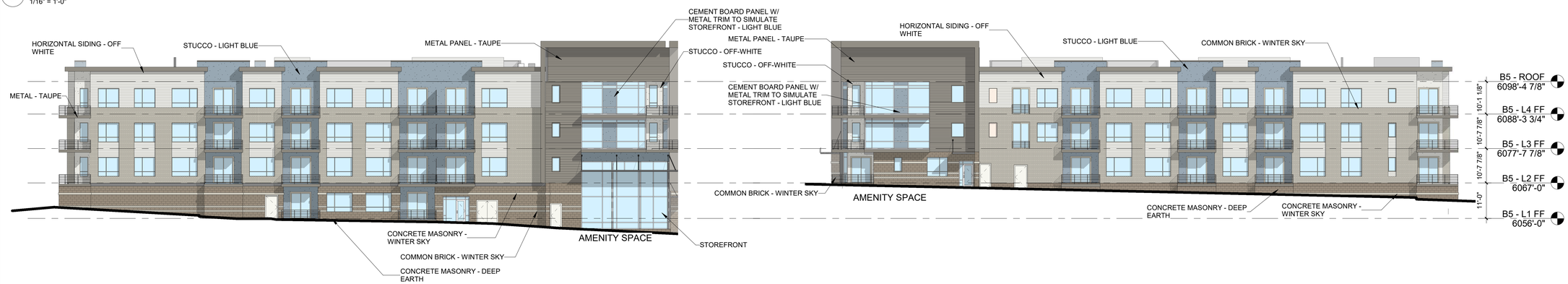
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



4 BUILDING 5 - NORTH
1/16" = 1'-0"



3 BUILDING 5 - WEST
1/16" = 1'-0"



2 BUILDING 5 - EAST
1/16" = 1'-0"

1 BUILDING 5 - SOUTH
1/16" = 1'-0"

BUILDING MATERIALS

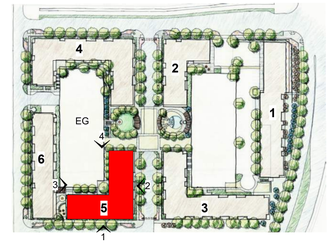
COMMON BRICK — WINTER SKY
CONCRETE MASONRY — DEEP EARTH W/ WINTER SKY BAND

METAL PANEL/FLASHING — TAUPE

STUCCO — LIGHT BLUE, LIGHT GREEN, LIGHT BEIGE, DEEP EARTH, OFF-WHITE, WINTER SKY

HORIZONTAL SIDING — WINTER SKY, OFF-WHITE

SPANDREL PANEL — LIGHT BLUE, LIGHT GREEN, LIGHT BEIGE



KEY PLAN

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: VM
CHECKED BY: ND

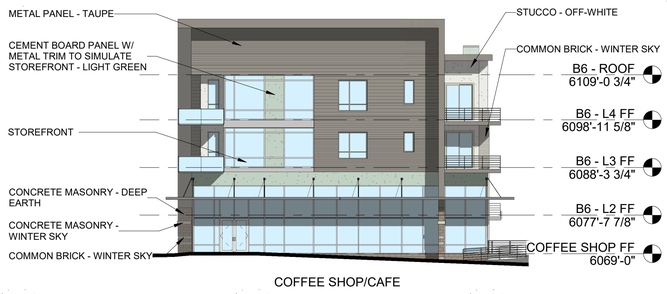
BUILDING 5
ELEVATIONS

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

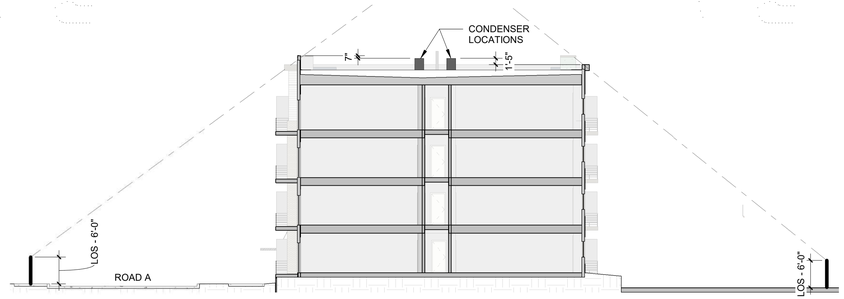
5 BUILDING 6 - EAST
1/16" = 1'-0"

4 BUILDING 6 - WEST
1/16" = 1'-0"

3 BUILDING 6 - NORTH
1/16" = 1'-0"



2 BUILDING 6 - SOUTH
1/16" = 1'-0"



1 BUILDING 6 SECTION - CONDENSER SCREENING
1/16" = 1'-0"

BUILDING MATERIALS

COMMON BRICK
WINTER SKY

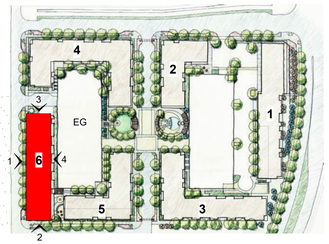
CONCRETE MASONRY
DEEP EARTH W/ WINTER SKY BAND

METAL PANEL/FLASHING
TAUPE

STUCCO
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE | DEEP EARTH | OFF-WHITE | WINTER SKY

HORIZONTAL SIDING
WINTER SKY | OFF-WHITE

SPANDREL PANEL
LIGHT BLUE | LIGHT GREEN | LIGHT BEIGE



KEY PLAN

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

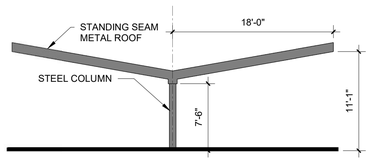
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: VM
CHECKED BY: ND

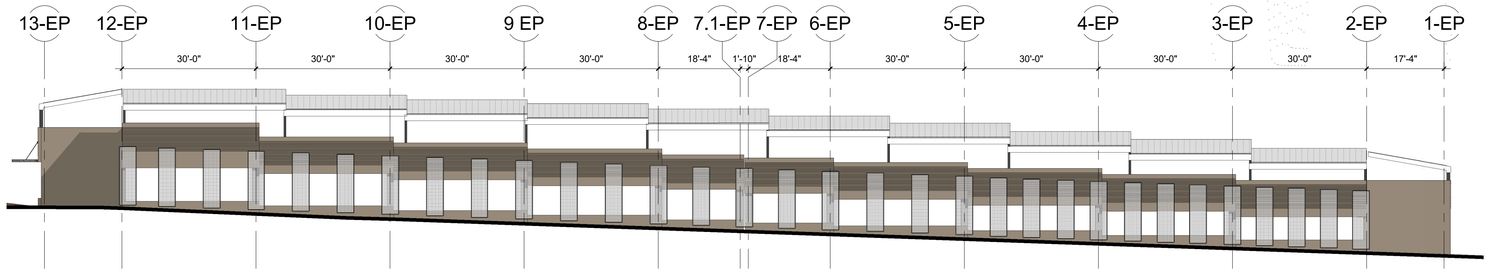
BUILDING 6 ELEVATIONS

51 OF 55

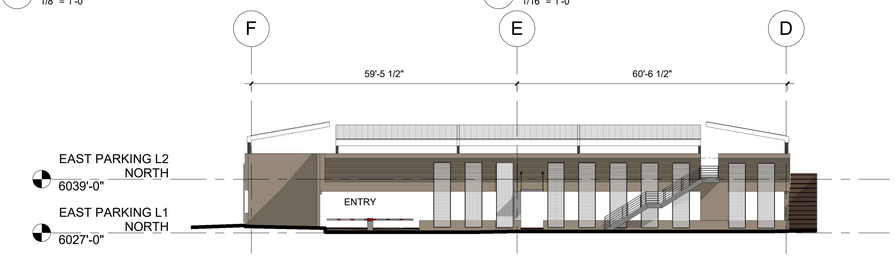
RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



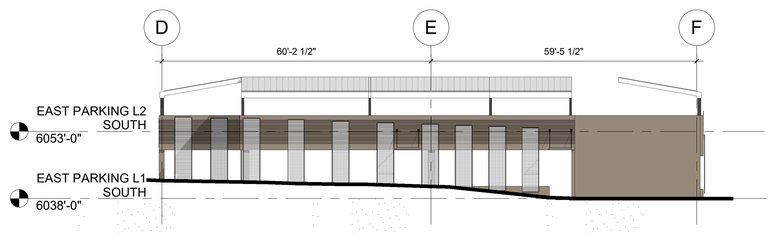
7 CANOPY ELEVATION
1/8" = 1'-0"



6 EAST GARAGE - EAST ELEVATION
1/16" = 1'-0"

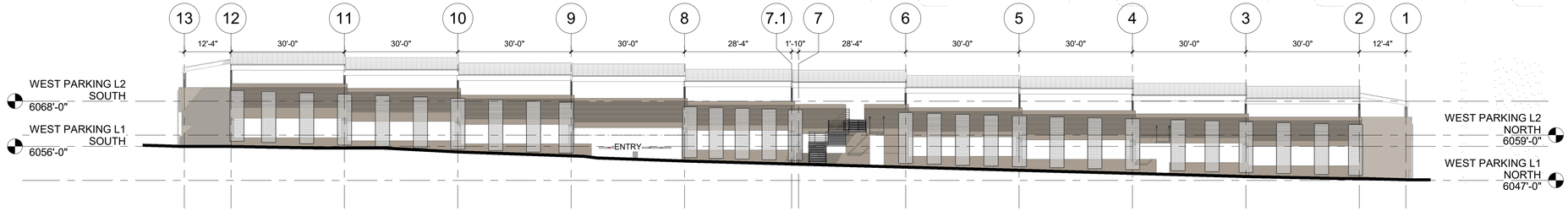


5 EAST ELEVATION - NORTH ELEVATION
1/16" = 1'-0"

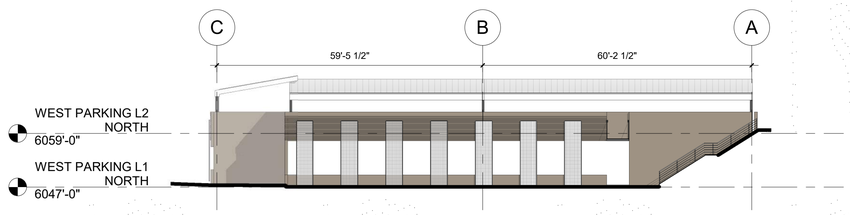


4 EAST GARAGE - SOUTH ELEVATION
1/16" = 1'-0"

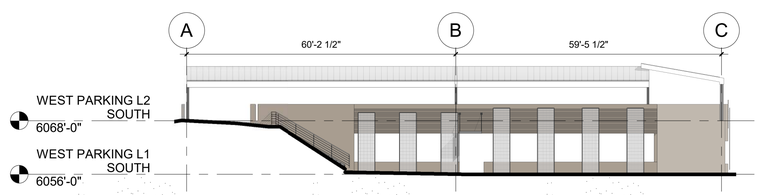
KEY PLAN



3 WEST GARAGE - EAST ELEVATION
1/16" = 1'-0"



2 WEST GARAGE - NORTH ELEVATION
1/16" = 1'-0"



1 WEST GARAGE - SOUTH ELEVATION
1/16" = 1'-0"

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: VM
CHECKED BY: ND

GARAGE ELEVATIONS

52 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

2 PRIVATE DRIVE ENTRYWAY

KEY PLAN

3 BUILDING 2 POOL FROM PRIVATE DRIVE

1 BUILDING 2/LEASING OFFICE

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

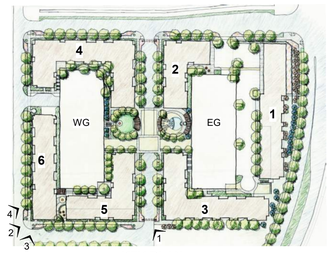
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: VM
CHECKED BY: ND

BUILDING RENDERS

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



KEY PLAN


4 ENLARGED VIEW OF MATERIAL TRANSITIONS


3 BUILDING 6 CAFE FROM RTD STATION


2 BUILDING 6 WEST ELEVATION


1 BUILDING 5 SOUTH ELEVATION

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

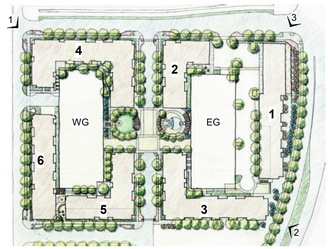
REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: VM
CHECKED BY: ND

BUILDING RENDERS

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

2 BUILDING 3 EAST ELEVATION



KEY PLAN

3 BUILDING 1 AXON
1 1/2" = 1'-0"

1 BUILDING 4 AXON

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET

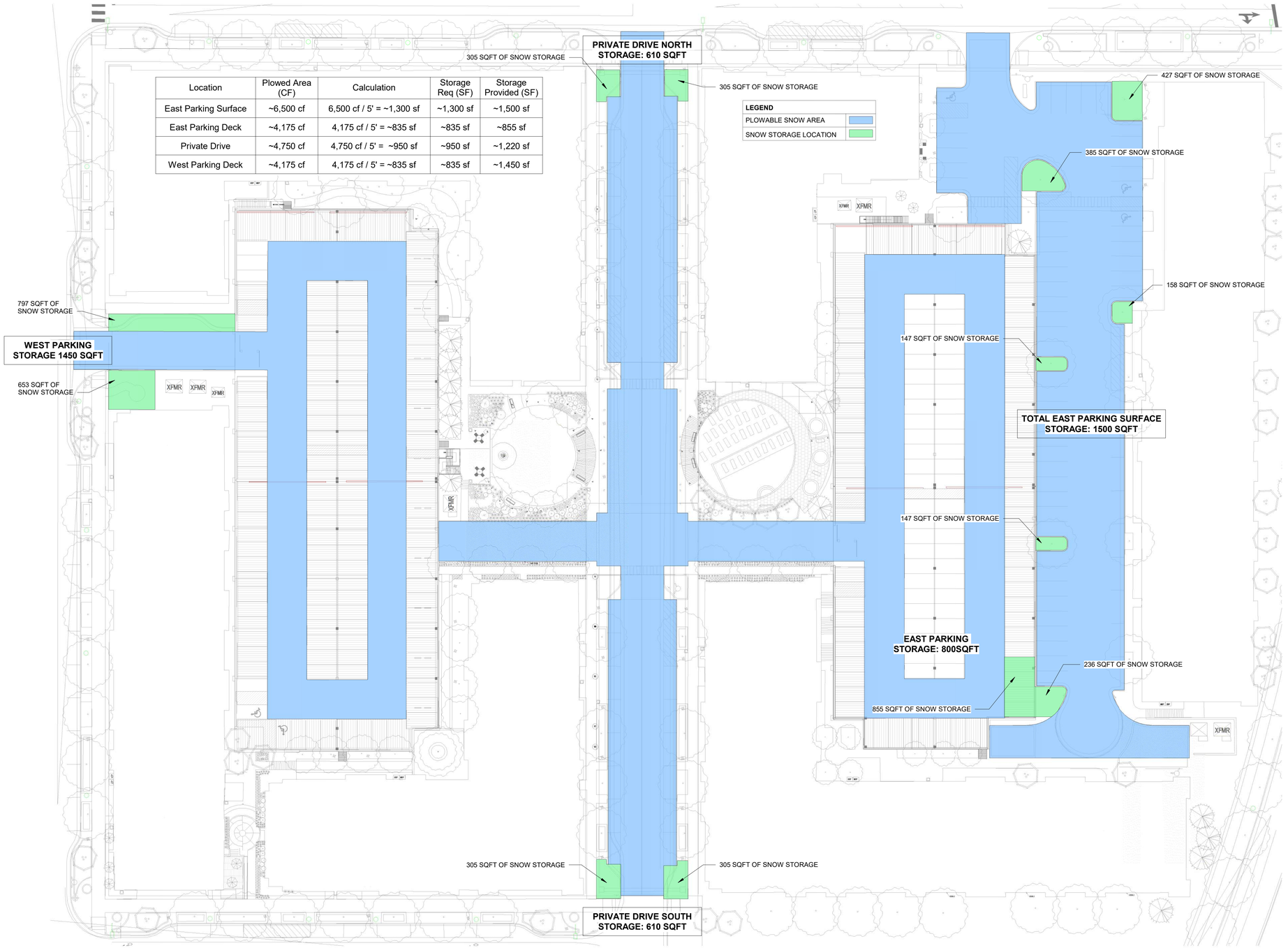
DATE:	07/31/2020
DRAWN BY:	VM
CHECKED BY:	ND

BUILDING RENDERS

55 OF 55

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-1 AND 2-A-2,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R

Location	Plowed Area (CF)	Calculation	Storage Req (SF)	Storage Provided (SF)
East Parking Surface	~6,500 cf	6,500 cf / 5' = ~1,300 sf	~1,300 sf	~1,500 sf
East Parking Deck	~4,175 cf	4,175 cf / 5' = ~835 sf	~835 sf	~855 sf
Private Drive	~4,750 cf	4,750 cf / 5' = ~950 sf	~950 sf	~1,220 sf
West Parking Deck	~4,175 cf	4,175 cf / 5' = ~835 sf	~835 sf	~1,450 sf



1 SNOW STORAGE EXHIBIT
1" = 30'-0"

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

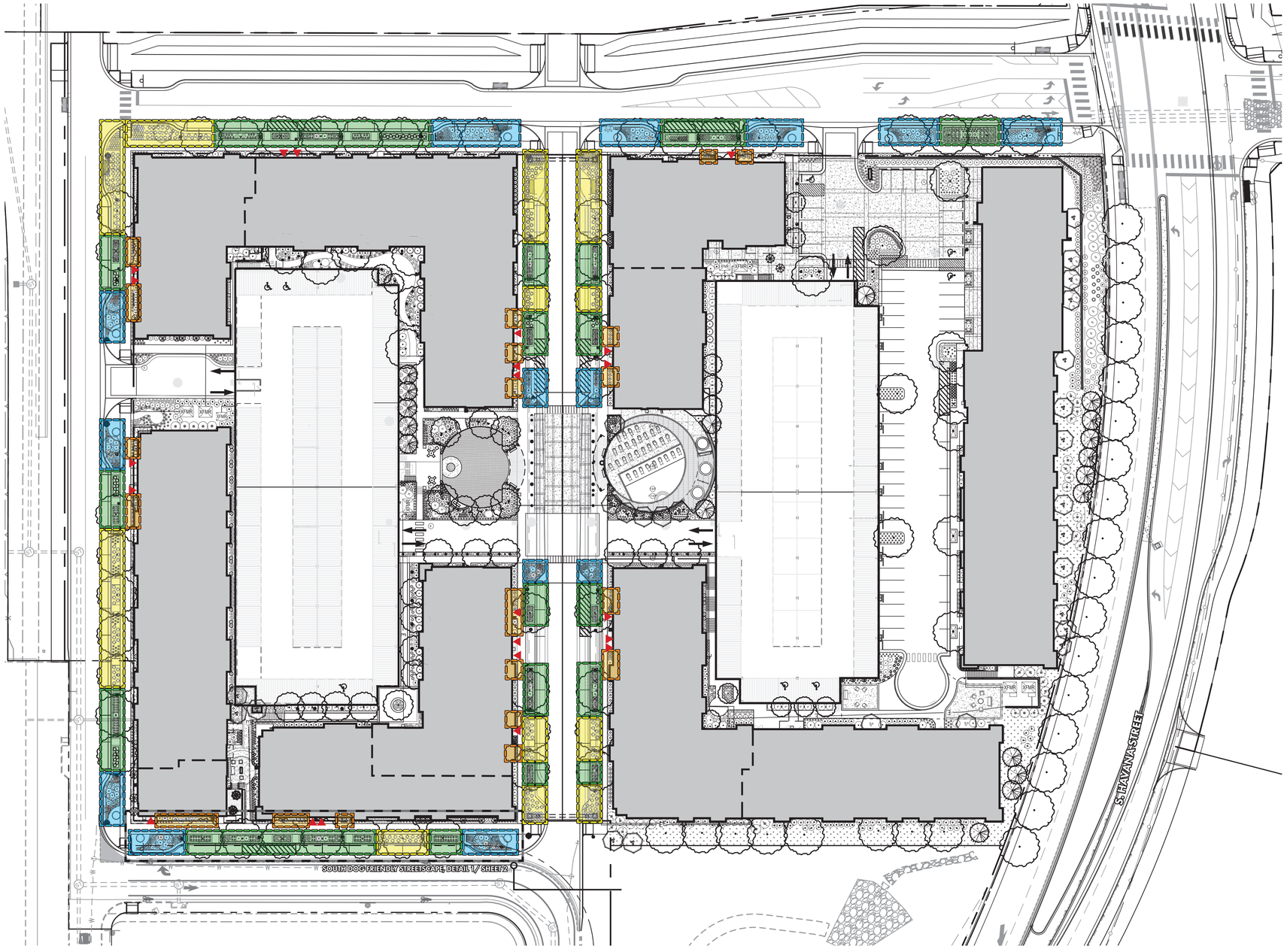
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: MH
CHECKED BY: ND

SNOW STORAGE EXHIBIT

EX01



1 OVERALL DOG FRIENDLY STREETSCAPE PLAN
Scale: 1"= 30'-0"

0 15 30 60
SCALE: 1" = 30'-0"

NORTH

LEGEND

RAISED PLANTER

The raised planters on the streetscape are typically found on the corners at street intersections. These planters feature an 18" HT sand-finished concrete planter wall with a trench slot drain running along the face to wash off any dog urine. The 18" HT. wall also acts as a barrier to prevent any dog or foot traffic from accessing the inner planting area.

- 18" HT. SAND-FINISHED CONCRETE PLANTER WALL
- ADJACENT 4" HT. CONCRETE CURB
- BRICK SLOT TRENCH DRAIN
- PROPOSED TREES
- DOG FRIENDLY SHRUB AND PERENNIAL PLANTINGS
- MULCH LAYER
- CIRCULAR STREET PLANTER

CRUSHER FINE PLANTER WITH TREE GUARD

These crusher fine planters with tree guard are going to be found closer to the egress/ ingress to the buildings. The planters contains a 1'-4" crusher fine boarder to give dogs a sizable area for dog's to go to the bathroom. On the edge of the crusher fine area, the plants are protected from animal and human foot traffic with a tree guard fencing.

- 1'-4" WIDE CRUSHER FINE BORDER
- PLANTER GUARD
- PROPOSED TREE
- DOG FRIENDLY SHRUB AND PERENNIAL PLANTINGS
- MULCH LAYER

MULCH PLANTER

The mulch planters contain salt tolerant plantings and are placed furthest from the ingress/ egress of the buildings. The salt tolerant plants will be more suitable for the salinity of dog urine.

- MULCH LAYER
- SINGLE STAND GRASS PLANTING AND DOG FRIENDLY SHRUBS/ PERENNIALS
- PROPOSED TREE

FRONT BUILDING PLANTER

The front building planters contain salt tolerant plantings and are located next to the ingress/ egress of the buildings. The salt tolerable plants will be more suitable for the salinity of dog urine.

- MULCH LAYER
- DOG FRIENDLY SHRUBS, PERENNIALS, AND GRASSES

INGRESS/ EGRESS

Consilium Design
LAND PLANNING AND
LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

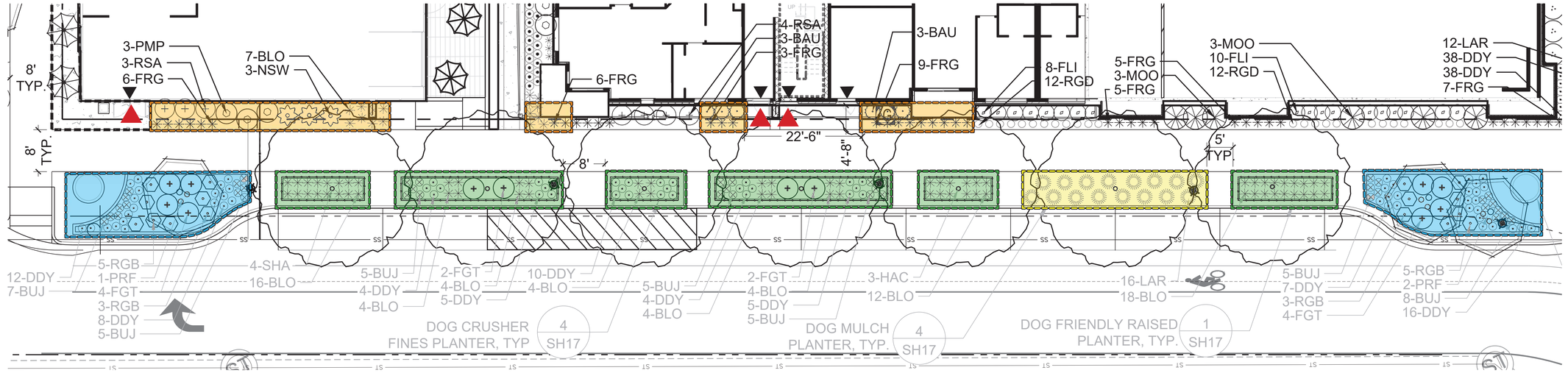
RIDGEGATE STATION
MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO
19082

REVISION:

SIP SET
DATE: 07/31/2020
DRAWN BY: LH
CHECKED BY: JH

OVERALL SITE STREETSCAPE PLAN

EX02



1 SOUTH DOG FRIENDLY STREETSCAPE PLAN

Scale: 1"= 10'-0"

0 5 10 20

SCALE: 1" = 10'-0"

NORTH

RAISED PLANTER PLANTINGS

SHA- SHADEMASTER HONEYLOCUST

RGB- ROSY GLOW BARBERRY

PRF- PRAIRIE FIRE CRABAPPLE

FGT- FORSYTHIA GOLDTIDE

BUJ- BURGUNDY CARPET BUGLE

DDY- STELLA D'ORO DAYLILLY

CRUSHER FINE PLANTER WITH TREE GUARD

SHA- SHADEMASTER HONEYLOCUST

BLO- BLONDE AMBITION BLUE GRAMA

BUJ- BURGUNDY CARPET BUGLE

DDY- STELLA D'ORO DAYLILLY

CRUSHER FINE PLANTER WITH TREE GUARD

SHA- SHADEMASTER HONEYLOCUST

LAR- BLUE DUNE LYME GRASS

FRONT BUILDING PLANTERS

NSW- SUMMERWINE NINEBARK

BAU- BLUE ARROW JUNIPER

PMP- PALOUSE MUGO PINE

RSA- RUSSIAN SAGE

FRG- FEATHER REED GRASS

Consilium Design
LAND PLANNING AND LANDSCAPE ARCHITECTURE
2755 SOUTH LOCUST ST,
SUITE 236
DENVER, CO 80222
TEL 303.224.9520
FAX 303.224.9524
www.consiliumdesign.com

Contact:
Julie Hendricksen
jhendricksen@consiliumdesign.com
303-224-9520

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET

DATE:	07/31/2020
DRAWN BY:	LH
CHECKED BY:	JH

SOUTH STREETSCAPE PLAN

EX03

FELSBURG HOLT & ULLEVIG
connecting & enhancing communities

July 31, 2020

Mr. Chris Winchester
Vice President of Development
Regency Residential Partners, LLC
8390 E. Crescent Parkway, Suite 650
Greenwood Village, CO 80111

RE: RidgeGate East Filing No. 1, Lots 2A-1 and 2A-2
FHU Reference Number 120318-01

Dear Mr. Winchester:

Felsburg Holt & Ullevig (FHU) has evaluated several traffic matters related to the development of a mixed-use site in Lone Tree, Colorado, specifically in the RidgeGate East area. The project site is directly along the north side of the existing RidgeGate Light Rail Transit (LRT) station, which is a relatively new station, but one that will eventually attract several mixed-use, Transit Oriented Development (TOD) sites within close proximity.

As you know, FHU has been assisting the master developer for all of RidgeGate East for several years and last fall we completed an effort related to TOD development adjacent to the LRT station and those endeavors support information contained in this letter.

We have reviewed the comments provided by the City of Lone Tree (dated June 10, 2020) and we both had a conversation with their staff to clarify those comments. As such, I believe the information contained in this letter meets with the City's expectations. To that end, this letter contains information on:

- A description of the project site and the proposed land uses,
- Estimates of vehicle-trips associated with the proposed site,
- A summary of access and site circulation, and
- An evaluation of Road C laneage.

Following is more information on each of these report elements.

LAND USE DESCRIPTION

RidgeGate Station is located in the southwest quadrant of the Havana Street/Road C intersection directly adjacent to Rail Way and the north side of the RidgeGate LRT station parking garage (see **Figure 1**). As a result, the new mixed-use project will provide very convenient access for residents and business patrons to/from the LRT station. As such, RidgeGate Station fits the definition of a true TOD development.

Specific RidgeGate Station land uses will include six buildings of four or five stories that will house 540 multi-family residential dwelling units along with about 10,000 square feet (sf) for service-based retail uses. A potential food and beverage retail user will be strategically located in the southwest corner of the building closest to the LRT station, while the remaining retail uses will be housed in the northeast corner of the site adjacent to Havana Street and Road C.

NORTH

FELSBURG HOLT & ULLEVIG

FIGURE 1

Vicinity Map

RidgeGate East Filing 1 20-318-01 7/30/20

TRIP GENERATION ESTIMATES

The land uses and densities identified in the previous section were used to estimate the number of vehicle-trips that would enter or leave the project site on a daily and peak hour basis. Information contained in the Institute of Transportation Engineers' publication *Trip Generation* (10th edition) was used to make these predictions. Of note, the 10th edition of this document includes categories that recognize the relationship between residential dwelling units and retail uses in their Mid-Rise and High-Rise Residential with 1st-Floor Commercial trip generation categories and the setting for these sites include suburban areas.

While it is recognized that there is limited data for these building types, especially in suburban areas where the combination of residential units and 1st-floor retail are a relatively new concept, it does recognize their relationship for the interaction of these uses and for a reduction of vehicle-trips when compared to when these land uses are evaluated separately.

The close proximity of RidgeGate Station to LRT will be an attractive factor for residents. Many residents could choose to live at this site due to the LRT access which in itself reduces the overall number of vehicle-trips entering and exiting the site. When coupled with retail opportunities and other amenities, vehicle-trips are reduced even further. Data contained in *Trip Generation* implies that this land use type will generate about 60%-65% of what a mid-rise multi-family building would normally generate.

Considering these factors, **Table 1** includes the estimates of vehicle-trips for this site.

Table 1. Trip Generation Estimates

Land Use	Unit	Size	Daily	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Mid-Rise Residential with 1st-floor Commercial	DU	540	1,858	45	117	162	136	59	195

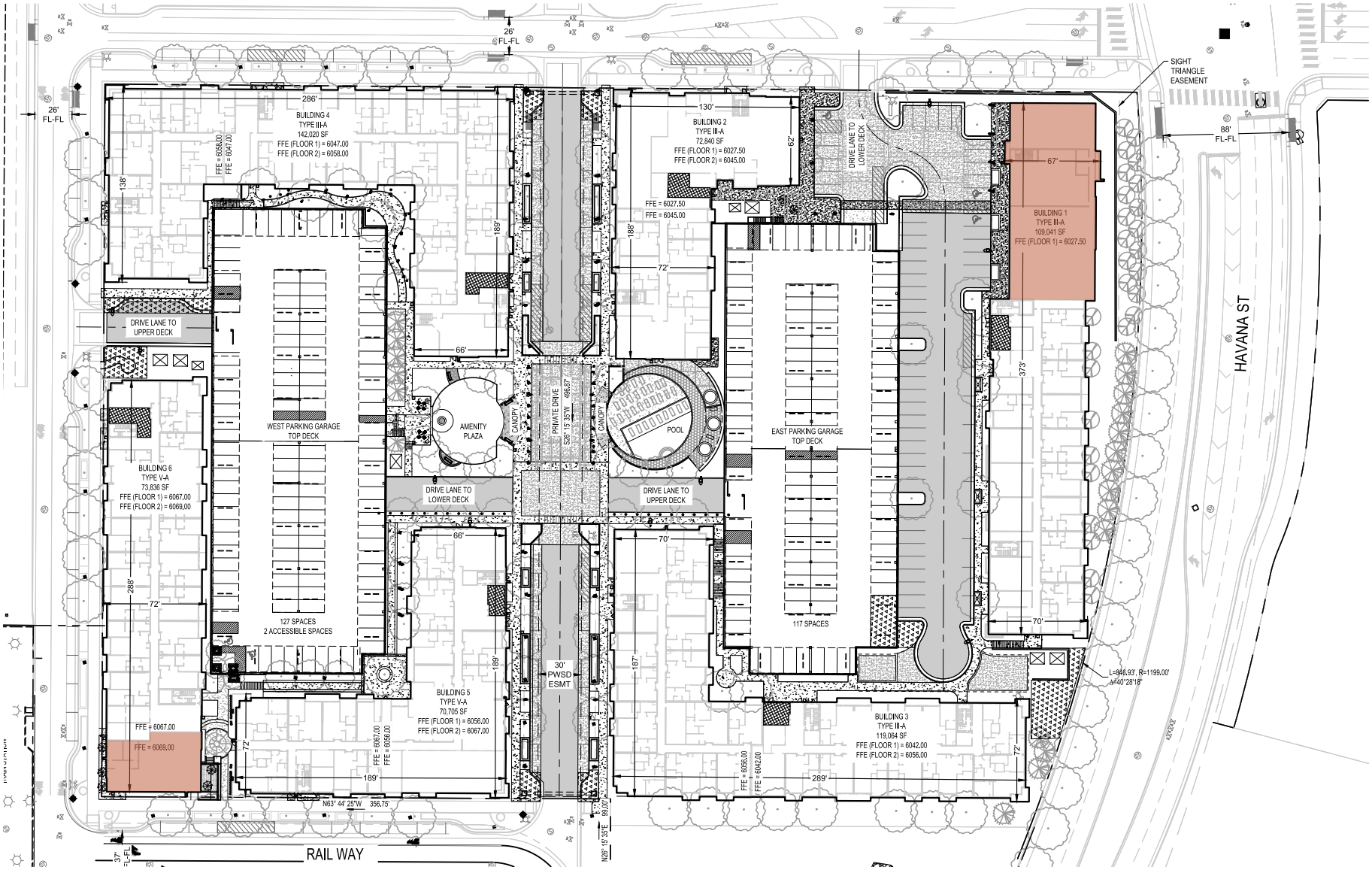
As can be seen in this table, peak hour trip generation is below 200 vehicles per hour (vph) for either hour which is considered a reasonable number of vehicle-trips to manage. For example, the highest level of inbound or outbound movements is 136 in the PM peak hour which equates to less than three vehicles per minute during the highest hour of vehicle activity.

ACCESS AND SITE CIRCULATION

Figure 2 is a representation of the RidgeGate Station site plan. Vehicular access for the site is available via two routes: 1) along Road C which is adjacent to the north side of the project, and 2) along Rail Way which is one of the two LRT parking structure access routes. Both pathways provide access to/from Havana Street for movements towards the north to RidgeGate Parkway and towards the south towards Castle Pines Parkway.

Several means of access to/from the land use parking areas are available and each access is planned for all vehicle movements – two along Road C, one along Rail Way, and one along an unnamed street on the west side of the project site. When considering the projected traffic volumes in the previous section of this letter, if motorists are somewhat evenly distributed at each access point, a maximum of 34 vph will use any one access during the peak hours of a normal weekday which is about one vehicle every two minutes on average.

Relative to access for the retail businesses, it is projected that customer activity for the retail space in the southwest corner of the site will be related to patrons that live at RidgeGate Station or ones that have already parked in the LRT parking garage and are visiting this space on their way to/from the LRT station. Some on-street parking spaces are also available. For the retail businesses in the northeast corner of the site, a portion of the parking spaces will be allocated for these patrons.



LEGEND

= Retail Space

NORTH

FELSBURG HOLT & ULLEVIG

FIGURE 2

RidgeGate Station Site Plan

RidgeGate East Filing I 20-318-01 7/30/20

ROAD C LANEAGE

Eastbound Laneage at Havana Street – The City of Lone Tree specifically requested that an evaluation of the Havana Street/Road C intersection to answer a particular question – is a 2nd eastbound left turn lane on Road C needed as part of this project or can it be postponed until a later timeframe? Part of this inquiry is related to the widening of Havana Street at this intersection, i.e., if a second eastbound left turn lane is needed with this project, then two acceptance lanes on northbound Havana Street would also be required.

To understand this issue, an operational analysis was conducted for the AM peak hour when the highest level of outbound motorists would occur on a typical weekday. The methodologies of the *Highway Capacity Manual* were used to evaluate this situation. As a conservative approach, all inbound and outbound vehicle movements in the AM peak hour were assigned to this intersection even though an access route is available along Rail Way.

The result of this analysis finds that only a single eastbound left turn lane is needed with the development of RidgeGate Station. In fact, the vehicle queuing analysis indicates that only one left turn or right turn vehicle will likely be stopped and waiting to complete one of these movements.

Westbound Left Turn at Site Access – The City also inquired about the left turn lane on Road C that provides access to the residential units and also to the retail space in the northeast corner of the project. As we understand it, there are several advantages related to traffic circulation to have this left turn lane:

- The left turn lane provides easier access into the site for fire and life safety vehicles and it provides the only access route to the west side of Building 1.
- The majority of the retail space within the community will be accessed from this turn lane. It is important to prospective retail tenants, and more importantly their customers, to have easy access into the area for a quick and convenient shopping experience in order to ensure the retail space is successful.
- The RidgeGate Station leasing center will be accessed by prospective residents from this turn lane. In the same vein as the retail customers, future residents will appreciate the safety and convenience afforded by this lane. Since these future residents will most likely be unfamiliar with the area, the ease of use offered by the dedicated left turn lane will alleviate unwanted U-turns or other questionable driving maneuvers, into the leasing area.
- The lower parking deck of the eastern phase of the project will only be accessed via this site entry point. As such, the additional queuing space allowed by the dedicated left turn lane will assist existing residents when accessing RidgeGate Station.

CONCLUSIONS

RidgeGate Station can be a cohesive part of the overall TOD development next to the RTD LRT station. Its land use proposal fits with the types of land uses that are specifically meant to develop next to mass transit. The project will have several access routes and vehicle-trips are projected to be at such a level that access to/from Havana Street will function well during peak hour conditions.

Specific to City of Lone Tree questions, a second eastbound left turn lane is not required at this time but will eventually be needed as other adjacent development occurs that adds more traffic to eastbound movements. Additionally, the westbound left turn lane on Road C into RidgeGate Station will provide easier life safety access onto the property and an operational benefit to retail patrons and potential tenants by providing them space to complete safer left turn movements.

I hope the information contained in this letter assists you during your development review process with the City of Lone Tree. If you have any questions regarding this information, please do not hesitate to call me.

Respectfully,

FELSBURG HOLT & ULLEVIG

Richard R. Follmer, PE, PTOE
Associate

Attachments

FELSBURG HOLT & ULLEVIG
connecting & enhancing communities

October 8, 2019

Ms. Denise Denslow, Principal
Rampart Range Metropolitan District
8390 East Crescent Parkway, Suite 600
Greenwood Village, CO 80111

Re: RidgeGate Station TOD and Southwest Village Analyses
FHU Reference No. 119360-01

Dear Ms. Denslow:

Felsburg Holt & Ullevig (FHU) has completed an analysis of several traffic issues related to the development of land in the southwest portion of RidgeGate East, particularly near the new RidgeGate Station light rail facility. These analyses focus primarily on projected traffic volumes and related improvements for roadway widening, traffic signalization, and parking allowances. Following is more information on each of these issues.

I. TRANSIT ORIENTED DEVELOPMENT (TOD) ANALYSES

I.1 Trip Generation Estimates

Analyses for each of these efforts can start with an evaluation of trip generation estimates. **Table 1** on the following page includes a summary of estimates for Southwest Village and for the TOD area using land use and density information provided by Merrick & Company and MIG. In summary, the development areas contain a mix of residential housing types – single-family, apartments, condominiums, and attainable housing, while retail and restaurants are also planned. These land uses and densities have been divided into two parts – those on the west and east sides of Havana Street to assist in the analyses for this letter. See **Figure 1** for a representation of the land use areas that correlate to **Table 1**.

As you can see from this information, the land uses adjacent to or near the Regional Transportation District (RTD) parking garage (west side of Havana Street) are predicted to generate about 9,400 vehicle-trips per day (vpd) with 385 and 825 vehicles per hour (vph), respectively, during the AM and PM peak hours. On the east side of Havana Street, the land uses are projected to generate over 31,000 vpd, 2,700 vph during the AM peak hour and 3,175 vph during the PM peak hour.

These estimates don't reflect the TOD influence that the new light rail station will have, however, particularly for the uses on the west side of Havana Street. To understand this influence, research was conducted to understand the potential level of vehicle-trip reductions related to TOD interaction. An Institute of Transportation Engineers' (ITE) article summarized research conducted by the Transit Cooperative Research Program (TCRP) at 17 sites in four cities across the United States. These data find that TOD projects averaged 44 percent fewer vehicle trips than the standard ITE rates on a daily basis, with 49 percent and 48 percent lower trips during the AM and PM peak hours, respectively.

While it is recognized that incorporating housing near transit stops will reduce vehicle-trips, the TCRP study was conducted in more densely populated locations than the Denver metropolitan area, and specifically the Lone Tree/Douglas County area. As such, these levels of trip reductions are likely too liberal for this project. As such, I've used the percentage allocations of **Table 2** related to TOD trip reductions, given the land use type, the land use proximity to the RidgeGate Station, as well as the shared trip potential between the residential land uses and the retail/restaurant activity. Keep in mind, however, that these allocations are based on my own judgment, not on statistical research.

Table 1. Southwest Village and TOD Trip Generation Estimates

Land Use[1]	Unit	Size[2]	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
				In	Out	Total	In	Out	Total
West of Havana Street									
Areas 59 & 71 – Retail & Restaurant	SF	113,985	6,572	129	80	209	288	311	599
Areas 64 & 67 – Apartments	DU	237	1,290	21	59	80	62	40	102
Areas 65 & 66 – Apartments	DU	238	1,296	21	59	80	62	40	102
Area 69 – Attainable Housing	DU	45	244	4	12	16	13	8	21
Subtotals			***9,402***	***175***	***210***	***385***	***425***	***399***	***824***
TOD Reductions			-2,317	-42	-62	-104	-106	-94	-200
External Trip Estimates			***7,085***	***133***	***148***	***281***	***319***	***305***	***624***
East of Havana Street									
Areas 60 & 61 – Restaurant	SF	120,058	13,468	656	538	1,194	727	446	1,173
Area 62 – Residential	DU	85	462	7	22	29	23	15	38
Area 63 – Condos	DU	131	713	13	33	46	35	23	58
Single-Family Residential	DU	2,000	16,364	356	1,069	1,425	1,136	767	1.903
Subtotals			***31,007***	***1,032***	***1,662***	***2,694***	***1,921***	***1,251***	***3,172***
TOD Reductions			-2.494	-89	-123	-212	-146	-94	-240
External Trip Estimates			***28,513***	***943***	***1,539***	***2,482***	***1,775***	***1,157***	***2.932***

[1] Land Area designations are based on MIG graphic dated 7/1/19.

[2] Density data based on MIG data dated 7/1/19 for Areas 59, 69 & 71 and on Merrick data dated 7/22/19 for remaining Land Areas

Table 2. TOD Reductions

West of Havana Street	East of Havana Street
Areas 59 & 71 (Retail & Restaurant) – 20%	Areas 60 & 61 (Restaurant) – 10%
Areas 64 & 67 (Apartments) – 35%	Area 62 (Residential) – 25%
Areas 65 & 66 (Apartments) – 35%	Area 63 (Condos) – 30%
Area 69 (Attainable Housing) – 40%	Single-Family Homes – 5%

NORTH

FIGURE 1

Land Use Areas

FELSBURG HOLT & ULLEVIG

I.2 Roadway and Intersection Improvements

There are three primary objectives related to infrastructure improvements, each evaluated using the build-out of the land uses contained in **Table 1**:

1. Determine when Havana Street should be widened
2. Evaluate what geometric improvements should be included for the existing RidgeGate Station parking garage access points and for the new access point between the RTD parking garage and RidgeGate Parkway
3. Determine what geometric improvements should occur at the RidgeGate Parkway/Havana Street intersection

Each of these objectives rely on the estimates of how the traffic volumes of **Table 1** are assigned to the adjacent street network. To do so, existing traffic patterns and engineering judgment were used to apply these traffic volumes. **Figure 2** provides the assignment of the site-generated traffic volumes, while **Figure 3** includes the combination of existing and projected volume levels (see **Attachment A-1** at the end of this letter for existing traffic volume information).

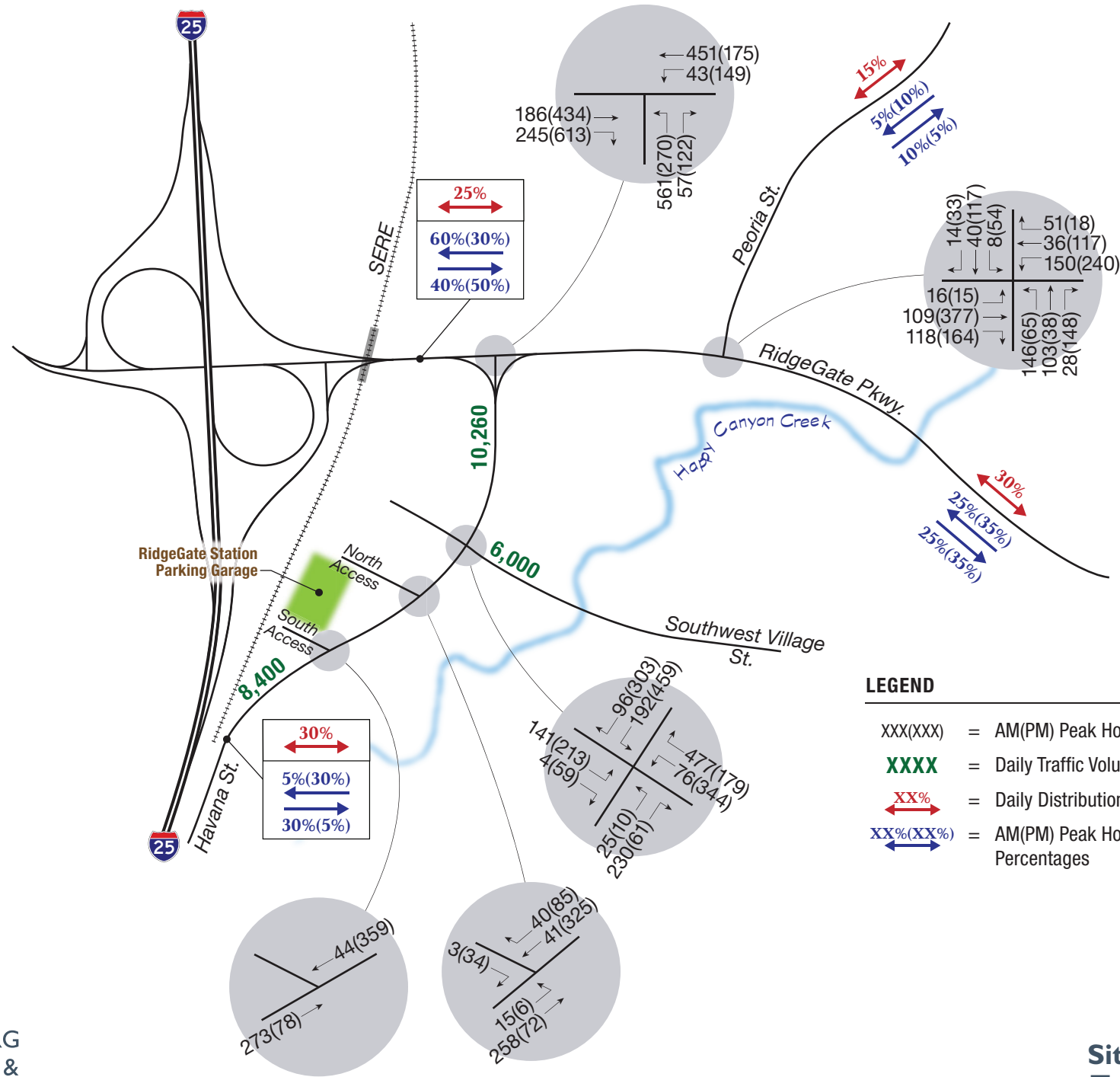
Havana Street Widening

Background – Daily traffic volumes were recorded along Havana Street on a typical weekday and it was found that the traffic volume level is currently 3,280 vpd. But what is the level of daily movements that would trigger the widening from two lanes to four lanes?

As you know, the City of Lone Tree defers to Douglas County for design standards. As such, the Draft Douglas County *2040 Transportation Master Plan* notes on Figure 9, Recommended 2040 Roadway Network, that Havana Street is classified as a Minor Arterial between RidgeGate Parkway and Hess Road. The Douglas County *Roadway Design and Technical Criteria* indicates in Table 4-1 that a Minor Arterial will have four travel lanes and that is confirmed in the Minor Arterial typical section included on Drawing No. SP.5. Table 4-1 of the County criteria implies that a Minor Arterial should be constructed once daily traffic volumes exceed the maximum daily volume for an Urban Collector, being 7,000 vpd. For the purpose of this analysis, the 7,000 vpd level is used as a starting point to understand when Havana Street should be widened in the context of the proposed adjacent develop. Of note, the existing daily traffic volume level is almost 50% of this threshold.

Findings – As can be seen on **Figure 2**, the development of Southwest Village and the TOD parcels will add over 10,000 vpd to Havana Street near RidgeGate Parkway (north of the new access intersection), and about 8,400 vpd to Havana Street to the south of the RidgeGate Station parking garage. When combined with existing traffic, the daily traffic volume estimates range from about 11,700 vpd to 13,700 vpd. These levels indicate that Havana Street will need to be widened during the construction timeframes for the adjacent land areas. Please see Section III for more information on the estimate of construction timeframes for roadway and intersection improvements.

And please keep in mind that not all traffic to/from the single-family dwelling units need to use Havana Street; there will be other access opportunities available to the surrounding roadway network. Additionally, further development may occur in other parts of RidgeGate East or in other parts of Douglas County that could increase traffic volumes along Havana Street that may require the widening sooner than with only the development of the Southwest Village and TOD parcels. The next section provides additional information related to recommendations on intersection and roadway geometry along Havana Street between RidgeGate Parkway and the south RidgeGate Station access point.

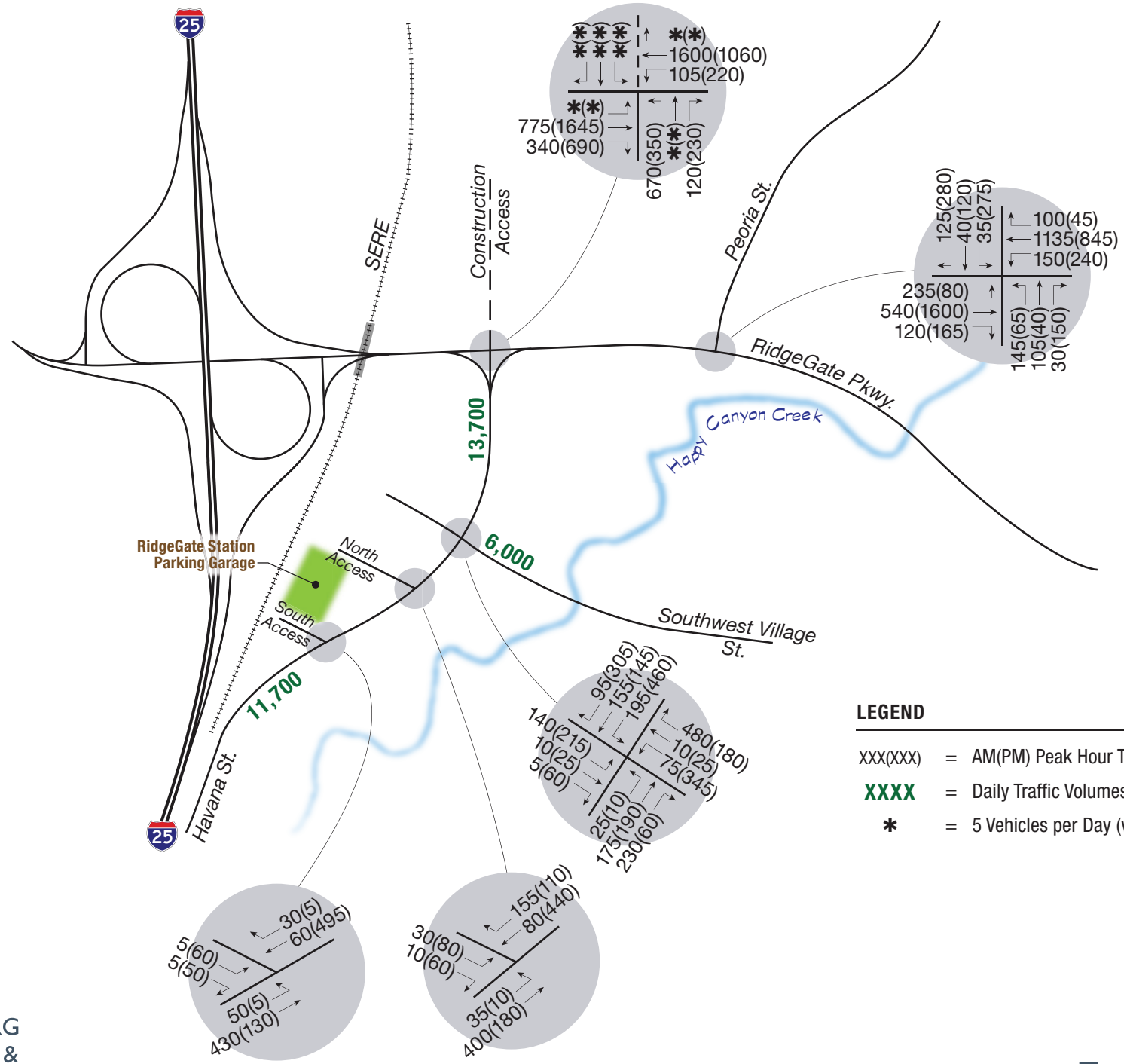


FELSBURG HOLT & ULLEVIG

FIGURE 2

Site-Generated Traffic Volumes

RidgeGate Station TOD-RRMD 19-360 10/8/19



LEGEND

XXX(XXX)	=	AM(PM) Peak Hour Traffic Volumes
XXXX	=	Daily Traffic Volumes
*	=	5 Vehicles per Day (vpd) or less

NORTH

FELSBURG HOLT & ULLEVIG

FIGURE 3

Build-Out Traffic Volumes

RidgeGate Station TOD-RRMD 19-360 10/8/19

Roadway & Intersection Geometric Improvements

An evaluation of roadway and intersection laneage has been conducted using the projected traffic volumes for build-out of Southwest Village and the TOD parcels. Consideration has also been given to the upcoming widening of RidgeGate Parkway related to signalization changes and how it can be operated. The recommendations for roadway and intersection geometry between RidgeGate Parkway and the South Access for RidgeGate Station is included on **Figure 4** and these improvements can be summarized as:

- A wider cross-section between RidgeGate Parkway and the TOD/Southwest Village access point to accommodate dual northbound and southbound left turn lanes at each intersection; includes continuous right turn acceleration/deceleration lanes between these intersections
- Dual left turn lanes on the Southwest Village access (westbound direction) at Havana Street
- Exclusive northbound left turn lane at the North RidgeGate Station access; related more to safety issues than capacity constraints
- Shared left turn lane between the South RidgeGate Station access and the existing access for Schweiger Ranch
- A new traffic signal at the TOD/Southwest Village intersection; timeframe addressed in Section I.4
- Stop signs can continue to be used on the eastbound approaches on the RidgeGate Station access points; the approach geometry does not need to change

Figure 4 does not reflect the roadway requirements for the entire build-out of RidgeGate East, however, as was represented in our September 28, 2016 letter to RRMD. It reflects only what is needed for the build-out of the Southwest Village and TOD parcels. Future widening of Havana Street and at the RidgeGate Parkway intersection will need to be considered during the preparation of any roadway construction plans. These geometric recommendations should provide sufficient capacity and good operations for many years, however.

Left Turn Lane Dimensions – Havana Street/Southwest Village Access Intersection

Dimensions for left turn lanes have been estimated based on projected traffic volumes for movements in each direction at the Havana Street/Southwest Village/TOD access intersection. Douglas County's *Roadway Design and Technical Criteria*, however, references CDOT's *Roadway Design Guide* for auxiliary lane information. Please see **Table 2** below for dimension information and clarifications.

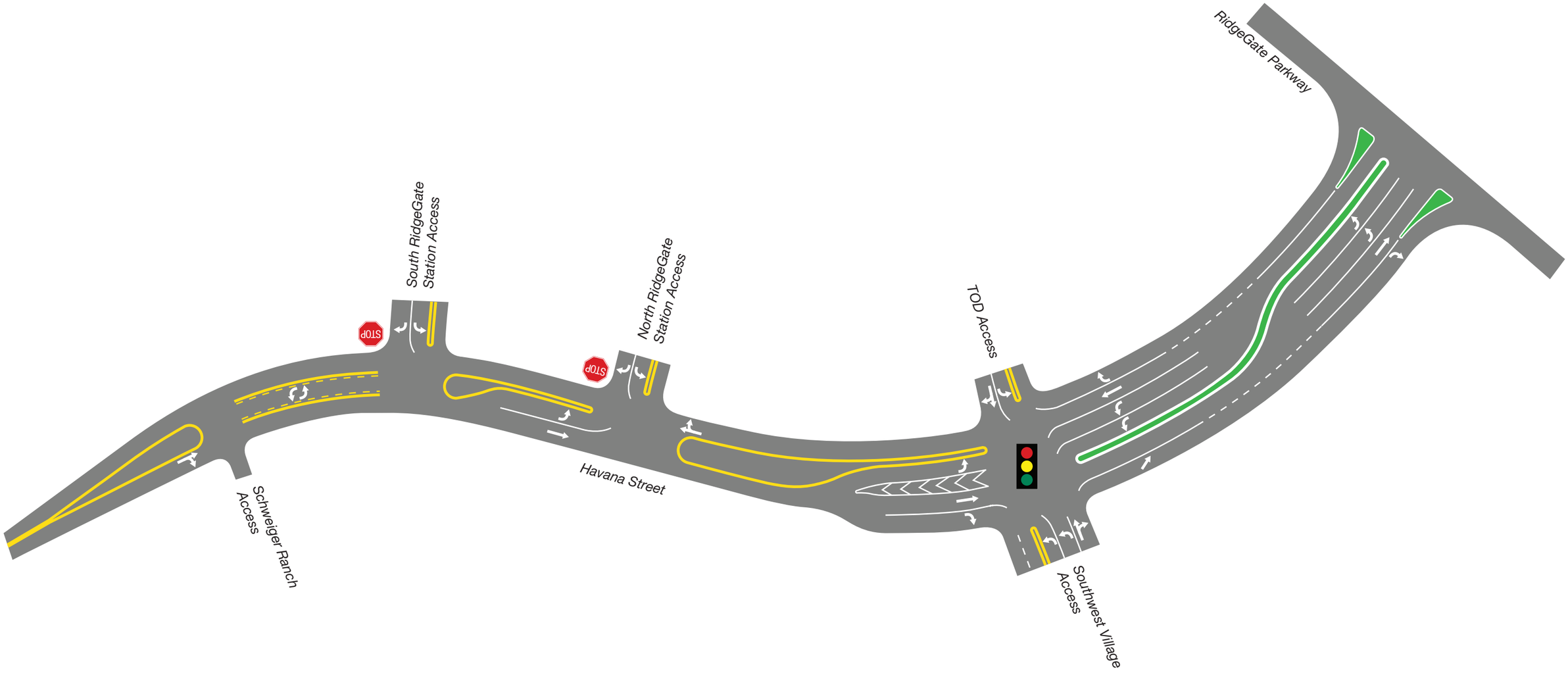
Table 2. Left Turn Lane Dimensions

Direction	Deceleration Length	Vehicle Storage	Taper Length[1]	Total
On Havana Street (Posted Speed = 40mph)				
Northbound	320'	50'	120'	370'
Southbound	320'	250'	240'[2]	570'[3]
On Southwest Village/TOD Access (Posted Speed = Unknown)				
Eastbound	TBD	225'	TBD	TBD
Westbound	See Section II			

[1] Taper length can be included in the deceleration length. Taper length is based on the design for continuously curbed medians.

[2] Recommended value since there are two left turn lanes.

[3] It will be necessary to maximize the amount of deceleration lane length between RidgeGate Parkway and the Southwest Village/TOD access intersection to accommodate the back-to-back left turn movements. It is projected that each of the two left turn lanes in the northbound direction at RidgeGate Parkway will require 350' of vehicle storage. When combined with 250'of left turn storage in the southbound direction, the taper requirements between these two directions may not meet Douglas County criteria for a posted speed limit of 40mph.



NORTH

FELSBURG HOLT & ULLEVIG

FIGURE 4

Roadway and Intersection Geometric Recommendations

RidgeGate Station TOD-RRMD 19-360 10/8/19

I.3 TOD Street Typical Sections and On-Street Parking Evaluation

I've reviewed the proposed typical sections that were prepared by EV studio related to the streets surrounding Land Areas 64-67 that are designated for apartment use in two development parcels. I do not have any issues with what is being proposed. 11' lanes are being constructed more often these days and they can provide sufficient space for motorists to traverse, including on-street bike travel. The parking, landscape, and sidewalk/trail dimensions seem appropriate. Please refer to **Figure 4** for recommendations on intersection laneage at Havana Street.

One of the questions that was asked was in regard to on-street parking adjacent to the RidgeGate Station parking garage. I am not opposed to having parking on both sides of this street since it is not a traffic operational issue. It will increase the street typical section already established by RTD, however, which will reduce the amount of developable acreage in Land Areas 64-67.

I.4 Traffic Signalization Installation Timeframe

An evaluation of the timeframe when it will likely be necessary to install a traffic signal at the new Southwest Village access on Havana Street was conducted. Recognizing that there are many factors that could influence the construction of parcels in Southwest Village and in the TOD area, estimating an exact year is difficult. Alternatively, I've assessed the installation timeframe based on the level of development on a percentage basis of the entire land areas identified in **Table 1**.

Using this approach, it is estimated that the Havana Street/Southwest Village access can continue to operate with stop signs on the east/west approaches until about 45-50% of Southwest Village and the TOD parcels are constructed and occupied.

II. SOUTHWEST VILLAGE STREET AUXILIARY LANES

Another issue that is important to understand is the length of auxiliary lanes on the Southwest Village Street between Havana Street and Happy Canyon Creek. Following is information on that issue.

II.1 Available Space

I recognize that design efforts for this project are ongoing and that exact dimensions are not available. But it is recognized that there is limited space between Havana Street and where access points are needed near Happy Canyon Creek to service the development areas to the north and south of the Southwest Village Street. Through correspondence with Merrick & Company, it appears that there will only be about 250' available between the eastbound and westbound locations where motorists will be required to stop. As such, this is not a very large space which will limit the amount of vehicle storage capacity that will be available.

II.2 Auxiliary Lane Considerations

First, it must be noted that it is projected that the westbound left turn movements at Havana Street will require two left turn lanes, while the eastbound movement to serve Area 62 is projected to only need one left turn lane.

Second, the Havana Street/Southwest Village Street intersection will eventually have a traffic signal and how that traffic signal is operated once installed, and how the signal timing could change over time is unknown. This is a factor that cannot be understood at this time since it will be based on future recorded traffic volumes and on the expertise and preferences of the governing agency. As such, I have used the projected traffic volumes from the TOD analyses to estimate the 95th percentile vehicle queue length to assist in making the dimension recommendations.

Third, it is not anticipated at this time that the Southwest Village Street/Areas 62 & 63 access point intersection will require a traffic signal. That assumption is based on my current judgment, but can only be confirmed in the future when more development has occurred and traffic volume levels can be assessed. If this intersection has only stop signs on the side streets for intersection control, then motorists proceeding eastbound will have an infrequent need to stop and, therefore, the vehicle queuing should be relatively short. If this intersection does require a traffic signal in the future, close coordination with the governing agency will be required to assure that signal timing parameters are not creating longer vehicle queues than absolutely necessary.

II.2 Auxiliary Lane Recommendations

95th percentile vehicle queuing data from the TOD analyses indicate that each of the two westbound left turn lanes at Havana Street will require 125' of storage space. As such, if only 250' is available between Havana Street and the Areas 62 & 63 access point, only 125' will remain to construct the eastbound left turn lane along with taper length between the two directions of travel. Considering that the minimum taper length is likely about 50', the remaining space for the eastbound left turn lane is 75'. These dimensions are graphically depicted below and is likely the best-fit scenario given the limited amount of space available between Havana Street and the Areas 62 & 63 access point.

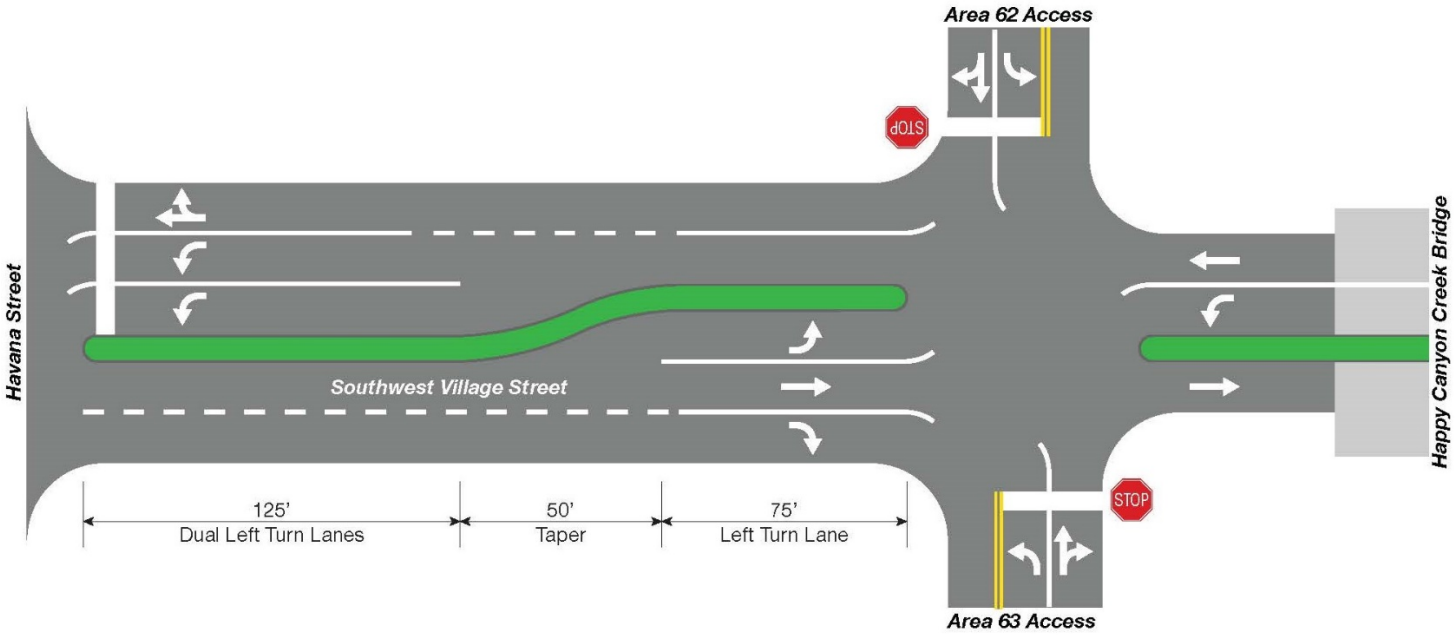


Figure 5. Southwest Village Street Auxiliary Lane Recommendations

Through my discussions with Merrick & Company, it's understood that an objective is to limit the bridge (or box culverts) across Happy Canyon Creek to two through travel lanes. As can be seen in the graphic, I've replicated this desire, but also recognize that a left turn lane should also be provided for westbound movements into Area 63.

As such, when considering the turn lane and through lane requirements, the northernmost and southernmost lanes between Havana Street and the Areas 62 & 63 access are considered add/drop lanes, i.e., they are essentially developed and removed from the Southwest Village Street cross-section at the Havana Street and Areas 62 & 63 intersections.

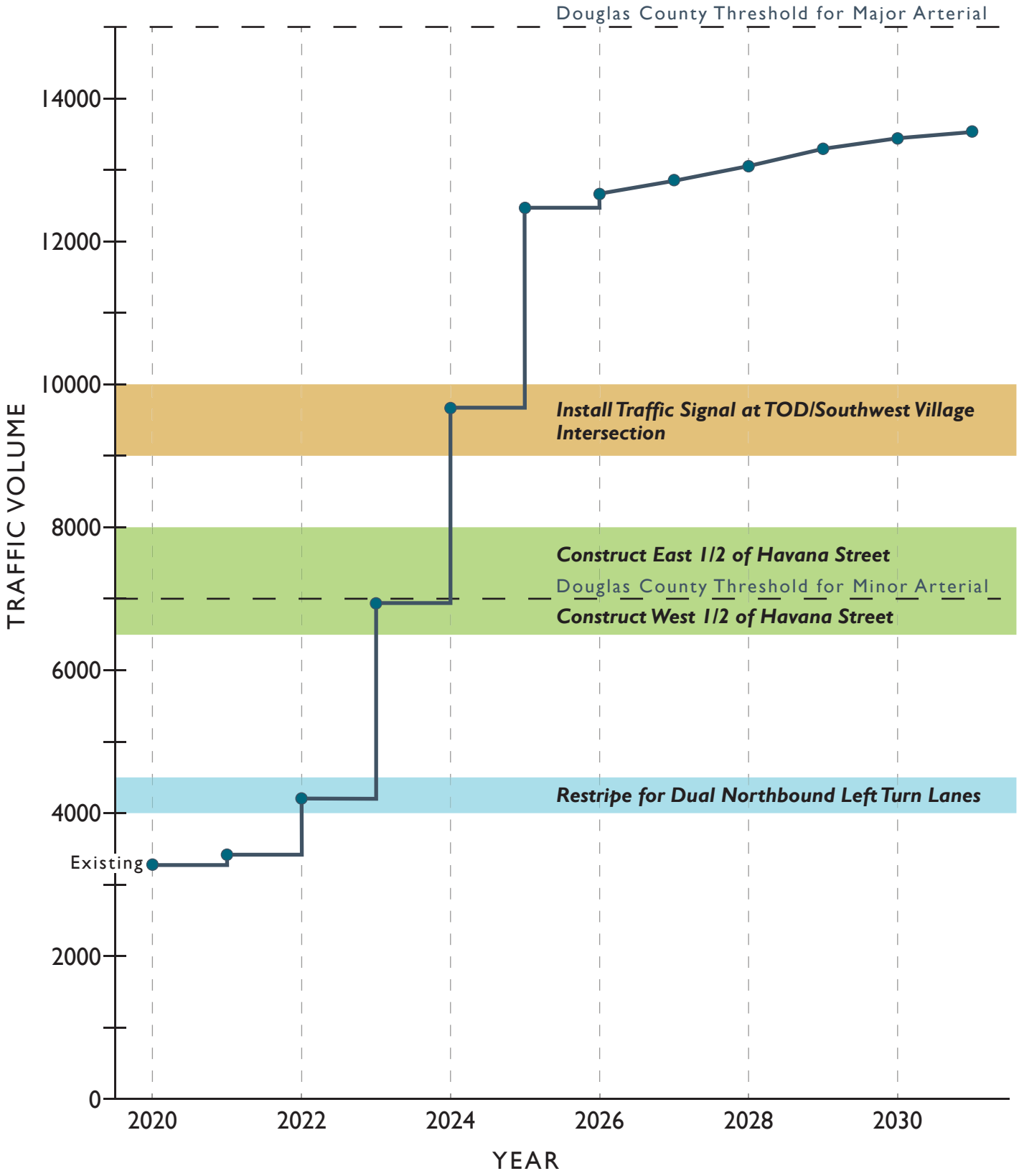
III. INFRASTRUCTURE PHASING

Table 3 below and **Figure 6** on the next page summarize a conceptual phasing scheme to install the project improvements. The projected phasing timeframes are based on a linear progression of development within the context of the build-out scenarios given the information that has been provided on the start dates for initial construction and the anticipated completion times.

Consideration should also be given relative to the combination of certain improvements so that Havana Street is not constantly under construction. For example, completing all of the improvements between RidgeGate Parkway and the new Southwest Village access may provide constructability advantages since the outside edges of pavement and other features can be established.

Table 3. Improvement Phasing Scheme

Improvement	Approximate Daily Traffic Volume	Approximate Year	Comment
Havana Street Improvements			
Restripe Existing Cross-Hatched Northbound Havana Street Lane to a Shared Through/Left Turn Lane	4,000-4,500	2022	Lane should be striped to allow movements across RidgeGate Parkway for construction vehicle access
Construct West ½ of Minor Arterial Section Between RidgeGate Parkway and TOD Access	6,500-7,000	2023	
Construct East ½ of Minor Arterial Section Between RidgeGate Parkway and Southwest Village Access	7,000-8,000	2024	With development of Areas 60/61 and/or 62
Install Traffic Signal at Havana Street/TOD Access/Southwest Village Access Intersection	8,000 – 10,000	2024 - 2025	At about 45% to 50% of TOD and Southwest Village development
Southwest Village Street			
Construct the laneage configuration shown on Figure 6 between Havana Street and Happy Canyon Creek			With construction of Areas 62 or 63



NORTH

FELSBURG HOLT & ULLEVIG

FIGURE 6

Project Phasing Scheme

RidgeGate Station TOD-RRMD 19-360 9/4/19

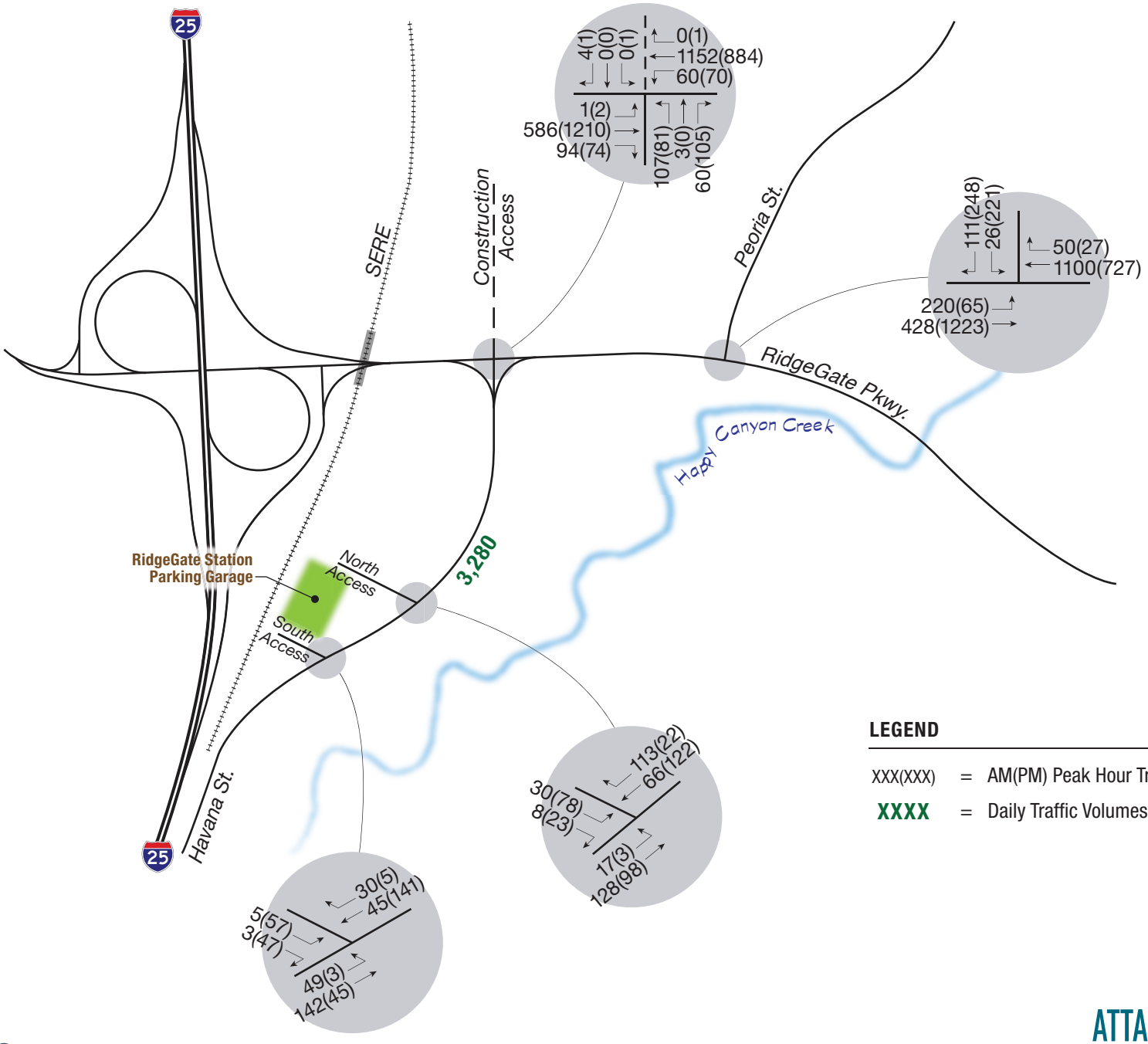
I hope the information contained in this letter supports you in your discussions with the City of Lone Tree. Do not hesitate to call me at 303-721-1440 with any questions or comments that you have.

Respectively,

FELSBURG HOLT & ULLEVIG

Richard R. Follmer, PE, PTOE

Attachment



LEGEND

XXX(XXX)	=	AM(PM) Peak Hour Traffic Volumes
XXXX	=	Daily Traffic Volumes

NORTH

ATTACHMENT A-1

Existing Traffic Volumes

RidgeGate Station TOD-RRMD 19-360 8/27/19

FELSBURG HOLT & ULLEVIG

Memo

To: City of Lone Tree

From: EVstudio Engineering

Cc: Jennifer Drybread

Date: July 10, 2020

Re: Snow Storage Basis of Design for RidgeGate TOD Development

---

EVstudio has reviewed the snow storage required for the proposed development at the RidgeGate TOD site. Although there was no basis for design or calculations provided by the City of Lone Tree Municipal Code, our team researched surrounding communities and snow properties to determine an appropriate approach.

Certain areas that would be shoveled into neighboring greenspace include areas with overhead canopy and covered parking areas. This leaves the remaining drive aisle areas, which will be plowed, to be reviewed.

The basis of design was dependent on a few variables including moisture content, snowfall depth, height of storage, and compaction.

One approach to design was to utilize a typical snow compaction rate of 20% (80% remaining) with an average snowfall depth of 4" to represent the typical snowfall that would require snow removal.

Location	Area (SF)	Calculation	Storage (CF)
East Parking Surface	28,000 sf	28,000 sf x 4/12 ft x 0.8 ratio	~7,400 cf
East Parking Deck	18,000 sf	18,000 sf x 4/12 ft x 0.8 ratio	~4,750 cf
Private Drive	20,500 sf	20,500 sf x 4/12 ft x 0.8 ratio	~5,400 cf
West Parking Deck	18,000 sf	18,000 sf x 4/12 ft x 0.8 ratio	~4,750 cf

A second approach that has been used for municipalities in design was to utilize a ratio of 20% with a maximum snowfall depth of 12". Calculations for storage are shown below.

Location	Area (SF)	Calculation	Storage (CF)
East Parking Surface	28,000 sf	28,000 sf x 1 ft x 0.2 ratio	~5,600 cf
East Parking Deck	18,000 sf	18,000 sf x 1 ft x 0.2 ratio	~3,600 cf
Private Drive	20,500 sf	20,500 sf x 1 ft x 0.2 ratio	~4,100 cf
West Parking Deck	18,000 sf	18,000 sf x 1 ft x 0.2 ratio	~3,600 cf

5335 W. 48th Avenue, Ste #300
Denver, Colorado 80212
303.670.7242 ph
303.679.1862 fax
design@evstudio.com
www.evstudio.com

Our approach was to utilize an average of the two previously listed approaches.

Location		Average of Calc 1 and Calc 2	Storage (CF)
East Parking Surface		7,400 sf + 5,600 sf / 2	~6,500 cf
East Parking Deck		4,750 sf + 3,600 sf / 2	~4,175 cf
Private Drive		5,400 sf + 4,100 sf / 2	~4,750 cf
West Parking Deck		4,750 sf + 3,600 sf / 2	~4,175 cf

With the total volume of snow storage known, we needed to review the depth of snow to calculate total area. Although this exercise can be circular, meaning the larger the area, the higher the snow is piled, our average location was the depth of a stall (~20') leaving a max pile height of 8' and an average pile height of 5'.

Location	Area (CF)	Calculation	Storage Required (SF)	Storage Provided (SF)
East Parking Surface	~6,500 cf	6,500 cf / 5' = ~1,300 sf	~1,300 sf	~1,500 sf
East Parking Deck	~4,175 cf	4,175 cf / 5' = ~835 sf	~835 sf	~855 sf
Private Drive	~4,750 cf	4,750 cf / 5' = ~950 sf	~950 sf	~1,162 sf
West Parking Deck	~4,175 cf	4,175 cf / 5' = ~835 sf	~835 sf	~1450 sf

In summary, we are providing a surplus of snow storage for each parking area including 215 square feet on the east side, 212 square feet through the private drive and 615 square feet for the west. Please let us know if you have any concerns or need any additional information.

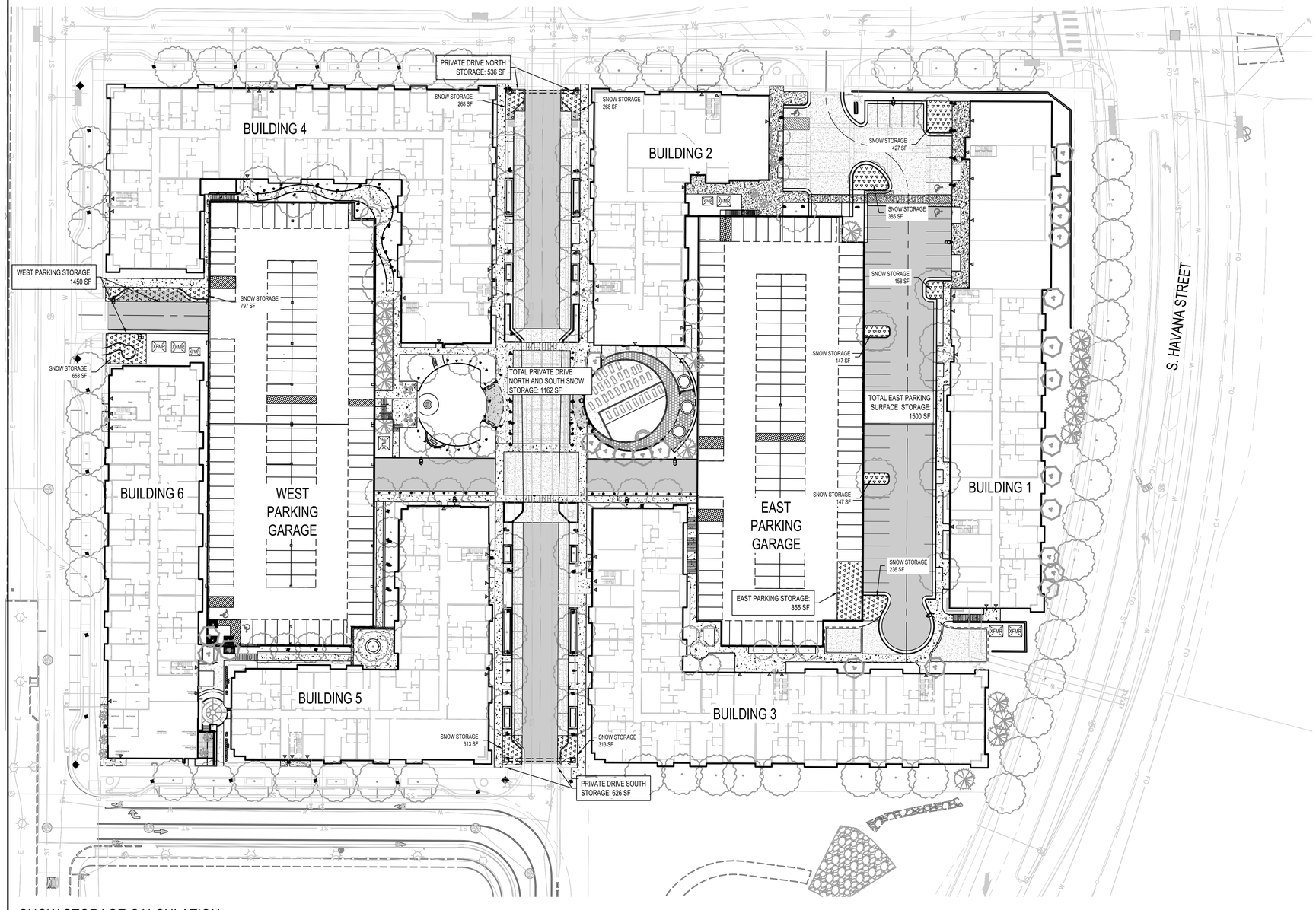
Thanks,

EVstudio

Brian Welch, PE

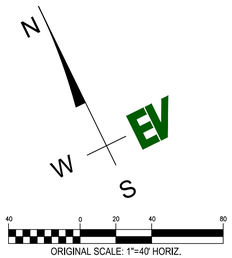
5335 W. 48th Avenue, Ste #300
Denver, Colorado 80212
303.670.7242 ph
303.679.1862 fax
design@evstudio.com
www.evstudio.com

RIDGEGATE EAST FILING 1, 2ND AMENDMENT, LOT 2-A-2, 2-A-3,
RIDGEGATE PLANNED DEVELOPMENT 6TH AMENDMENT, PLANNING AREA 7
MIXED-USE COMMUTER STATION DISTRICT (MU-3)
8.22 ACRES
SIP SP 20-24R



SNOW STORAGE CALCULATION:

Location	Area (CF)	Calculation	Storage Required (SF)	Storage Provided (SF)
East Parking Surface	~6,500 cf	6,500 cf / 5' = ~1,300 sf	~1,300 sf	~1,500 sf
East Parking Deck	~4,175 cf	4,175 cf / 5' = ~835 sf	~835 sf	~855 sf
Private Drive	~4,750 cf	4,750 cf / 5' = ~950 sf	~950 sf	~1,162 sf
West Parking Deck	~4,175 cf	4,175 cf / 5' = ~835 sf	~835 sf	~1450 sf



LEGEND

- SNOW STORAGE
- ASPHALT
- SIDEWALK

EXISTING / PROPOSED
- TOP OF CURB
- FLOWLINE
- CURB LIP

- STORM SEWER MANHOLE
- STORM SEWER INLET
- SANITARY SEWER MANHOLE
- FLARED END SECTION
- WATER VALVE
- FIRE HYDRANT
- TRANSFORMER
- GAS METER
- TELEPHONE PEDESTAL / BOX
- LIGHT POLE
- ADA PARKING SYMBOL

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

Contact:
Dane Vierow
dane.vierow@evstudio.com
303-670-7242 ext.40

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

SIP SET
DATE:
DRAWN BY:
CHECKED BY:

MEMORANDUM

To: City of Lone Tree

CC: Jim Francescon and Chris Winchester, Regency Partners

From: Cassie Slade, PE, PTOE

Date: August 10, 2020

Project: RidgeGate Station Apartments

Subject: Parking Analysis – Updated

The Fox Tuttle Transportation Group has completed a review of the proposed RidgeGate Station apartment project in the City of Lone Tree with respect to peak parking demand. The project is proposing to construct six apartment buildings with ground level retail, a leasing office, and a grab-and-go café next to the existing RidgeGate Parkway Light-Rail Station. Although the project is in compliance with the City's minimum parking requirements as further described below, we understand that the City has requested a parking analysis to support the proposed parking plan. This memorandum summarizes our analysis and findings.

Background

The RidgeGate Station apartment project is proposing to construct 540 or less apartment units within six (6) buildings on a vacant ± 8.3-acre parcel located along the west side of Havana Street roughly one-quarter mile south of RidgeGate Parkway. The site is located across the street from the recently completed and opened RidgeGate Parkway Light-Rail Station, which is the southern end to the R Line that connects to all other rail lines in the Denver Metro Area. The R Line is 22 miles in length and connects to Lone Tree to other communities along I-25 and I-225. It provides service from the RidgeGate Parkway Station to the Belleview Station where it turns onto the I-225 rail line and then ends at the Peoria Station near I-70. The R Line will provide future residents at

the RidgeGate Station Apartments to commute into the Denver Tech Center, downtown Denver, Aurora, Fitzsimons Medical Campus, and the Denver International Airport.

The project site is currently surrounded by vacant property; however, the RidgeGate Station Apartments are within the "mixed-use district" of the proposed 400-acre Lone Tree City Center that will become the new downtown and include a mix of residential, office, hotel, shopping, dining, entertainment, open space, and civic amenities. There will be 32 city blocks of mixed-use transit-oriented development that will benefit from the existing rail line station. The RidgeGate Station project proposes the following types and number of units:

- 29 studio apartment units
- 322 one-bedroom apartment units
- 189 two-bedroom apartment units
- 1,100 square feet of leasing office
- 2,515 square feet of grab-and-go coffee shop/café
- 7,650 square feet of commercial

The project proposes to provide 576 off-street parking spaces within two parking garages and along the internal private street. Thirty on-street parking spaces will be marked on the adjacent streets. The number and location of on-street spaces has been reviewed by Lone Tree Planning and Public Works to ensure proper sight distance requirements at intersections and loading / unloading zones. Although the City parking standards allow for adjacent on-street parking to be counted toward the minimum parking requirements, this study conservatively accounts for only 8 of the 28 spaces (or 27%) toward the calculation. This results in **584 available parking spaces (off-street + on-street)**.

City of Lone Tree Requirements

Per the City of Lone Tree code requirements for the City Center district (from the City Center Sub-Area Plan), this mix of land uses will require a minimum of 1 space per bedroom (or 729 spaces), inclusive of nonresidential and applying the 20% reduction in spaces (-145 spaces) for projects within ¼ mile of transit as determined by the Director, for a total of 584 spaces. The proposed parking meets this minimum requirement. Note that this study references 'parking spaces per unit' instead of 'parking spaces per bedroom' since the national ITE parking demand data is based on 'parking spaces per unit.'

Table 1 compares the required parking spaces for residential units to the proposed number of parking spaces.

Table 1. Proposed Parking Spaces

PARKING CALCULATION TABLE			
PARKING REQUIRED	**AREA/UNITS**	**PARKING PER UNIT**	**TOTAL**
ONE BEDROOM UNITS	351	1	351
TWO BEDROOM UNITS	189	2	378
TOTAL UNITS	**540**	**SUB-TOTAL PARKING**	**729**
TRANSIT STATION REDUCTION (20% MAX) (16-28-60 (C))			145
TOTAL PARKING REQUIRED			**584**
PARKING PROVIDED			
OFF-STREET (INCLUDING 13 ACCESIBLE SPACES)			576
ADJACENT ON-STREET (27%)			8*
TOTAL PARKING PROVIDED			**584**

**Adjacent on-street parking (28 spaces) are subject to be changed / modified / moved at the discretion of the Public Works Department as these spaces are public and not for the sole use of the adjacent development.*

However, since this is the first mixed-use development in RidgeGate east of I-25, staff has asked Regency to study the total development to ensure there is adequate parking for this development. To evaluate the proposed parking demand, parking generation analyses were conducted using Institute of Transportation Engineers (ITE) peak parking demand data. Fox Tuttle also conducted a phone survey of nearby apartments, and on-site surveys to gather parking demand data. The City's shared parking calculation was also calculated for analysis purposes. These analyses are summarized in the following sections.

ITE Recommendations for Parking Demand

One of leading industry parking resources was reviewed within the context of this project and discussed in this memorandum: Institute of Transportation Engineers (ITE), *Parking Generation*, 4th Edition (2010). ITE publishes parking generation data for various land uses based on numerous studies and empirical data calculating average peak parking demand. For majority of land uses, ITE provides both urban and suburban parking formulas, near and not near rail transit, to predict peak parking demand.

RidgeGate Station is anticipated to be in an urban environment once the surrounding City Center is built and services are opened for business. Prior to the construction of the City Center, it is anticipated that RidgeGate Station will be between a suburban and urban setting.

The following ITE weekday parking demand rates were applied and averaged to the proposed land use size:

- #221 "Multi-Family Residential (Mid-Rise)" in Urban/Suburban within < 1/2 mile to rail transit and in Dense Multi-Use Urban within < 1/2 mile to rail transit
- #710 "General Office" in Urban/Suburban and in Dense Multi-Use Urban
- #820 "Shopping Center (Non-December)" in Urban/Suburban and in Dense Multi-Use Urban
- #932 "High-Turnover (Sit-Down) Restaurant – Family" in Urban/Suburban and in Dense Multi-Use Urban

Residential Parking Demand

The RidgeGate Station Apartment project proposes 540 units with 729 bedrooms. The ITE formulas and rates were utilized to calculate the peak parking demand based on the proposed number of apartments as shown in **Table 2**:

Table 2. ITE Parking Demand for RidgeGate Station Apartments

Area Type	Multi-Family (Mid-Rise)				
	ITE Formula[1] / Rate		ITE Parking Demand	Calculated	
				Ratio per Unit	Ratio per Bed[2]
Urban/Suburban	Equation	P = 1.22x – 31.38	628	1.16	0.86
< 1/2 mile to rail transit	Average	1.12	605	1.12	0.83
Dense Multi-Use Urban	Equation	P = 0.65x + 6.12	358	0.66	0.49
< 1/2 mile to rail transit	Average	0.71	384	0.71	0.53
Average of Urban/Suburban and Dense Urban	Equation	n/a	493	0.91	0.68
	Average	0.915	495	0.92	0.68

[1] *where P = parking demand and x = number of dwelling units*

[2] *Ratio per bed was not provided by ITE, instead it was extrapolated from the parking demand data and known number of beds*

In comparison, a suburban apartment complex within ½ mile rail transit was estimated to have a parking demand between 605 and 628 spaces while a dense urban was estimated to have a parking demand between 358 and 384 spaces. **The average parking demand of these two area types for multi-family apartments, is approximately 495 spaces which equates to a rate of 0.92 parking spaces per dwelling unit.** It should be noted that the national data for multi-family residential dwelling units includes parking spaces for visitors.

Leasing Office Parking Demand

The ITE *Parking Generation* report does not have different rates for office space near or far from transit stations. Therefore, the applicable ITE rate is conservative. Since the proposed square footage of leasing office is well below the average size of office in the ITE *Parking Generation* report, the ITE rates were utilized instead of the ITE equations to calculate the peak parking demand. The rate provided by ITE was multiplied by the square footage of the leasing office to estimate the peak parking demand. The proposed leasing office space, with no adjustments for transit, is estimated to have the following parking demand **(Table 3)**:

Table 3. ITE Parking Demand for RidgeGate Station Leasing Office

Area Type	Leasing Office	
	ITE Average Rate	ITE Parking Demand
Urban/Suburban	2.39	3
Dense Multi-Use Urban	1.63	2
Avg. of Urban/ Suburban and Dense Urban	2.01	3

On average, the **leasing office space is anticipated to have a demand of three (3) parking spaces.**

Commercial Parking Demand

Since the proposed square footage of café and commercial space is well below the average size of each land use in the ITE *Parking Generation* report, the ITE rates were utilized instead of ITE equations to calculate the peak parking demand. The rate provided by ITE was multiplied by the square footage of the café and commercial space to estimate the peak parking demand. The parking demand for the proposed retail and restaurant space is shown in **Table 4.**

Table 4. ITE Parking Demand for RidgeGate Station Commercial

Area Type	Café Grab-and-Go		Commercial	
	ITE Average Rate	ITE Parking Demand	ITE Average Rate	ITE Parking Demand
Urban/Suburban	10.49	27	1.95	15
Dense Multi-Use Urban	6.47	17	2.76	22
Avg. of Urban/ Suburban and Dense Urban	8.48	22	2.36	19

If the restaurant were in a setting that was attracting more outside trips than internal, it is estimated that the average demand is double that of the City requirement. The RidgeGate Station apartment project is proposing that this restaurant be a grab-and-go café that serves residents, employees, and transit patrons, so it is not anticipated to generate many vehicle trips on its own. **Twenty-two (22) parking spaces for a grab and go café is anticipated to be sufficient.**

On average, the proposed **commercial space is projected to have a demand of nineteen (19) parking spaces.**

Phone Survey of Nearby Apartments

Fox Tuttle conducted a peer review of nearby apartments that are in close proximity to existing light rail stations similar to the RidgeGate Station apartment project to determine typical multi-family / mixed use parking supply per number of units and beds. Calls were made to each apartment complex to gather data on number of units, number of bedrooms, number of parking spaces, and if there were complaints about parking supply.

The results are detailed on **Table 5** (refer to the **Appendix**). The following summarizes of parking data obtained:

- Parking Supply Rates (required by approving agency) were:
  - Average = 1.36 parking spaces per unit;
  - Lowest rate = 0.75 parking space per unit; and
  - Highest rate = 1.81 parking spaces per unit.
- Majority of the studied apartments provided parking structures instead of surface lots.
- Nearly 50% of the studied apartments had a mix of uses on the ground level.
- There was no pattern found between the parking rate and ground level commercial/office.
- There was no pattern found between the parking rate and proximity to a light rail station.

The following qualitative information was gathered during the inquiry:

- The **entire top level of the parking structures is guest parking because there is ample parking** on the lower levels for residents. *[AMLI RidgeGate (Lone Tree), Camden Lincoln (Lone Tree) and Cielo (Denver)]*
- **One free parking space per unit and additional parking spaces can be rented**; there are plenty of parking spaces and the complaints are focused on having to pay for parking. *[The Glenn (Centennial), Milehouse (Denver) and Cielo (Denver)]*
- **Observed parking demand is based on the demographic** of those living in the complex (single vs. married, young vs. old, work-from-home vs. work in an office). *[Cielo (Denver)]*
- If overflow parking is needed or a guest prefers a closer space, there are **nearby on-street parking spaces** that can be utilized. *[The Marq (Lone Tree), Regency RidgeGate (Lone Tree), Ovation (Lone Tree), Yale 25 Station (Denver), and ArtWalk City Center (Englewood)]*

As for a comparison purposes, these front range cities or areas require one (1) parking space per multi-family unit: Lakewood, downtown Castle Rock, and Eastlake at 124th Street Station in Thornton.

On-Site Survey of Parking Availability

Fox Tuttle staff gathered parking demand data at five (5) apartment complexes within Lone Tree that allowed access to the parking areas or had available occupancy data. Staff visited each site in the early morning hours to observe the parking demand firsthand over two days. Parking lots were walked and driven to gather the parking data and take photos. Empty off-street parking spaces

were counted between 4:00am and 5:00am to capture the highest parking occupancy of the residential complexes. The actual parking demand was determined by the number of vacant parking spaces within the study period compared to the parking supply. The occupancy rate was equated to the parking demand per number of apartment homes per complex. **On average, the apartment complexes had a parking occupancy rate 73% and an observed peak parking demand of 1.02 parking space per dwelling unit.** The parking demand results are detailed on **Table 6** (refer to the **Appendix**). The field study for parking demand of peer facilities included parking spaces for visitors in the observations and calculations. It is acknowledged that most likely visitor parking spaces were not occupied in the early morning hours; however, there were vacant spaces that could accommodate visitors had the observation times been later in the day. It is anticipated that some of the observed occupied spaces would be vacant during the day while residents are away at a different location and these same spaces could be utilized by visitors as needed.

Photo 1: Data Collection at Ovation

Shared Parking Calculation

The City of Lone Tree provides a shared parking formula to minimize under or oversupplied parking. The Code provides percentage of parking by land use classification, time of day, and weekday verses weekend. Applying the City's shared parking provisions in the Municipal Code, Section 16-28-20-(e) to the estimated parking demand from ITE data, the parking demand at RidgeGate Station would be 534 parking spaces. Refer to **Table 6** on the following page for the shared parking calculations.

Table 6. Shared Parking Calculations per City of Lone Tree Code

Land Use Classification	ITE Parking Demand	Weekday					
		1:00 a.m. - 7:00 a.m.		*7:00a.m. - 6:00 p.m.*		*6:00 p.m. - 1:00 a.m.*	
		Percentage	Parking Spaces	Percentage	Parking Spaces	Percentage	Parking Spaces
Office	4	5%	1	100%	4	5%	1
Retail sales	19	0%	0	100%	19	80%	16
Restaurant (not 24-hour)	22	20%	5	70%	16	100%	22
Multi-family residential	495	100%	495	60%	297	100%	495
Total Parking with Shared Model			***501***		***336***		***534***

Table 6 (continued). Shared Parking Calculations per City of Lone Tree Code

Land Use Classification	ITE Parking Demand	Weekend					
		1:00 a.m. - 7:00 a.m.		*7:00a.m. - 6:00 p.m.*		*6:00 p.m. - 1:00 a.m.*	
		Percentage	*Parking Spaces*	*Percentage*	*Parking Spaces*	*Percentage*	*Parking Spaces*
Office	4	0%	0	15%	1	0%	0
Retail sales	19	0%	0	100%	19	60%	12
Restaurant (not 24-hour)	22	30%	7	75%	17	100%	22
Multi-family residential	495	100%	495	75%	372	95%	471
Total Parking with Shared Model			***502***		***409***		***505***

The minimum parking demand is determined by the greatest sum among the columns, or in this case 534 spaces, resulting in 50 fewer spaces than required.

Summary and Recommendations

The RidgeGate Station apartment project is proposing to construct 540 apartments within six (6) buildings that will also include 1,100 square feet of leasing office, a 2,515 square feet grab-and-go café, and 7,650 square feet of commercial. The project is located directly adjacent to the RidgeGate light-rail station and along the west side of Havana Street roughly one-quarter mile south of RidgeGate Parkway. The RidgeGate Station apartment project proposes to provide a total of 576 off-site parking spaces within two parking garages and on-street along the internal private street.

In addition to the on-site parking spaces, there are 28 spaces of adjacent on-street parking, of which we are conservatively counting eight (8) spaces in the parking availability, resulting in **584 available parking spaces**. It has been proposed that these on-street spaces be signed and limited to between 90-120 minutes. These limitations are recommended to occur between 7:00 AM and 6:00PM. The on-street spaces are expected to be utilized by office visitors and commercial customers which would provide more spaces on-site for residents as needed. Parking limitations are supported by City staff to minimize out of district RTD patrons choosing to park for extended periods during the work week to avoid parking fees in the RTD garage.

Based on the national ITE parking data, **it was estimated that the project will have a peak parking demand of 539 spaces** (495 for apartments, 3 for office, 19 for commercial, and 22 for the café). Compared to the proposed provided parking supply, **it is projected that there will be an extra 45 off-street parking spaces.** These spaces will serve additional visitors or services to park.

The studied apartment complexes near light rail stations within the Front Range had an average parking demand of 1.02 parking spaces per dwelling unit; this equates to RidgeGate Station having a demand of 557 parking spaces (compared to 584 provided) which is consistent with the national ITE parking demand estimate. It is anticipated that visitor parking will be accommodated adequately with the proposed number of parking spaces since both the national data and field observations included visitor parking spaces. Also, visitors will be permitted to park on-street at the time-limited spaces as needed and available.

Based on the review of industry standard parking practices, a peer review, and field observations of other apartments near light rail stations, **it was determined that proposed parking provisions for the project are supported by this data. Given the results of this study and the actual parking demand shown at nearby, similar properties, we recommend that the project provide 1.00 space-per-unit as supported by this data.** It is anticipated that the parking demand at the RidgeGate Station apartment project will be minimized due to the proximity to transit services, pedestrian walkways, and bicycle infrastructure and connections. The proposed parking supply is anticipated to meet the needs of the residents, visitors, and non-residential development.

I hope that the contents of this memorandum are helpful to you. If you have any questions or would like to discuss our findings, please let me know.

/CRS

Attachments:

- Table 5 - Multi-Family Parking Rate Comparison

Table 5 - Multi-Family Parking Supply and Demand Data

No.	Apartment Name	Nearby Station and Distance	Parking Type	Mixed Uses in Bldg	Number of beds	mber of Units	Number of Beds	Off-Street Parking Supply		Parking Supply Ratio (required to construct)		Parking Demand Observations		Contact
1	AMLI Ridgegate 10020 Trainstation Cir, Lone Tree	SkyRidge Station 0.25 mile	Structure	No	1 2 3 studio **Total**	137 105 14 24 **280**	137 210 42 24 **413**	394 **394**		**1.41** **0.95**	**/unit** **/bed**	302 **75%** **0.88**	Off-Street Occupancy **Parking Occupancy Rate** **demand per unit**	(855) 595-6678
2	IMT at Ridgegate 9980 Trainstation Cir, Lone Tree	SkyRidge Station 0.20 mile	Structure	No	1 2 3 studio **Total**	104 73 8 36 **219**	104 146 24 36 **310**	40 315 **355**	 covered 	**1.62** **1.15**	**/unit** **/bed**			(303) 848-2318
3	Regency at Ridgegate 9670 Halstead Lane, Lone Tree	SkyRidge Station 0.60 mile	Surface & Garages	No	1 2 3 studio **Total**	88 112 8 0 **208**	88 224 24 0 **336**	134 112 44 **290**	open in garages in front of garages	**1.39** **0.86**	**/unit** **/bed**	239 **87%** **1.15**	Off-Street Occupancy *(it was assumed that garages were 90% occupied)* **Parking Occupancy Rate** **demand per unit**	Erin Martinez (303) 708-8898
4	The Marq Ridgegate 10270 Commonwealth St, Lone Tree	SkyRidge Station 0.60 mile	Structure	No	1 2 3 studio **Total**	 **243**	0 0 0 0 **0**	440 **440**		**1.81** 	**/unit** 	246 **56%** **1.01**	Off-Street Occupancy **Parking Occupancy Rate** **demand per unit**	
5	Ovation Apartments 9580 RidgeGate Parkway, Lone Tree	SkyRidge Station 0.60 mile	Structure	Yes	1 2 3 studio **Total**	140 27 23 **190**	140 54 69 0 **263**	104 103 10 8 **225**	open garage garages retail	**1.18** **0.86**	**/unit** **/bed**	168 **75%** **0.88**	Off-Street Occupancy **Parking Occupancy Rate** **demand per unit**	Erin Martinez (303) 708-8898
6	Camden Lincoln 10177 Station Way, Lone Tree	Lincoln Station 0.10 mile	Structure	No	1 2 3 studio **Total**	189 61 0 17 **267**	189 122 0 17 **328**	422 12 4 **438**	standard handicap motorcycle 	**1.64** **1.34**	**/unit** **/bed**	311 **71%** **1.16**	Off-Street Occupancy **Parking Occupancy Rate** **demand per unit**	(303) 649-1475
7	The Glenn Apartments 9300 E Mineral Ave, Centennial	Dry Creek Station 0.40 mile	Structure	Yes	1 2 3 studio **Total**	150 92 10 54 **306**	150 184 30 54 **418**	480 **480**		**1.57** **1.15**	**/unit** **/bed**			(303) 706-9300
8	Milehouse 6750 E Chenango Ave, Denver	Belleview Station 0.30 mile	Structure	Yes	1 2 3 studio **Total**	109 75 21 148 **353**	109 150 63 148 **470**	400 **400**		**1.13** **0.85**	**/unit** **/bed**			(866) 971-4621
9	Cielo Apartments 6715 E Union Ave, Denver	Belleview Station 0.20 mile	Structure	No	1 2 3 studio **Total**	122 55 0 24 **201**	122 110 0 24 **256**	340 **340**		**1.69** **1.33**	**/unit** **/bed**			(303) 771-5100
10	ArtWalk City Center 801 Englewood Parkway, Englewood	Englewood Station 0.10 mile	Structure Courtyard	Yes	1 2 3 studio **Total**	 **438**	0 0 0 0 **0**	392 152 **544**	structure courtyard 	**1.24** 	**/unit** **/bed**			(303) 789-9660
11	Yale 25 Station 5121 E. Yale Ave, Denver	Yale Station 0.10 mile	Structure	Yes	1 2 3 studio **Total**	79 22 0 21 **122**	79 44 0 21 **144**	92 **92**		**0.75** **0.64**	**/unit** **/bed**			(303) 476-9031
					Average	**258**	**294**	**356**		**1.36** **1.01**	**/unit** **/bed**	**73%** **1.02**	**Parking Occupancy Rate** **demand per unit**	

June 18, 2020

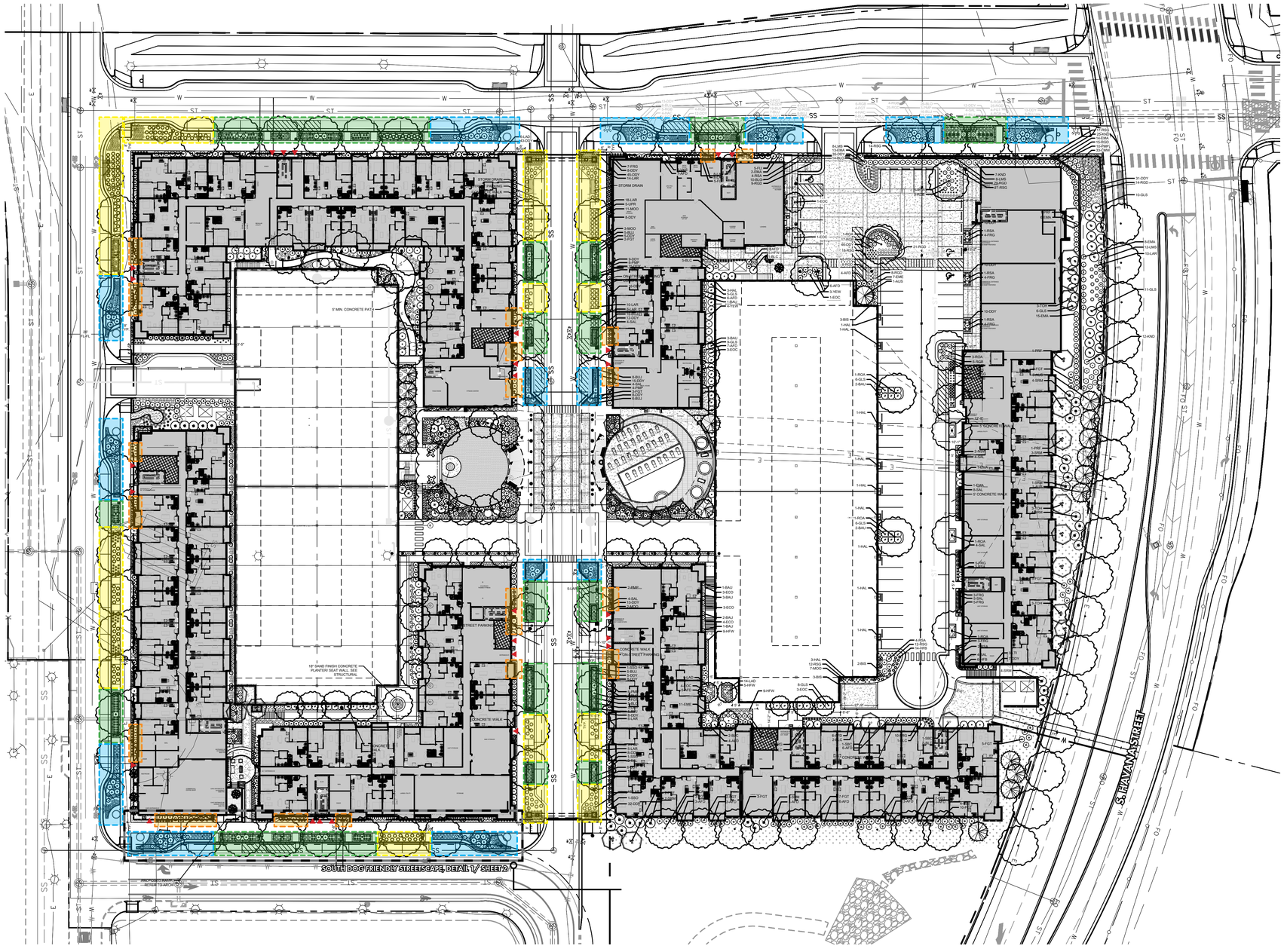
Echelon Property Group
7600 E Orchard Rd #200n
Greenwood Village, CO 80111

Echelon Property Group has put together a pet waste plan for Regency Partners new community RidgeGate Station. Echelon's plan includes implementing community rules and guidelines for proper pet waste removal that will be listed in our executed lease contract, which can result in fines and/or eviction for any rules that are not followed.

Pet waste collectors will be located throughout the property. These collectors will have proper signage and each will display the pet waste removal rules. The collectors will be conveniently located to encourage residents to pick up after their pets.
If needed, RidgeGate Station will hire a pet waste removal company to remove any waste at all pet waste collectors and on the grounds. We will also have a five-member maintenance team that will provide back up support to ensure the areas remain clean of any pet waste.

Sincerely,

Amie Robertshaw
VP of Operations | Echelon Property Group



1 OVERALL DOG FRIENDLY STREETSCAPE PLAN

Scale: 1"= 30'-0"

0 15 30 60

SCALE: 1" = 30'-0"

NORTH

LEGEND

RAISED PLANTER

The raised planters on the streetscape are typically found on the corners at street intersections. These planters feature an 18" HT sand-finished concrete planter wall with a trench slot drain running along the face to wash off any dog urine. The 18" HT. wall also acts as a barrier to prevent any dog or foot traffic from accessing the inner planting area.

- 18" HT. SAND-FINISHED CONCRETE PLANTER WALL
- ADJACENT 4" HT. CONCRETE CURB
- BRICK SLOT TRENCH DRAIN
- PROPOSED TREES
- DOG FRIENDLY SHRUB AND PERENNIAL PLANTINGS
- MULCH LAYER
- CIRCULAR STREET PLANTER

CRUSHER FINE PLANTER WITH TREE GUARD

These crusher fine planters with tree guard are going to be found closer to the egress/ ingress to the buildings. The planters contains a 1'-4" crusher fine boarder to give dogs a sizable area for dog's to go to the bathroom. On the edge of the crusher fine area, the plants are protected from animal and human foot traffic with a tree guard fencing.

- 1'-4" WIDE CRUSHER FINE BORDER
- PLANTER GUARD
- PROPOSED TREE
- DOG FRIENDLY SHRUB AND PERENNIAL PLANTINGS
- MULCH LAYER

MULCH PLANTER

The mulch planters contain salt tolerant plantings and are placed furthest from the ingress/ egress of the buildings. The salt tolerant plants will be more suitable for the salinity of dog urine.

- MULCH LAYER
- SINGLE STAND GRASS PLANTING AND DOG FRIENDLY SHRUBS/ PERENNIALS
- PROPOSED TREE

FRONT BUILDING PLANTER

The front building planters contain salt tolerant plantings and are located next to the ingress/ egress of the buildings. The salt tolerable plants will be more suitable for the salinity of dog urine.

- MULCH LAYER
- DOG FRIENDLY SHRUBS, PERENNIALS, AND GRASSES

INGRESS/ EGRESS

EVstudio
Denver, CO
Evergreen, CO

303.670.7242

inspections@evstudio.com
design@evstudio.com
www.evstudio.com

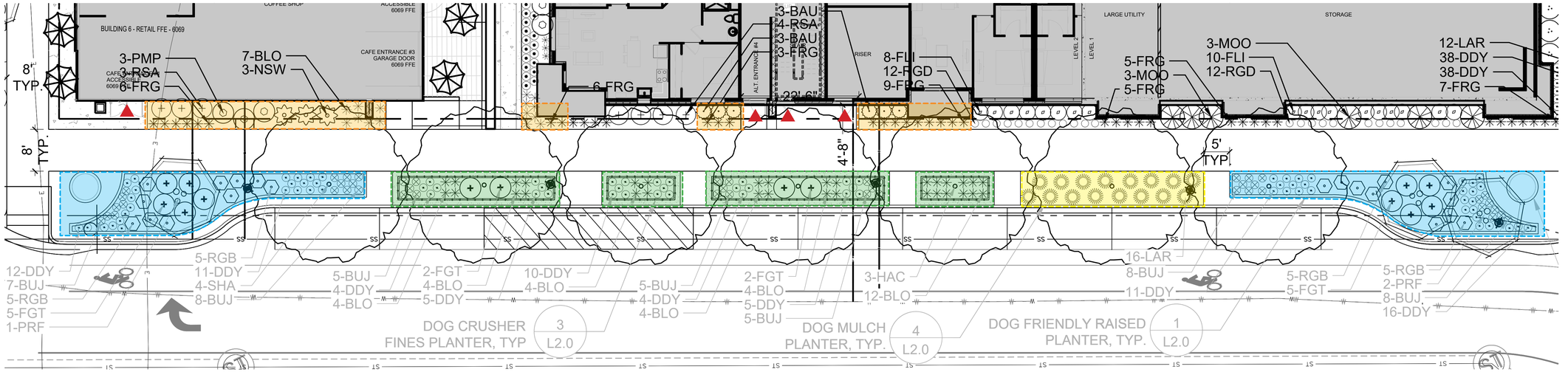
Contact:

REVISION:

DATE: 06/16/2020
DRAWN BY: LH
CHECKED BY: JH

OVERALL SITE STREETSCAPE PLAN

EX02



1 SOUTH DOG FRIENDLY STREETSCAPE PLAN

Scale: 1"= 10'-0"

0 5 10 20

SCALE: 1" = 10'-0"

NORTH

RAISED PLANTER PLANTINGS

SHA- SHADEMASTER HONEYLOCUST

RGB- ROSY GLOW BARBERRY

PRF- PRAIRIE FIRE CRABAPPLE

FGT- FORSYTHIA GOLDTIDE

BUJ- BURGUNDY CARPET BUGLE

DDY- STELLA D'ORO DAYLILLY

CRUSHER FINE PLANTER WITH TREE GUARD

SHA- SHADEMASTER HONEYLOCUST

BLO- BLONDE AMBITION BLUE GRAMA

BUJ- BURGUNDY CARPET BUGLE

DDY- STELLA D'ORO DAYLILLY

CRUSHER FINE PLANTER WITH TREE GUARD

SHA- SHADEMASTER HONEYLOCUST

LAR- BLUE DUNE LYME GRASS

FRONT BUILDING PLANTERS

NSW- SUMMERWINE NINEBARK

BAU- BLUE ARROW JUNIPER

PMP- PALOUSE MUGO PINE

RSA- RUSSIAN SAGE

FRG- FEATHER REED GRASS

EVstudio
Denver, CO
Evergreen, CO
303.670.7242
inspections@evstudio.com
design@evstudio.com
www.evstudio.com
Contact:

RIDGEGATE STATION

MIXED-USE URBAN MULTIFAMILY COMMUNITY
LONE TREE, COLORADO

19082

REVISION:

DATE: 06/16/2020
DRAWN BY: LH
CHECKED BY: JH

SOUTH STREETSCAPE PLAN

EX03

June 18, 2020

Echelon Property Group
7600 E Orchard Rd #200n
Greenwood Village, CO 80111

Echelon Property Group has put together a pet waste plan for Regency Partners new community RidgeGate Station. Echelon's plan includes implementing community rules and guidelines for proper pet waste removal that will be listed in our executed lease contract, which can result in fines and/or eviction for any rules that are not followed.

Pet waste collectors will be located throughout the property. These collectors will have proper signage and each will display the pet waste removal rules. The collectors will be conveniently located to encourage residents to pick up after their pets.
If needed, RidgeGate Station will hire a pet waste removal company to remove any waste at all pet waste collectors and on the grounds. We will also have a five-member maintenance team that will provide back up support to ensure the areas remain clean of any pet waste.

Sincerely,

Amie Robertshaw
VP of Operations | Echelon Property Group