

Development Application

Planning Division
 9220 Kimmer Drive, Lone Tree, CO 80124
 303.708.1818 | www.cityoflonetree.com



CITY OF LONE TREE

Instructions: All sections must be completed and typed or legibly printed. All required attachments must be included. This application does not cover Building Division and Public Works submittal requirements and fees.	
Application Type <input type="checkbox"/> Presubmittal <input type="checkbox"/> Final Plat <input checked="" type="checkbox"/> SIP <input type="checkbox"/> Re-Plat <input type="checkbox"/> SIP Amendment <input type="checkbox"/> Rezoning <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Variance <input type="checkbox"/> Other	For Planning Division Use Project Name: Tall Tales Ranch SIP Job # SP20-02 Application Fee: \$3,200 Check/Transaction #: 118247674PT Date: 01/10/10 Staff Initials: JD

Project Information	
Project Name: Tall Tales Ranch	Project Address: 10800 S. Havana Street, Lone Tree, CO 80124
State Parcel ID: 2231-232-00-005	Subdivision: RidgeGate
Acreage: 4.01	Lot #: N/A
Existing Zoning: PD	Block #: N/A
Proposed Rezoning: PD	Filing #: N/A
Project Description (submit additional sheets if necessary): Mixed-Use Residential and Commercial community with two sets of paired houses (28 total apartments), a common residential building (intended for shared use among tenants), a community garden and garden shed, Event Center Barn with coffee shop, and shared parking for residents and guests. Reference the SIP Narrative for more detailed information on design and intent.	

Owner and Representative Information	
Property Owner Information	Applicant Information if Different than Owner
Name (Individual or Organization): Schweiger Ranch Foundation	Name (Individual or Organization): Susan Mooney
Mailing Address: 10270 Commonwealth St. Ste B, Lone Tree, CO 80124	Mailing Address: 6311 S. Grant Drive, Centennial, CO 80121
Phone: 720-390-5211	Phone: 303-806-9141
Email: ematthews@coventrydevelopment.com	Email: susan@talldtalesranch.org



CITY OF LONE TREE

Site Improvement Plan Project Narrative & Statement of Design Intent Template

Planning Division

9220 Kimmer Drive, Lone Tree, Colorado 80124

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Project Name Tall Tales Ranch

Project # _____

Project Location RidgeGate PDD Parcel #7

Date April 16, 2020

Project Narrative

[ARTICLE XXVII - Site Improvement Plan \(SIP\) Project Narrative](#). The SIP process is intended to provide for development that enhances the quality of life in the City by promoting high-quality design and a strong economy, and by fostering a sustainable and healthy community. The SIP process is required to ensure the development will be in conformance with the [Comprehensive Plan](#), the [Design Guidelines](#), applicable chapters of this [Code](#) and applicable Planned Developments and Sub-Area Plans.

Using this form or a separate page(s), the applicant shall provide a written narrative describing their project. Use the following outline (Sec. 16-27-60) as a guide when formulating your narrative – please disregard sections that do not apply to your project:

1. General information.

- a. Provide the subdivision name, filing number, planning area number when located in a Planned Development, lot and block number or street address and section, township and range if not in a subdivision, and name of project.

The proposed SIP is within the RidgeGate, 6th Amendment Planned Development District, Planning Area SR32.

- b. Indicate zoning of the site and the zoning and current uses of adjacent land.

The site is in the Historic Schweiger Ranch planning area within the PDD. The site is located south of land zoned as City Center and open space; west of land zoned as open space; east of unzoned land (I-25) and the RidgeGate Station; and north of land zoned as open space in the RidgeGate PDD 6th Amendment.

2. Development impacts. Describe overall impacts of the proposed development on adjacent lands and methods for mitigating those impacts.

The site has been designed to transition uses from the City Center toward the north, to the Historic Schweiger Ranch sub-area and regional park to the south. The northern-most portion of the site, adjacent to South Havana Street, includes the Barn Event Center and coffee shop, bringing commercial and public facing uses to the most visible part of the site. The coffee shop includes outdoor seating, contributing to life on the street and creating a visual connection for people using the RTD Park 'n Ride.

Land uses are less intense in the remainder of the site. In the far-western portion of the site, a small orchard and raised-planter garden are situated south of South Havana Street, providing a gentle transition from the road and City Center area into the adjacent open space. The paired cottages that are sited southeast of the of the garden area are the buildings closest to the Schweiger Ranch Historic preservation area.

Impacts to adjacent lands have generally been mitigated by limiting grading impacts to within the site boundaries. The Applicant has been working directly with Schweiger Ranch on limiting visual impacts by installing a landscape screen consisting of evergreen plant materials between the two sites. Other coordination between the two parties included a preliminary review process of the site plan, architecture, and materials by the Schweiger Ranch for aesthetic continuity, building separation and building height.

3. Compliance with Intent and Approval Standards. Describe how the development complies with the Intent (Section 16-27-10) and Approval Standards (Subsection 16-27-90(a)) of this Article.

In keeping with the City of Lone Tree Comprehensive Plan policies, and the Schweiger Ranch Sub Area Plan, Tall Tales Ranch is being developed in order to provide adults with intellectual and developmental disabilities with a place to live and work in supportive community that helps them to reach their full potential. The facility will provide a great quality of life for residents, support and contribute to the local economy, and add to area development in an architectural style that respects and builds upon the agrarian aesthetic of the Schweiger Ranch Area. Sited within a stones-throw of the RidgeGate RTD station, Tall Tales Ranch will benefit from sustainable transportation options for visitors, as well as residents, who are likely to depend on public transportation.

As a development in the Schweiger Ranch Sub-Area, Tall Tales Ranch provides an ideal transition from City Center to the adjacent Happy Canyon Creek open space. In addition to residences, the site includes an event center and coffee shop—all of which are designed in an agriculturally inspired style—that will provide work opportunities to residents, and connection to the community at-large. The garden, various buildings are all connected via sidewalks, which are lit with theme appropriate fixtures and lined with shrubs and shade trees. Moving outward, naturalistic landscaping along the perimeter of Tall Tales Ranch creates a gentle transition from developed land to open space, in addition to following the sub area guidelines for screening and buffering adjacent land uses.

4. Development phasing. Describe the proposed development schedule and phases of development for all proposed construction.

TTR's Construction Phasing Plan is reflected in the plan below. We believe a phased construction approach is financially prudent. Tall Tales Ranch will complete the following site improvement activities prior to building construction (Phase 1): site over-lot and grading, installation of detention ponds, fire hydrants, and installation of site utilities. Phase 1 work will also include landscaping along Havana Street and to the northeast of the Barn Event Center.

Tall Tales Ranch preference for Phase 1 is to construct one of the paired cottage buildings, the Barn Event Center, and the associated parking lot. The reasons for including a paired cottage building in Phase 1 are:

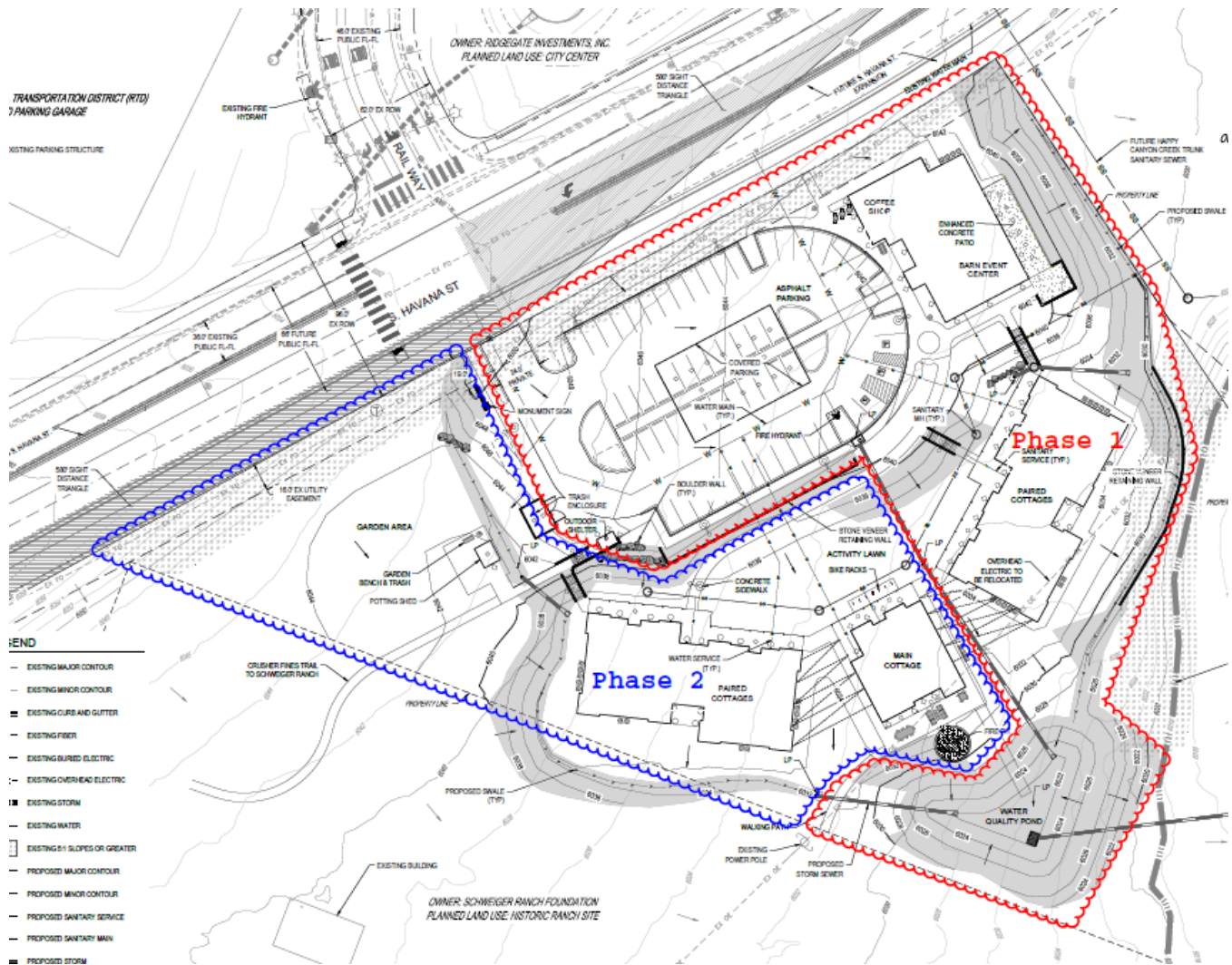
- (1) It will provide a residential component—essential to the intent of the Schweiger Ranch Sub Area Plan— from the beginning of the site's development; and,*
- (2) It will enable participants to live onsite, fulfilling the vision of Tall Tales Ranch.*

As a non-profit 501 ©(3) organization, Tall Tales Ranch is bound to proceed cautiously, thoughtfully and within our means. Constructing a paired cottage inclusive of site improvements and the parking lot is a significant capital expenditure, so financial support from the Barn Event Center will be critical to the financial health of the organization.

The reasons for the Barn Event Center in Phase 1 are:

- (1) It will offer a focal point for Tall Tales Ranch that has been in the planning stage for five years;*
- (2) It will establish a communal center for our current participants, future participants and guests;*
- (3) It will generate revenue from the coffee shop and social events;*
- (4) It will provide vocational training for participants;*
- (5) It will provide for a permanent meeting location to conduct meetings, organize fund raising activities, capital campaign events and other non-profit organizations; and,*

Tall Tales Ranch preference for Phase 2 is to construct the second of the paired cottage buildings, the main cottage, and remaining site improvements (walking paths, fire pits, garden area, irrigation, landscape, etc.). As site utilities will already be installed, we will not disturb the Barn Event Center activities or parking lot. We will access the site from the southwest corner working in a clockwise fashion. The last improvement to be constructed will be the garden area.



5. Other project data.

- a. Total number of employees on maximum shift when known (for parking purposes).

Total number of employees is to be determined based on market demands.

- b. Square footage of building.

Total square footage of all buildings included on site is approximately 19,753 square feet.

- c. Lot area.

Total lot area is 174,537 square feet (4.0 acres)

- d. Anticipated opening date.

Opening of the facilities is dependent on future public infrastructure improvements as well as fundraising and market demands.

6. **Sustainability.** Highlight ways in which the project furthers the City's environmental goals regarding sustainability. This may include a general description of the project location relative to other uses, public transit and trails; ease of travel to key destinations on foot or bicycle; water conservation and water quality measures; site layout; green building practices; or operational aspects of the use such as waste reduction, recycling or commuter trip reduction programs.

The site's location will allow residents, employees and visitors multiple options for sustainable transportation to and from Tall Tales Ranch. The nearby RTD Rail Station will offer rail connection to the site, while proposed trails within the open space and bike trails along RidgeGate Parkway will offer active transportation opportunities. Further, the site is adjacent to the Lone Tree City Center planning area, and upon City-Center build-out, will offer residents the benefits of a vibrant central district within walking distance of the Ranch.

Water conservation onsite will be achieved through the strategic use of native plants including grasses, shrubs, perennials, and canopy and evergreen trees; much of the on-site landscaping will accordingly, require little or no irrigation. Irrigation plans for landscaping and raised planters has been included with SIP-02. The landscape will use drip irrigation wherever possible, except for turf areas to help reduce overall water use.

7. **Variations if applicable.** For those SIPs for which a variance from the standards in this Chapter, the Design Guidelines or Sub-Area Plans is requested, the narrative shall also explain the need for the variance. (Public notice may be required, see Section 16-26-60).

No variances are requested for this SIP.

Statement of Design Intent

Please describe how the project meets the intent of the [City of Lone Tree Design Guidelines](#), including the city's Core Design Principles (p. 11). If the project is located within a Planned Development that is governed by additional design standards or guidelines, please address how the project satisfies the intent of those standards and guidelines as well.

Please use the outline below as a guide in formulating your response. You may also use this opportunity describe particular strengths, unique features, sustainable practices, or innovations that distinguish the design of the project, as well as any particular opportunities or challenges that should be considered. This Statement of Design Intent is intended to encourage thoughtful consideration of design guidelines and to give project reviewers and decision makers a more thorough understanding of the project.

1. Overall Design Concept. Briefly describe the use and overall concept for the project as a whole.

Tall Tales Ranch is intended to provide supportive housing and work opportunities for adults with intellectual and developmental disabilities, along with other adults of different abilities, and staff. The site includes 28 apartments in paired cottages, along with a community living space for residents, and an event building with a coffee shop. Residents may choose to work in the event building or coffee shop, working alongside people of different abilities, thus expanding their community. Residents will also have the opportunity to tend the small orchard and raised-bed garden on the western end of the site. The event venue and coffee shop will serve as micro-businesses on-site that will provide revenue and employment opportunities, while extending the reach and mission of Tall Tales Ranch into the community.

2. Context and Site. Describe how the project relates functionally and visually to the context of the surrounding area. Consider issues of form and character, the natural environment, vehicular and pedestrian access and circulation, etc.

Tall Tales Ranch is within the RidgeGate Planned Development District and meets many of the goals of the district. The Ranch will provide a mix of commercial and residential uses on-site, within close proximity of public and active transportation options, as well as the future City Center district. Additionally, the site provides a transition from the more intensive uses of the City Center district into the Open Space area along Happy Canyon Creek with its two-story buildings, agrarian aesthetic, and native planting palette and design.

Residents, employees, and visitors to the site may access it through the future pedestrian and bicycle trails proposed within the comprehensive plan, from the adjacent RTD station, or by personal vehicle. The Site Improvement Plan proposes a crosswalk with pavement markings, warning signs, yield pavement marking, and Rectangular Rapid Flashing Beacons to provide users with a safe way to cross Havana Street, particularly when it is expanded in the future. Please reference the Traffic Impact Study for additional information related to the pedestrian crossing between The Ranch and the RTD station. The Ranch is internally connected by a series of walks that connect the orchard, residential buildings, and event building, as well as by a walking path on the south side of the site. The portion of the Ranch facing the Open Space includes native planting and aesthetically designed water infiltration and detention areas that maximize the advantages of grade on-site.

3. Public Realm. Describe how the project contributes to an inviting, safe and functional public realm. Consider public spaces, street/sidewalk – level experience, lighting, landscaping, and signage.

Tall Tales Ranch will contribute to the public realm through improvements along the southern side of South Havana Street, as well as through the indoor and outdoors spaces at the Coffee Shop and Event Barn. Right of way improvements will include a detached sidewalk lined with deciduous trees in the tree lawn. The sidewalk will be lined with planting beds and no-mow sod adjacent to the developed portions of the site. Outdoor seating at the coffee shop will provide additional eyes on the street as well as a clear visual destination for users of the RidgeGate RTD station.

All the residential buildings will feature front porches that look toward South Havana Street and the activity lawn, promoting an active public realm. Lighting on-site will be kept close to buildings, enabling safety during dark hours, while minimizing light pollution on the surrounding area.

4. Architectural Design. Describe how the architectural design contributes to the unique qualities of the area and how design concepts result in a unified, functional and high-quality design. Consider building form and composition, façade composition and articulation, and materials, colors, and lighting.

The architecture of Tall Tales Ranch pays homage to the adjoining Schweiger Ranch property. It reflects both the historic homestead and supporting ranch structures.

The Barn is a Community Building. It will serve as a source of revenue, an event space, a coffee house, and provide office space for Tall Tales Ranch. A unique component to this building is the addition of office/flex spaces that can be utilized by entrepreneurial residents at Tall Tales Ranch. The architecture reflects that of a traditional monitor barn with a portion of raised roof and high glass along the ridge axis. The deep mauve lap siding and weathered wood tones of the vertical siding were selected to reflect a seasoned barn building, without having an overbearing presence on the site.

The Main Cottage is the heart of Tall Tales Ranch and for its residents. Referred to as “The Big, Blue House,” it will house the kitchen, dining room, living room, lounge and library; encouraging community connections. The simple, gable-end farmhouse style form, wrap-around porch with wooden posts and angled brackets, and residential layout are all designed to encourage a sense of home and belonging for its residents. The rich, blue color of the lap siding identifies the house as a focal point, both visually and programmatically.

The paired 7-plexes are designed to look and feel like ranch bunkhouses. While each resident is offered a fully equipped apartment; community gathering spaces, laundry rooms, and deep front porches, with wooden posts and angled brackets, are all designed to bring the community together. The grey-tones of the lap and board & batten siding used on the paired 7-plexes were selected to provide a quieter, softer palette.

The parking structure and accessory buildings were all designed to reflect the support structures found on a ranch property. The outdoor shelter is reflective of an old hitching post, the potting shed emulates a tiny one-room schoolhouse. All accessory buildings share a color palette with the barn building – tying the campus together.

Applicant/Preparer Contact Information

Name: *Diana Rael*

Business: *Norris Design*

Address: *1101 Bannock Street, Denver, Colorado 80204*

Phone: *303-892-1166*

Email: *drael@norris-design.com*

Owner Contact Information if Different from Applicant

Name: *Susan & Pat Mooney*

Business: *Tall Tales Ranch*

Address: *6311 S. Grant Drive, Centennial, CO 80121*

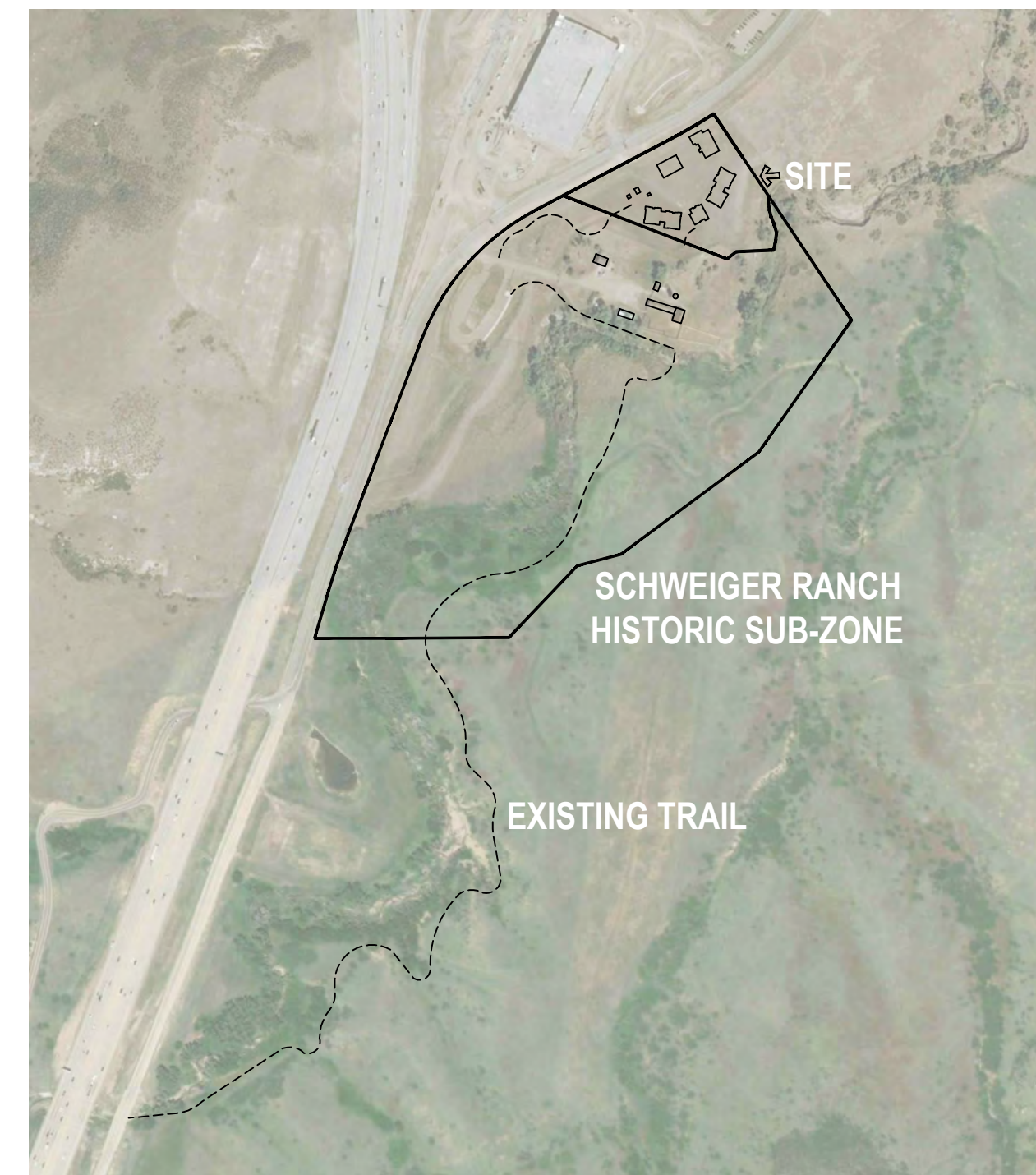
Phone: *303-806-9141 ext. 1*

Email: susan@talltalesranch.org and pat@talltalesranch.org

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

4.01 ACRES
 SP20-02



RIDGEWAY PDD

SCALE: NTS

NOTES:

1. THE PROPERTY HEREIN IS SUBJECT TO ALL APPLICABLE REQUIREMENTS OF THE LONE TREE ZONING CODE, INCLUDING BUT NOT LIMITED TO MAINTENANCE, LIGHTING, PARKING, SIGNAGE, AND OUTDOOR STORAGE, EXCEPT AS MAY OTHERWISE BE ADDRESSED IN AN APPROVED DEVELOPMENT PLAN OR SUB-AREA PLAN.
2. ANY EXTERIOR MODIFICATIONS TO BUILDINGS OR THE SITE MAY TRIGGER A SITE IMPROVEMENT PLAN AMENDMENT. CONTACT THE PLANNING DIVISION PRIOR TO MAKING ANY EXTERIOR MODIFICATIONS.

SHEET INDEX

- 01 COVER SHEET
- 02 SITE PLAN
- 03 GRADING PLAN
- 04 UTILITY PLAN
- 05 LANDSCAPE SCHEDULE
- 06 HARDSCAPE PLAN
- 07 LANDSCAPE PLAN
- 08 LANDSCAPE DETAILS
- 09 LANDSCAPE DETAILS
- 10 LANDSCAPE DETAILS
- 11 LANDSCAPE DETAILS
- 12 LANDSCAPE MATERIALS
- 13 SITE LIGHTING PLAN
- 14 SITE LIGHTING DETAILS
- 15 BARN ELEVATIONS
- 16 BARN ELEVATIONS
- 17 PAIRED 7-PLEX ELEVATIONS
- 18 PAIRED 7-PLEX ELEVATIONS
- 19 MAIN COTTAGE ELEVATIONS
- 20 PARKING STRUCTURE
- 21 ACCESSORY BUILDINGS
- 22 SITE MATERIALS SCHEDULE
- 23 IRRIGATION NOTES
- 24 IRRIGATION PLAN
- 25 IRRIGATION DETAILS
- 26 IRRIGATION DETAILS
- 27 IRRIGATION CHARTS / DETAILS

APPROVAL CERTIFICATE
 THIS SIP HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORD WITH CITY REGULATIONS, AS APPROVED BY THE CITY ON _____.

By: _____
 (Printed Name)
 Title: Community Development Director

 (Signature) (Date)

By: _____
 (Printed Name)
 Title: Director of Public Works
 or his/her designated representative

 (Signature) (Date)

By: _____
 (Printed Name)
 Title: Mayor

 (Signature) (Date)

The owner(s) of the lands described herein, hereby agree(s) (1) to develop and maintain the property described hereon in accordance with this approved Site Improvement Plan and in compliance with Chapter 16 of the Lone Tree Municipal Code and that (2) the heirs, successors and assigns of the owner(s) shall also be bound. The signatures of the owner(s)'s representative(s) below indicate that any required authorizations to enter this agreement, including any corporate authorizations, have been obtained.

 (Name of Owner)

 (Signature of Owner)

 (Printed Name and Title)

State of _____)

) ss.

County of _____)

Subscribed and sworn to before me this _____ day of _____, 20____, by _____

Witness my hand and official seal.

My commission expires: _____ / _____ / _____

 Notary Public

Approval by the City of Lone Tree does not signify that the requirements of the Americans with Disabilities Act (ADA) have been satisfied. The applicant is responsible to ensure that said ADA requirements have been met.

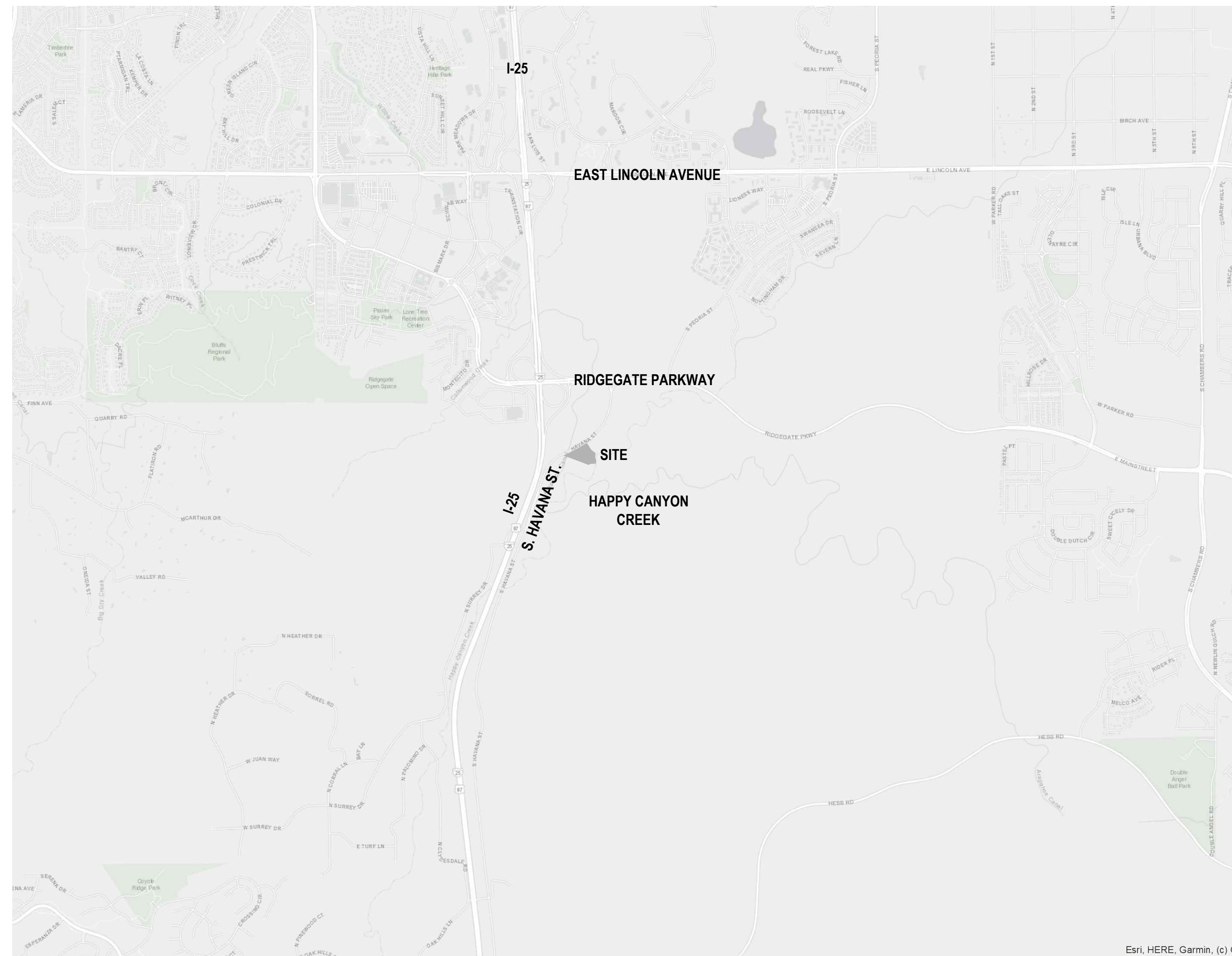
TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

OWNER:
 TALL TALES RANCH
 SUSAN MOONEY
 6311 SOUTH GRANT DRIVE
 CENTENNIAL, CO 80121
 303.806.9140

NOT FOR CONSTRUCTION

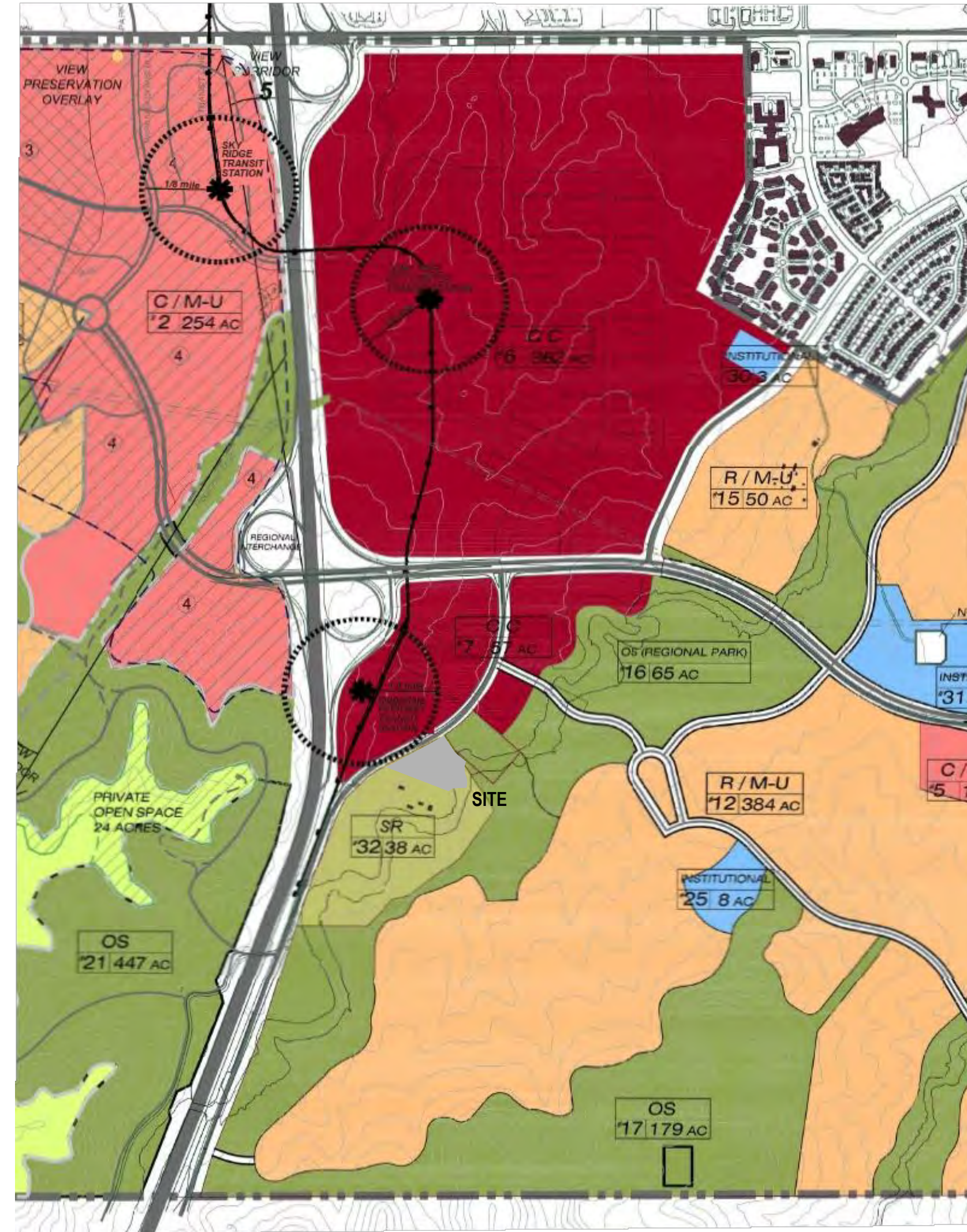
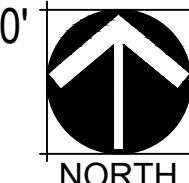
DATE:
 (SIP 01) 01/10/2020
 (SIP 02) 04/05/2020

SHEET TITLE:
 COVER SHEET



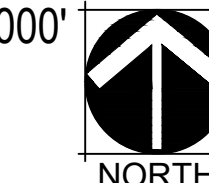
VICINITY MAP

SCALE: 1" = 2,000'



RIDGEGATE PDD

SCALE: 1" = 1,000'



SITE DATA TABLE		
Item	Square Footage	% of Gross Site
Gross Site Area	174,537	100
Building Footprint	20,167	11.6
Parking/Roads (including planted interior parking islands)	25,898	14.8
Hardscape	15,569	8.9
Landscaped area (excluding planted interior parking islands, trails and walks)	22,282	12.8
Natural areas (not included in the required landscaped area)	71,126	40.8
Item	Square Footage	
Building Size		
Maximum Height (as measured by the City's Building Code)	29'-9 3/4"	
Total Floor Area (see definition of floor area in Article XXXVI)	35,381	
Item	Spaces Required	
Parking		
Required	41	
Provided	60	
Bicycle Parking		
Required	2	
Provided	12	

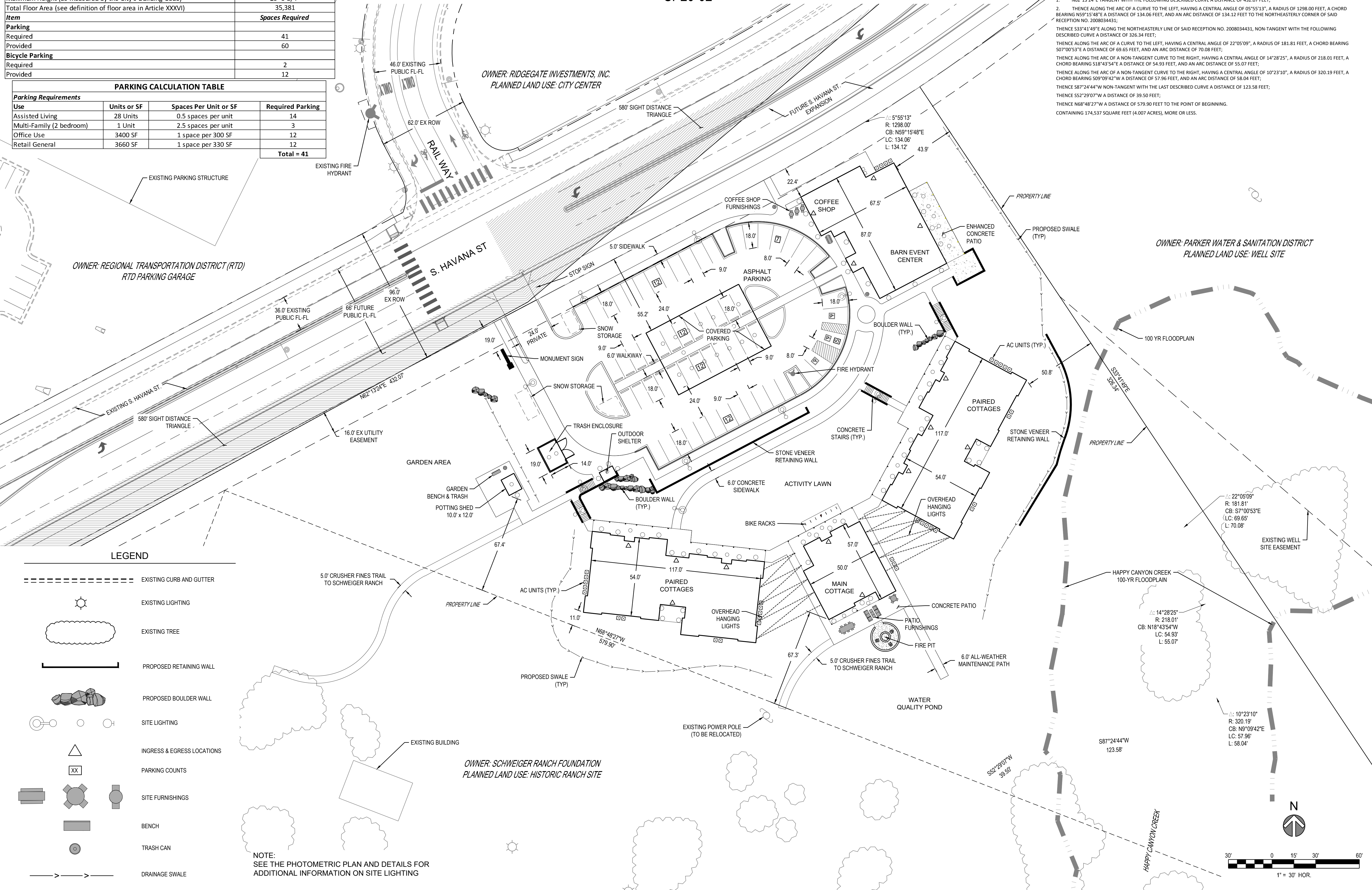
PARKING CALCULATION TABLE			
Parking Requirements	Units or SF	Spaces Per Unit or SF	Required Parking
Assisted Living	28 Units	0.5 spaces per unit	14
Multi-Family (2 bedroom)	1 Unit	2.5 spaces per unit	3
Office Use	3400 SF	1 space per 300 SF	12
Retail General	3660 SF	1 space per 330 SF	12
			Total = 41

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

4.01 ACRES
SP20-02

PROPERTY DESCRIPTION:
A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 23, AS BEARING N89°40'20"E A DISTANCE OF 2636.38 FEET BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 23, BEING A FOUND 1-1/2" BRASS CAP, SET IN A 6" DIAMETER CONCRETE POST AND THE CENTER QUARTER CORNER OF SAID SECTION 23 BEING FOUND 6" X 10" STONE WITH A CHISELED "X" ON THE TOP.
COMMENCING AT SAID WEST QUARTER CORNER OF SECTION 23:
THENCE N21°49'40"E A DISTANCE OF 1576.08 FEET TO A POINT ON THE SOUTHEASTELY RIGHT-OF-WAY LINE OF SOUTH HAVANA STREET AS DESCRIBED IN THAT CORRECTIVE DEED RECORDED AT RECEPTION NO. 2007037631 IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER, SAID POINT ALSO BEING ON THE NORTHWESTERLY LINE OF THE SCHWEIGER RANCH FOUNDATION DEED RECORDED AT RECEPTION NO. 2008034431 IN THE OFFICE OF THE DOUGLAS COUNTY CLERK AND RECORDER, SAID POINT BEING THE POINT OF BEGINNING;
THENCE ALONG SAID SOUTHEASTELY RIGHT-OF-WAY LINE OF SOUTH HAVANA STREET AND SAID NORTHWESTERLY LINE OF RECEPTION NO. 2008034431 THE FOLLOWING TWO COURSES:
1. N62°13'24"E TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 432.07 FEET;
2. THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 05°55'13", A RADIUS OF 1298.00 FEET, A CHORD BEARING N59°15'48"E A DISTANCE OF 134.06 FEET, AND AN ARC DISTANCE OF 134.12 FEET TO THE NORTHEASTELY CORNER OF SAID RECEPTION NO. 2008034431;
THENCE S33°41'49"E ALONG THE NORTHEASTELY LINE OF SAID RECEPTION NO. 2008034431, NON-TANGENT WITH THE FOLLOWING DESCRIBED CURVE A DISTANCE OF 326.34 FEET;
THENCE ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A CENTRAL ANGLE OF 22°05'09", A RADIUS OF 181.81 FEET, A CHORD BEARING S07°03'37"E A DISTANCE OF 59.65 FEET, AND AN ARC DISTANCE OF 70.08 FEET;
THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 14°28'25", A RADIUS OF 218.01 FEET, A CHORD BEARING S18°43'54"E A DISTANCE OF 54.93 FEET, AND AN ARC DISTANCE OF 55.07 FEET;
THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A CENTRAL ANGLE OF 10°23'10", A RADIUS OF 320.19 FEET, A CHORD BEARING S09°09'42"W A DISTANCE OF 57.96 FEET, AND AN ARC DISTANCE OF 58.04 FEET;
THENCE S87°24'44"W NON-TANGENT WITH THE LAST DESCRIBED CURVE A DISTANCE OF 123.58 FEET;
THENCE S52°29'07"W A DISTANCE OF 39.50 FEET;
THENCE N68°48'27"W A DISTANCE OF 579.90 FEET TO THE POINT OF BEGINNING.
CONTAINING 174,537 SQUARE FEET (4.007 ACRES), MORE OR LESS.



TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

NOT FOR CONSTRUCTION

DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
SITE PLAN

CHECKED BY: SM
DRAWN BY: WW

NOTE:
SEE THE PHOTOMETRIC PLAN AND DETAILS FOR
ADDITIONAL INFORMATION ON SITE LIGHTING

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
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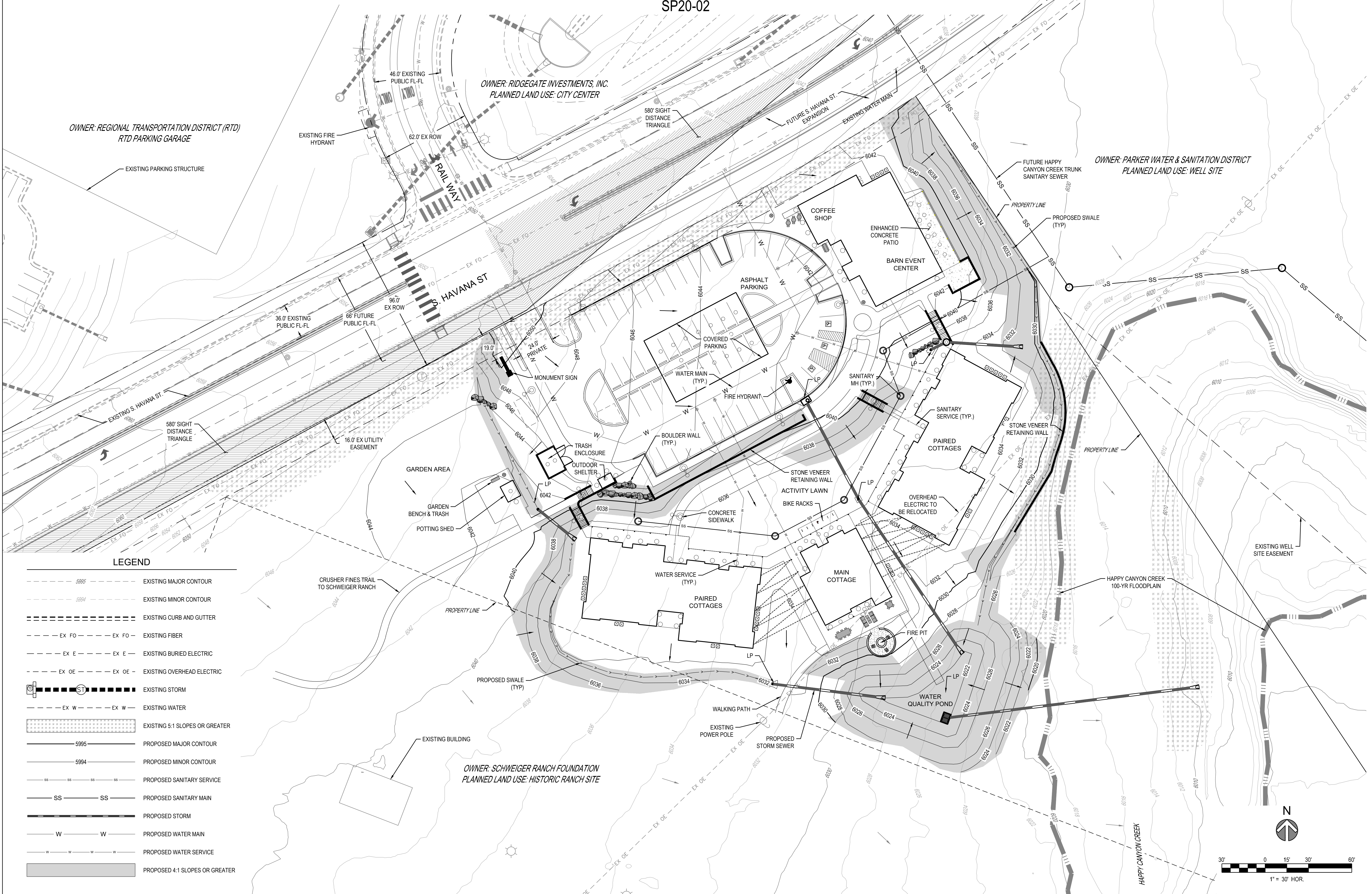
TALL TALES RANCH SITE IMPROVEMENT PLAN LONE TREE, COLORADO CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

NOT FOR
CONSTRUCTION

DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
GRADING PLAN



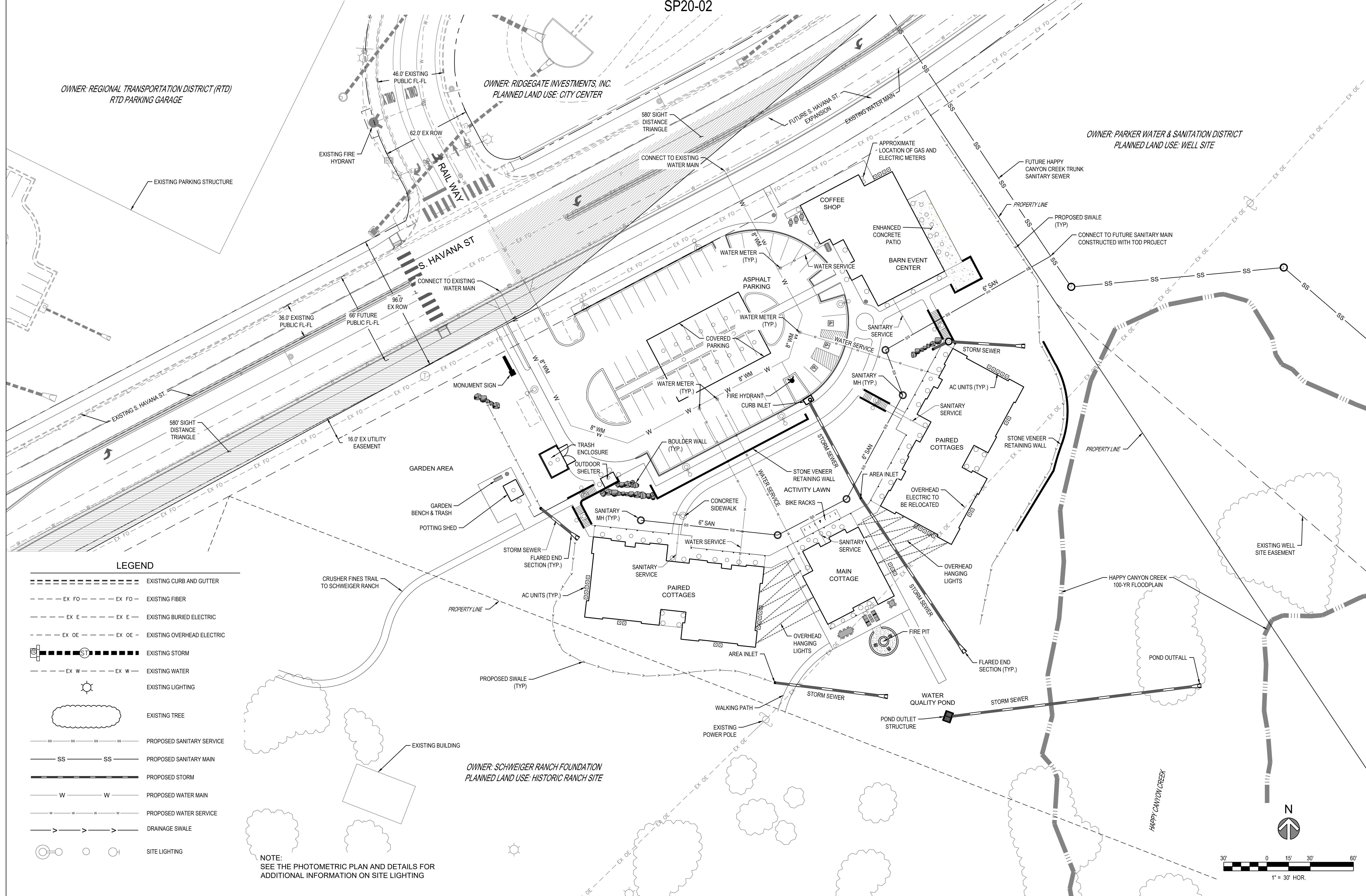
CHECKED BY: SM
DRAWN BY: WW

LEGEND

- 5995 --- EXISTING MAJOR CONTOUR
- 5994 --- EXISTING MINOR CONTOUR
- EX FO --- EX FO --- EXISTING FIBER
- EX E --- EX E --- EXISTING BURIED ELECTRIC
- EX OE --- EX OE --- EXISTING OVERHEAD ELECTRIC
- EX W --- EX W --- EXISTING WATER
- 5995 --- PROPOSED MAJOR CONTOUR
- 5994 --- PROPOSED MINOR CONTOUR
- SS --- SS --- PROPOSED SANITARY SERVICE
- SS --- SS --- PROPOSED SANITARY MAIN
- --- --- PROPOSED STORM
- W --- W --- PROPOSED WATER MAIN
- W --- W --- PROPOSED WATER SERVICE
- --- --- PROPOSED 4:1 SLOPES OR GREATER

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 4.01 ACRES
 SP20-02



OWNER: REGIONAL TRANSPORTATION DISTRICT (RTD)
 RTD PARKING GARAGE

OWNER: RIDGEGATE INVESTMENTS, INC.
 PLANNED LAND USE: CITY CENTER

OWNER: PARKER WATER & SANITATION DISTRICT
 PLANNED LAND USE: WELL SITE

OWNER: SCHWEIGER RANCH FOUNDATION
 PLANNED LAND USE: HISTORIC RANCH SITE

LEGEND

- EX C&G --- EX C&G --- EXISTING CURB AND GUTTER
- - - EX FO - - - EX FO - EXISTING FIBER
- - - EX E - - - EX E - EXISTING BURIED ELECTRIC
- - - EX OE - - - EX OE - EXISTING OVERHEAD ELECTRIC
- EX ST --- EX ST --- EXISTING STORM
- - - EX W - - - EX W - EXISTING WATER
- ☀ --- --- --- EXISTING LIGHTING
- ◯ --- --- --- EXISTING TREE
- SS --- SS --- PROPOSED SANITARY SERVICE
- SS --- SS --- PROPOSED SANITARY MAIN
- S --- S --- PROPOSED STORM
- W --- W --- PROPOSED WATER MAIN
- WS --- WS --- PROPOSED WATER SERVICE
- > ---> --- DRAINAGE SWALE
- ◯ --- --- --- SITE LIGHTING

NOTE:
 SEE THE PHOTOMETRIC PLAN AND DETAILS FOR
 ADDITIONAL INFORMATION ON SITE LIGHTING

CHECKED BY: SM
 DRAWN BY: WW

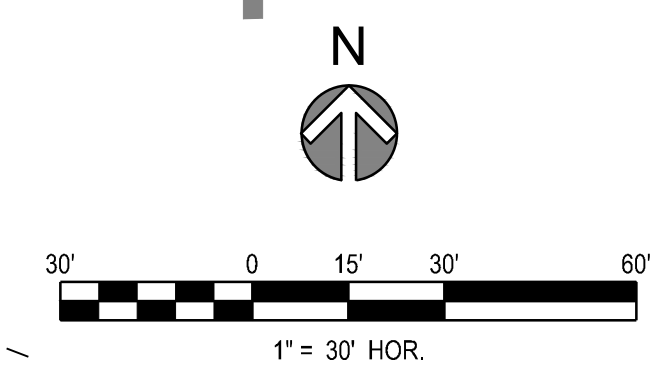
TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

OWNER:
 TALL TALES RANCH
 SUSAN MOONEY
 6311 SOUTH GRANT DRIVE
 CENTENNIAL, CO 80121
 303.806.9140

NOT FOR
 CONSTRUCTION

DATE:
 (SIP 01) 01/10/2020
 (SIP 02) 04/05/2020

SHEET TITLE:
 UTILITY PLAN



TALL TALES RANCH
A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
4.01 ACRES
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TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

NOT FOR
CONSTRUCTION

DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
LANDSCAPE
SCHEDULE

GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE AND THE CITY COMMUNITY DEVELOPMENT DEPARTMENT. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 4 CU.YRDS/1,000SF OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- SHRUB, GROUND COVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3' OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 4" DEPTH, GORILLA HAIR WOOD MULCH. NO GEOTEXTILE WEED CONTROL FABRIC IS REQUIRED.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 6" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL.
- PRIOR TO THE PLACEMENT OF MULCH, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.

PLANT PALETTE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & COND.
DECIDUOUS CANOPY TREES				
CAH	2	CATALPA SPECIOSA 'HIAWATHAZ 2'	HEARTLAND CATALPA	2.5" CAL. B&B
LAN	1	POPULUS X ACUMINATA	LANCELEAF COTTONWOOD	2.5" CAL. B&B
BUR	3	QUERCUS MACROCARPA	BUR OAK	2.5" CAL. B&B
OAK	7	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	2.5" CAL. B&B
SPH	4	STYPHNOLOBIUM JAPONICUM 'HALKA'	HALKA SCHOLAR TREE	2.5" CAL. B&B
TIL	1	TILIA AMERICANA 'REDMOND'	BASSWOOD	2.5" CAL. B&B
ELM	6	ULMUS WILSONIANA 'PROSPECTOR'	PROSPECTOR ELM	2.5" CAL. B&B
EVERGREEN TREES				
PIN	11	PINUS EDULIS	PINION PINE	6' HT.
AUS	12	PINUS NIGRA	AUSTRIAN PINE	6' HT.
PON	16	PINUS PONDEROSA	PONDEROSA PINE	6' HT.
CBS	11	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	6' HT.
FIR	10	PSUEDOTSUGA MENZIESII	DOUGLAS FIR	6' HT.
ORNAMENTAL TREES				
SER	20	AMELANCHIER LAEVIS 'SPRING FLURRY'	SPRING FLURRY SERVICEBERRY	6' CLUMP, B&B
HAW	4	CRATAEGUS DOUGLASSII	DOUGLAS HAWTHORN	2' CAL. B&B
MAL	4	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2' CAL. B&B
CAP	6	PRUNUS AMERICANA 'CHINESE'	CHINESE APRICOT	2' CAL. B&B
BCP	6	PRUNUS AVIUM 'BING'	BING CHERRY	2' CAL. B&B
PIP	6	PRUNUS SALICINA 'PIPESTONE'	PIPESTONE PLUM	2' CAL. B&B
GAM	3	QUERCUS GAMBELII	GAMBLE OAK	6' CLUMP
TOTAL 133				
EVERGREEN SHRUBS				
PAN	4	ARCTOSTAPHYLOS X COLORADENSIS	PANCHITO MANZANITA	#5 CONT.
INK	4	ILEX GLABRA 'NORDIC'	NORDIC INKBERRY	#5 CONT.
GMJ	4	JUNIPERUS PROCUMBENS 'GREEN MOUND'	GREENMOUND JUNIPER	#5 CONT.
GOJ	13	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.
MUG	5	PINUS MUGO PUMILIO	DWARF MUGO PINE	#5 CONT.
SSP	10	PINUS SYLVESTRIS 'ALBYN PROSTRATA'	SPREADING SCOTS PINE	#5 CONT.
DECIDUOUS SHRUBS 9'+ SPREAD				
NAN	2	PRUNUS TOMENTOSA	NANKING CHERRY	#5 CONT.
WIL	7	SALIX DISCOLOR	PUSSY WILLOW	#5 CONT.
DFV	10	VIBURNUM PLICATUM TOMENTOSUM 'MARISSII'	DOUBLEFILE VIBURNUM	#5 CONT.
DECIDUOUS SHRUBS 7-9' SPREAD				
REG	17	AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	#5 CONT.
FOR	41	FORSYTHIA 'SHOW OFF'	SHOW OFF FORSYTHIA	#5 CONT.
MOC	15	PHILADELPHUS LEWISII 'CHEYENNE'	CHEYENNE MOCKORANGE	#5 CONT.
TLS	16	RHUS TRILOBA	THREE LEAF SUMAC	#5 CONT.
AAS	8	RHUS TRILOBA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	#5 CONT.
DECIDUOUS SHRUBS 5-7' SPREAD				
AMO	16	AMORPHA CANESCENS	LEADPLANT	#5 CONT.
BAR	16	BERBERIS X EMERALD CAROUSEL	EMERALD CAROUSEL BARBERRY	#5 CONT.
RBA	12	ERICAMERIA NAUSEOSA SSP. NAUSEOSA VAR. SPECIOSA	TALL BLUE RABBITBRUSH	#5 CONT.
ERI	31	ERICAMERIA NAUSEOSA SSP. NAUSEOSA VAR. NAUSEOSA	DWARF BLUE RABBITBRUSH	#5 CONT.
FGT	32	FORSYTHIA 'GOLD TIDE'	GOLD TIDE FORSYTHIA	#5 CONT.
HON	16	LONICERA INVOLUCRATA	TWINBERRY HONEYSUCKLE	#5 CONT.
PBS	11	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SANDCHERRY	#5 CONT.
CUR	7	RIBES AUREUM 'GWENS BUFFALO'	GWEN'S BUFFALO CURRANT	#5 CONT.
WAX	32	RIBES CEREUM	WAX CURRANT	#5 CONT.
ROS	35	ROSA WOODSII	WOODS ROSE	#5 CONT.
RAS	5	RUBUS DELICIOSUS	BOULDER RASPBERRY	#5 CONT.
DECIDUOUS SHRUBS 2-5' SPREAD				
CHO	15	ARONIA MELANOCARPA 'LOW SCAPE MOUND'	LOW SCAPE CHOKEBERRY	#5 CONT.
BMS	34	CARYOPTERIS X CLANDONENSIS 'FIRST CHOICE'	FIRST CHOICE BLUE MIST SPIREA	#5 CONT.
AFD	34	CORNUS SERICIA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	#5 CONT.
VSS	3	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY ITEA	#5 CONT.
RSA	49	PEROVSKIA ATRIPICIFOLIA 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	#5 CONT.
TOTAL 508				

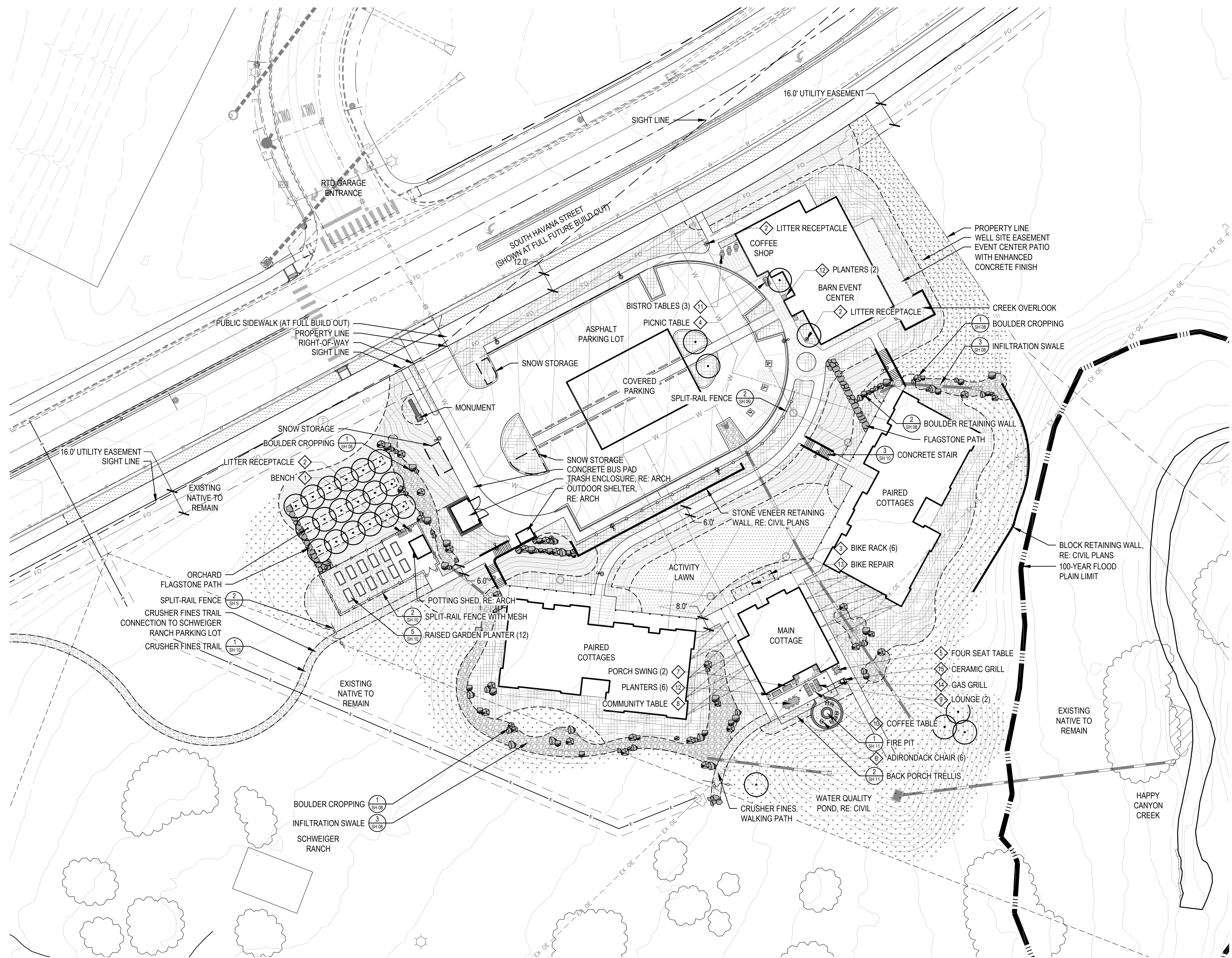
PLANT PALETTE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & COND.
ORNAMENTAL GRASSES				
BAG	431	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION GRASS	#1 CONT.
KFR	177	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED	#1 CONT.
RSR	609	PANICUM VIRGATUM 'CHEYENNE SKY'	CHEYENNE SKY SWITCHGRASS	#1 CONT.
HFG	61	PENNISETUM ALLOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	#1 CONT.
LBS	148	SCHIZACHYRIUM SCOPARIUM 'BLUE HEAVEN'	BLUE HEAVEN LITTLE BLUESTEM	#1 CONT.
PDS	466	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT.
PERENNIALS				
AGA	9	AGASTACHE AURANTIACA 'P012S'	CORONADO HYSSOP	#1 CONT.
ANE	5	ANEMONE X HYBRIDA 'HONORINE JOBERT'	HONORINE JOBERT ANEMONE	#1 CONT.
AST	42	ASTER NOVI-BELGII 'PROFESSOR KIPPENBURG'	DWARF BLUE FALL ASTER	#1 CONT.
BAP	12	BAPTISIA AUSTRALIS	FALSE INDIGO	#1 CONT.
VAL	33	CENTRANTHUS RUBER	RED VALERIAN	#1 CONT.
COR	30	COREOPSIS LANCEOLATA 'STERNTALER'	STERNTALER COREOPSIS	#1 CONT.
ECH	64	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1 CONT.
JPW	13	EUTROCHIMUM PURPUREUM	JOE PYE WEED	#1 CONT.
GAL	26	GALIUM ODORATUM	SWEET WOODRUFF	#1 CONT.
BGH	47	HOSTA SIEBOLDIANA 'ELEGANS'	BLUE GIANT HOSTA	#1 CONT.
HOS	56	HOSTA 'HONEYBELLS'	HONEYBELLS HOSTA	#1 CONT.
LAV	15	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER	#1 CONT.
NGF	24	LIATRIS PUNCTATA	NATIVE GAYFEATHER	#1 CONT.
LUP	9	LUPINUS 'GALLERY BLUE'	DWARF BLUE LUPINE	#1 CONT.
BEE	32	MONARDA 'BLUE STOCKING'	BLUE BEE BALM	#1 CONT.
CAT	18	NEPETA X LITTLE TRUDY	LITTLE TRUDY CATNIP	#1 CONT.
PEN	41	PENSTEMON ANGUSTIFOLIUS	ROCKY MOUNTAIN PENSTEMON	#1 CONT.
FCP	26	PENSTEMON EATONII	FIRECRACKER PENSTEMON	#1 CONT.
GAR	12	SALVIA OFFICINALIS	GARDEN SAGE	#1 CONT.
RUD	43	RUDBECKIA GOLDSRUM	RUDBECKIA FULGIDA 'GOLDSTURM'	#1 CONT.
VER	6	VERBENA BIPINNATIFIDA	VERBENA	#1 CONT.
TOTAL 2455				
IRRIGATED NATIVE GRASS MIX				
ARKANSAS VALLEY SEED FOOTHILLS MIX OR APPROVED EQUAL				
COMMON NAME	% OF TOTAL	PLS / ACRE	LANDSCAPE BED	SQ. FT.
ANNUAL RYEGRASS	20%	4.0	TURF	5,110
SLENDER WHEATGRASS	15%	3.0	NO-MOW TURF	11,846
CRESTED WHEATGRASS	12%	2.4	NATIVE GRASS	29,827
MOUNTAIN BROME	10%	2.0	COBBLE	4,083
HARD FESCUE	10%	2.0	TOTAL	77,266
CANADA BLUEGRASS	10%	2.0	OFF SITE AND R.O.W.	
SIDEOTS GRAMA	6%	1.2	LANDSCAPE BED	207
BIG BLUESTEM	6%	1.2	TURF	3,692
BLUE GRAMA	5%	1.0	NO-MOW TURF	0
SWITCHGRASS	5%	1.0	NATIVE GRASS	2,530
SAND DROPSEED	1%	0.2	COBBLE	1,247
			TOTAL	7,676
	TOTAL 100%	20	GRAND TOTAL	84,942
NO MOW TURFGRASS				
SELF-REPAIRING TALL FESCUE SOD, TURF MASTER OR APPROVED EQUAL				

TALL TALES RANCH

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 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 4.01 ACRES
 SP20-02

- LEGEND**
- DECIDUOUS TREE
 - EVERGREEN TREE
 - ORNAMENTAL TREE
 - TREE-FORM LARGE SHRUB
 - DECIDUOUS SHRUB
 - EVERGREEN SHRUB
 - ORNAMENTAL GRASSES
 - PERENNIALS
 - NATIVE GRASS
 - SOD
 - NO MOW SOD
 - LANDSCAPE BED
 - CRUSHER FINES
 - ENHANCED CONCRETE FINISH
 - MULCH
 - PROPERTY LINE
 - SPLIT-RAIL FENCES
 - STRING LIGHTS, RE: SHEET 09
 - SPADE CUT EDGER
 - PROPOSED CONTOURS
 - EXISTING CONTOURS
 - SITE WALL, RE: CIVIL
 - BIKE RACK, RE: SHEET 09
 - BIKE REPAIR STATION, SHEET 09
 - FLAGSTONE STEPPERS
 - BOULDERS
 - PLANTER POTS, RE: SHEET 09
 - LIGHT POLE, RE: LIGHTING



TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

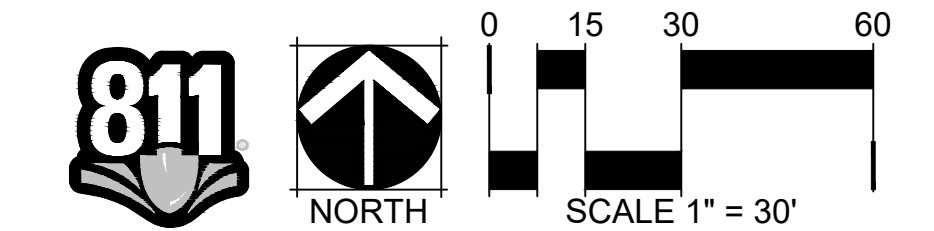
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 TALL TALES RANCH
 SUSAN MOONEY
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 CENTENNIAL, CO 80121
 303.806.9140

NOT FOR CONSTRUCTION

DATE:
 (SIP 01) 01/10/2020
 (SIP 02) 04/05/2020

SHEET TITLE:
 HARDSCAPE PLAN

CHECKED BY: SM
 DRAWN BY: WW

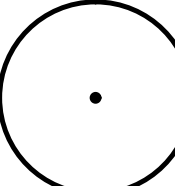
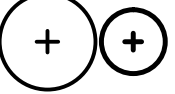

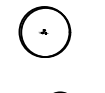
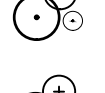


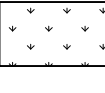
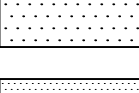
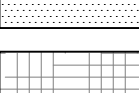
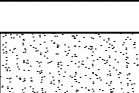
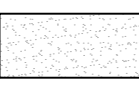
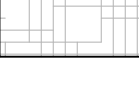
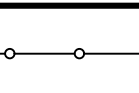
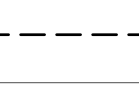
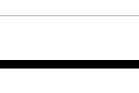
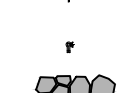













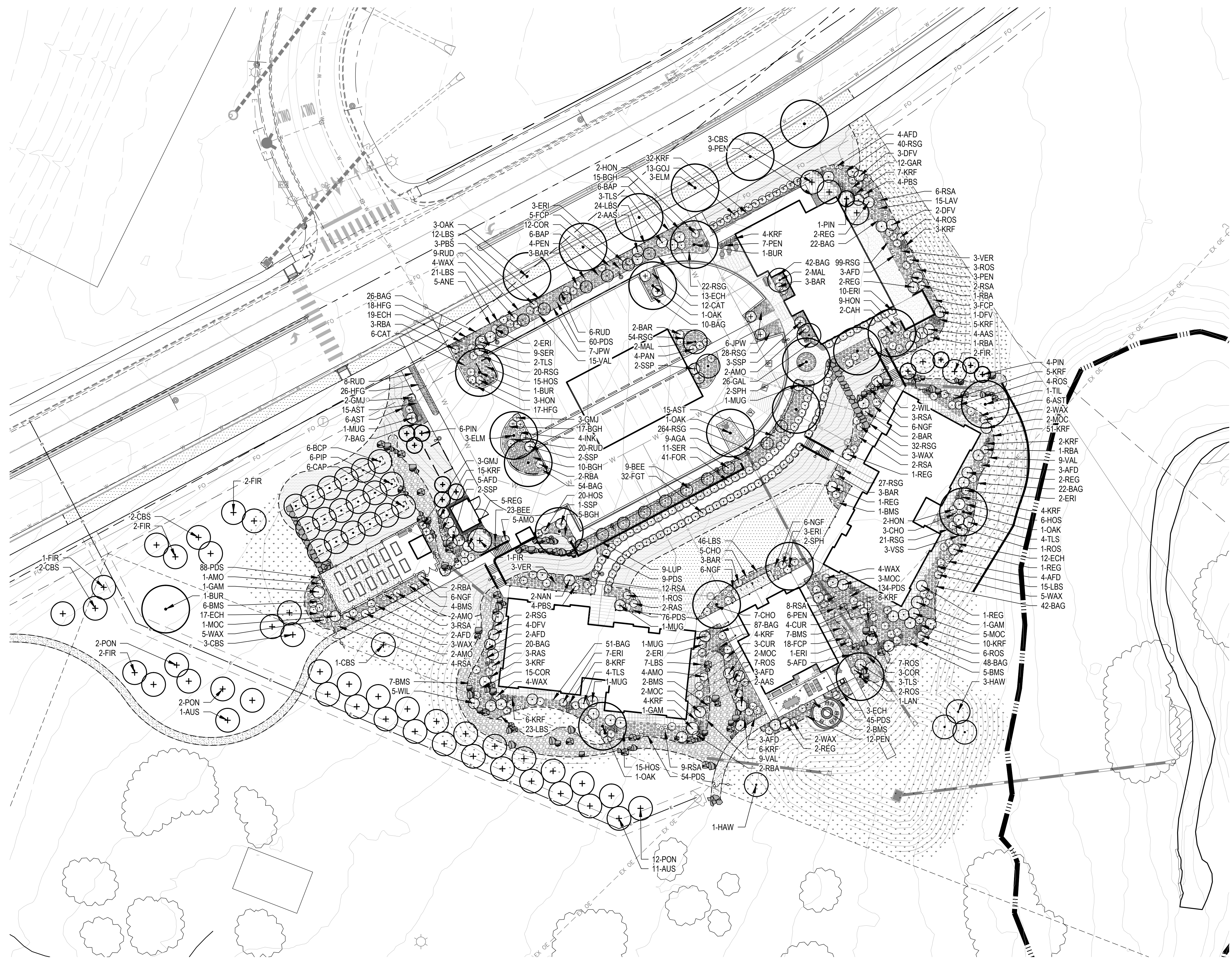
TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

4.01 ACRES
 SP20-02

LEGEND

-  DECIDUOUS TREE
-  EVERGREEN TREE
-  ORNAMENTAL TREE
-  TREE-FORM LARGE SHRUB
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  ORNAMENTAL GRASSES
-  PERENNIALS
-  NATIVE GRASS
-  SOD
-  NO MOW SOD
-  LANDSCAPE BED
-  CRUSHER FINES
-  ENHANCED CONCRETE FINISH
-  MULCH
-  PROPERTY LINE
-  SPLIT-RAIL FENCES
-  STRING LIGHTS, RE: SHEET 09
-  SPADE CUT EDGER
-  PROPOSED CONTOURS
-  EXISTING CONTOURS
-  SITE WALL, RE: CIVIL
-  BIKE RACK, RE: SHEET 09
-  BIKE REPAIR STATION, SHEET 09
-  FLAGSTONE STEPPERS
-  BOULDERS
-  PLANTER POTS, RE: SHEET 09
-  LIGHT POLE, RE: LIGHTING



TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

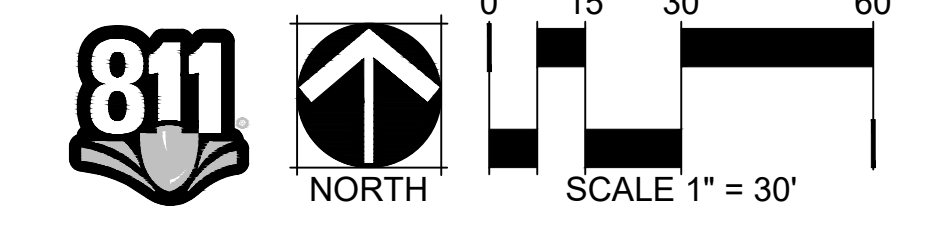
OWNER:
 TALL TALES RANCH
 SUSAN MOONEY
 6311 SOUTH GRANT DRIVE
 CENTENNIAL, CO 80121
 303.806.9140

NOT FOR CONSTRUCTION

DATE:
 (SIP 01) 01/10/2020
 (SIP 02) 04/05/2020

SHEET TITLE:
 LANDSCAPE PLAN














CHECKED BY: SM
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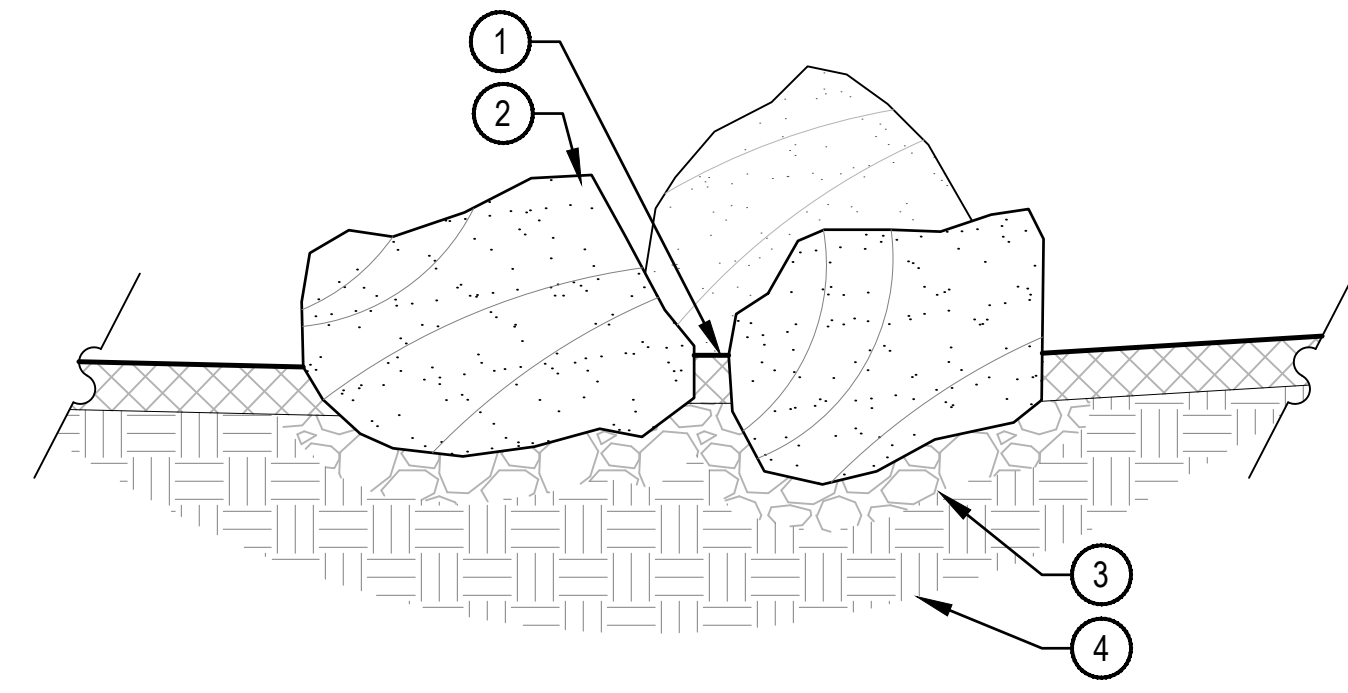
TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 4.01 ACRES
 SP20-02

SITE AMENITY SCHEDULE

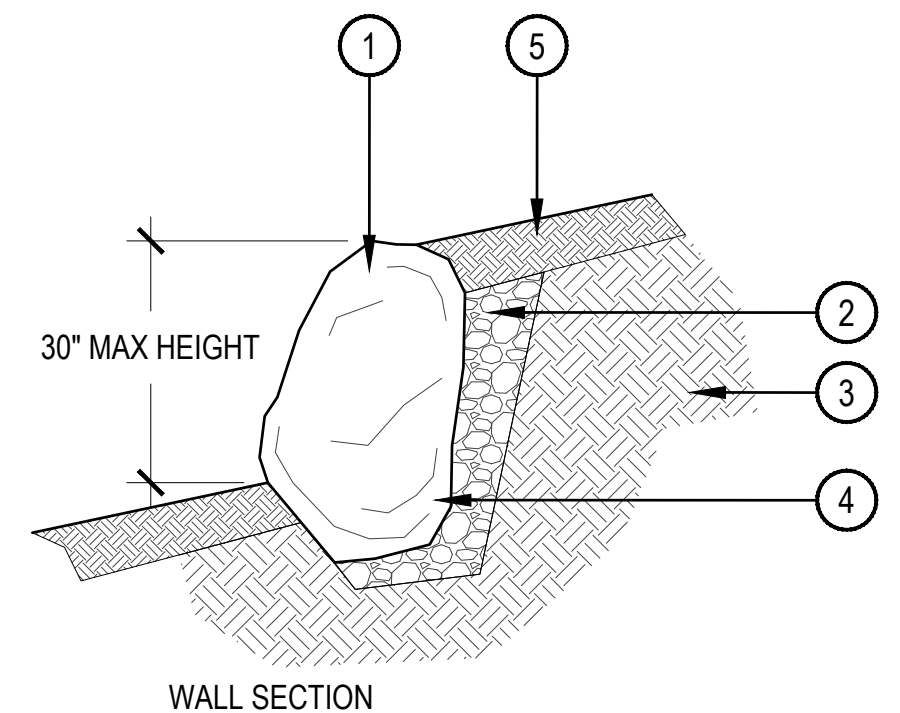
							
<p>DESCRIPTION: BENCH MANUFACTURER: COUNTRY CASUAL MODEL: CLIFTON 5 FT. COLOR / FINISH: TEAK, NO FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: LITTER RECEPTACLE MANUFACTURER: COUNTRY CASUAL MODEL: URBANA TRIPLE-STREAM RECYCLING LID RECEPTACLE COLOR / FINISH: TEAK, NO FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: BIKE RACK MANUFACTURER: ANOVA MODEL: METRO 3-BIKE / 1-LOOP RACK COLOR / FINISH: TEXTURED BRONZE POWDERCOAT NOTES: IN-GROUND MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: PICNIC TABLE MANUFACTURER: COUNTRY CASUAL MODEL: MELBOURNE 6 FT. 6 IN. PICNIC SET COLOR / FINISH: TEAK, NO FINISH NOTES: WITH TWO BENCHES, SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: FOUR SEAT TABLE MANUFACTURER: COUNTRY CASUAL MODEL: MELBOURNE 3 FT. 4 IN. SQUARE TABLE COLOR / FINISH: TEAK, NO FINISH NOTES: WITH FOUR CHAIRS, SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: ADIRONDACK CHAIR MANUFACTURER: COUNTRY CASUAL MODEL: ADIRONDACK CHAIR 7205 COLOR / FINISH: TEAK, NO FINISH NOTES: NO MOUNT</p>	<p>DESCRIPTION: PORCH SWING MANUFACTURER: COUNTRY CASUAL MODEL: CARLISLE 5 FT. SWING COLOR / FINISH: TEAK, NO FINISH NOTES: MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: COMMUNITY TABLE MANUFACTURER: COUNTRY CASUAL MODEL: SUMMIT 10 FT. INFINITY TABLE COLOR / FINISH: TEAK, NO FINISH NOTES: MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>
							
<p>DESCRIPTION: LOUNGE MANUFACTURER: COUNTRY CASUAL MODEL: APEX SOFA 5070 COLOR / FINISH: TEAK, NO FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: COFFEE TABLE MANUFACTURER: COUNTRY CASUAL MODEL: BERWICK 48 IN. COFFEE TABLE COLOR / FINISH: TEAK, NO FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: BISTRO TABLE MANUFACTURER: COUNTRY CASUAL MODEL: FOXHALL ROUND TABLE 8628 COLOR / FINISH: TEAK, NO FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: PLANTER POTS MANUFACTURER: KORNEGAY DESIGN MODEL: SQUARE SERIES: SS21, SS27, AND SS30 COLOR / FINISH: SANDBLAST FINISH NOTES: SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: BIKE REPAIR MANUFACTURER: DERO MODEL: FIXIT COLOR / FINISH: GALVANIZED NOTES: WITH PUMP AND WHEEL CHOCK, SURFACE MOUNT PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: GAS GRILL MANUFACTURER: BLAZE MODEL: BLZ-3 PRO-NG PROFESSIONAL 34-INCH 3-BURNER BUILT-IN NATURAL GAS GRILL WITH REAR INFRARED BURNER BLZ-3 PRO-NG COLOR / FINISH: STAINLESS STEEL NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS</p>	<p>DESCRIPTION: CERAMIC GRILL MANUFACTURER: COYOTE MODEL: ASADO CERAMIC GRILL C1CHCS COLOR / FINISH: BLACK CERAMIC NOTES: INSTALL PER MANUFACTURER'S SPECIFICATIONS</p>	

- MULCH TO BOULDERS, NO GAPS
- BUFF SANDSTONE BOULDER, NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE
- 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROXY DENSITY
- UNDISTURBED GRADE



1 BOULDER CROPPING

SCALE: 1" = 1'-0"

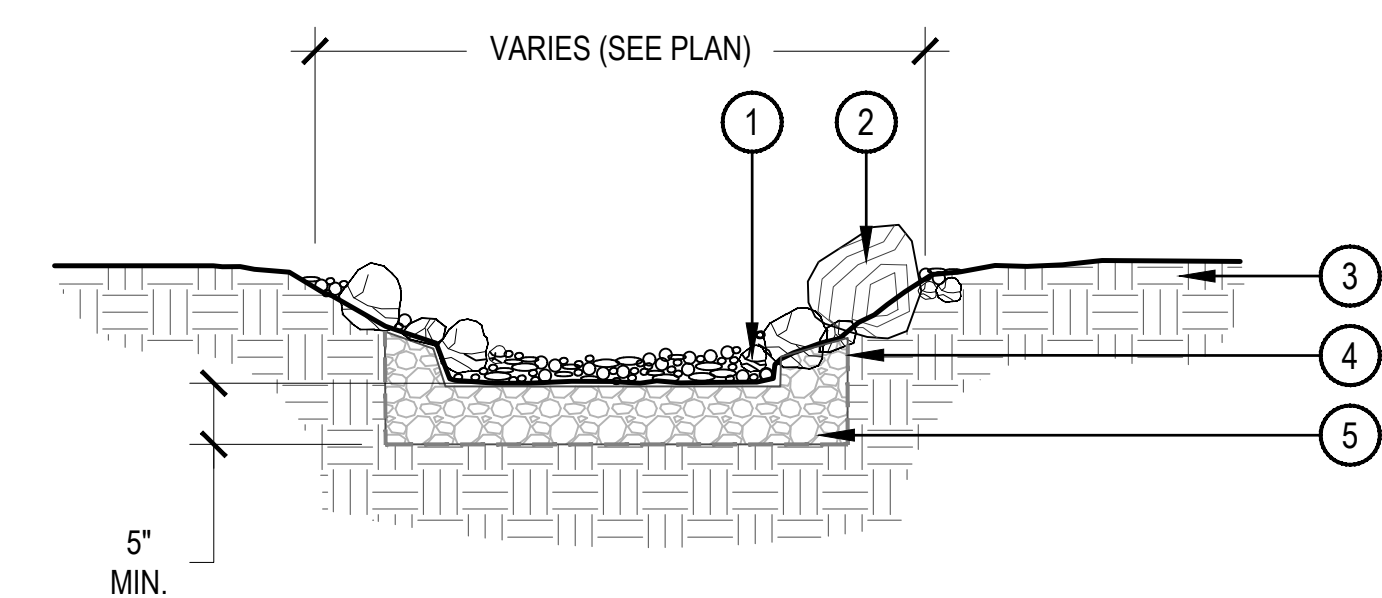


NOTE:
 1. BOULDER WALL MUST NOT EXCEED 30" IN HEIGHT

2 BOULDER RETAINING WALL

SCALE: 1/2" = 1'-0"

- BUFF SANDSTONE BOULDERS RELOCATED FROM ON-SITE OR FROM NEARBY QUARRY. CONTRACTOR SHALL SUBMIT SMALL SAMPLE OR PHOTOS FOR APPROVAL. BOULDERS SHOULD BE NO SMALLER THAN 18"x18"x18"
- CRUSHER FINES SETTING BED TO STABILIZE BOULDER
- UNDISTURBED SOIL
- BURY ENOUGH OF BASE COURSE FOR STABILITY
- EXCAVATED AND BACKFILLED SOIL



NOTES:
 1. THERE SHALL BE NO STEEL EDGER BETWEEN COBBLE SWALE AND LANDSCAPE BED.

3 INFILTRATION SWALE

SCALE: 3/4" = 1'-0"

- STREAM BOTTOM: CONSISTING OF 6" DEPTH OF (25%) 3/4" RIVER ROCK AND (75%) 4'-6" COBBLE.
- LANDSCAPE BOULDER ALONG STREAM EDGE, REFER TO LANDSCAPE PLAN FOR LOCATIONS
- UNCOMPACTED SUBGRADE
- FILTER FABRIC
- 1-3" CLEAN CRUSHED GRAVEL, UNIFORMLY GRADED

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SHEET TITLE:
 LANDSCAPE DETAILS

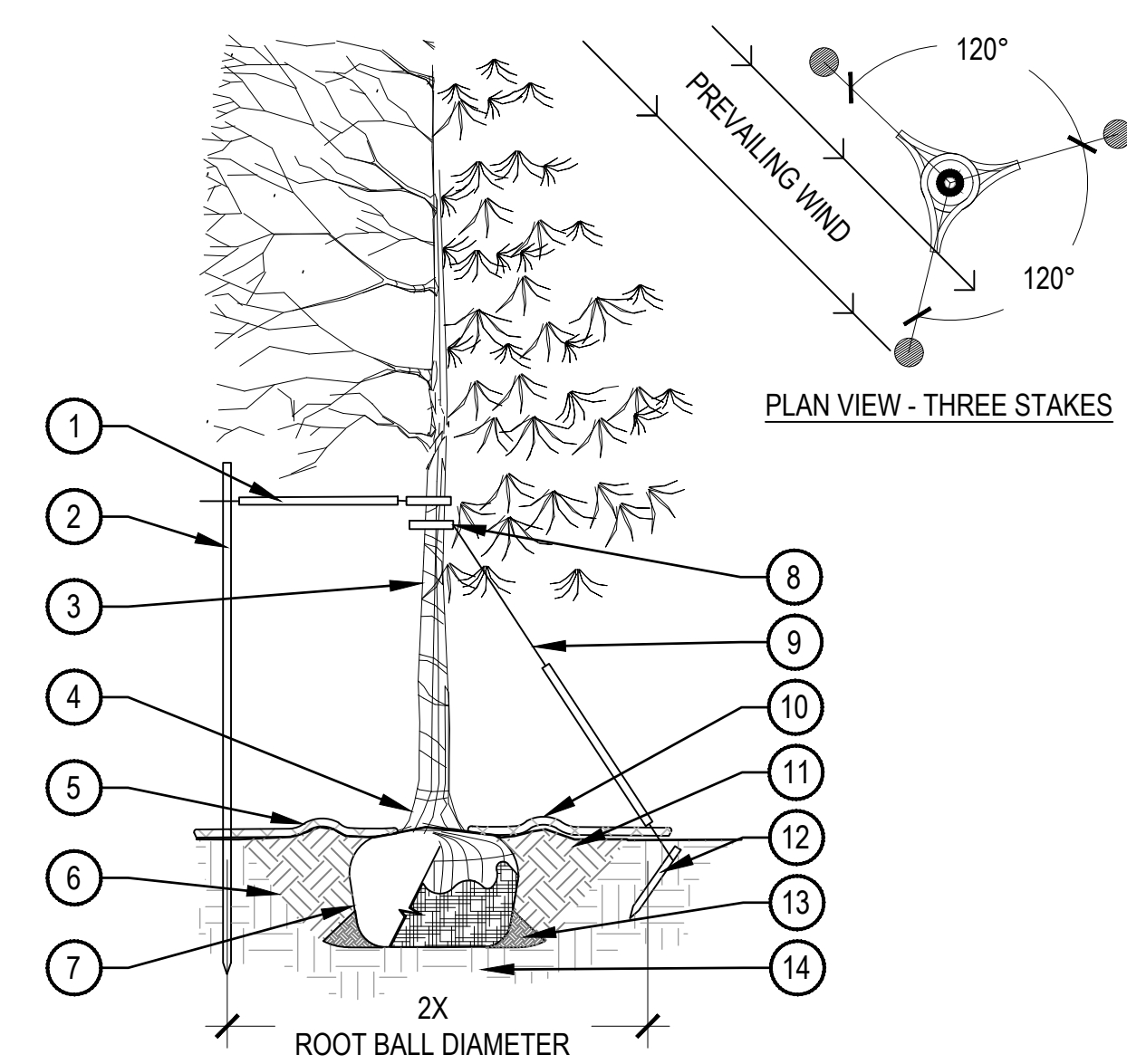
TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

OWNER:
 TALL TALES RANCH
 SUSAN MOONEY
 6311 SOUTH GRANT DRIVE
 CENTENNIAL, CO 80121
 303.806.9140

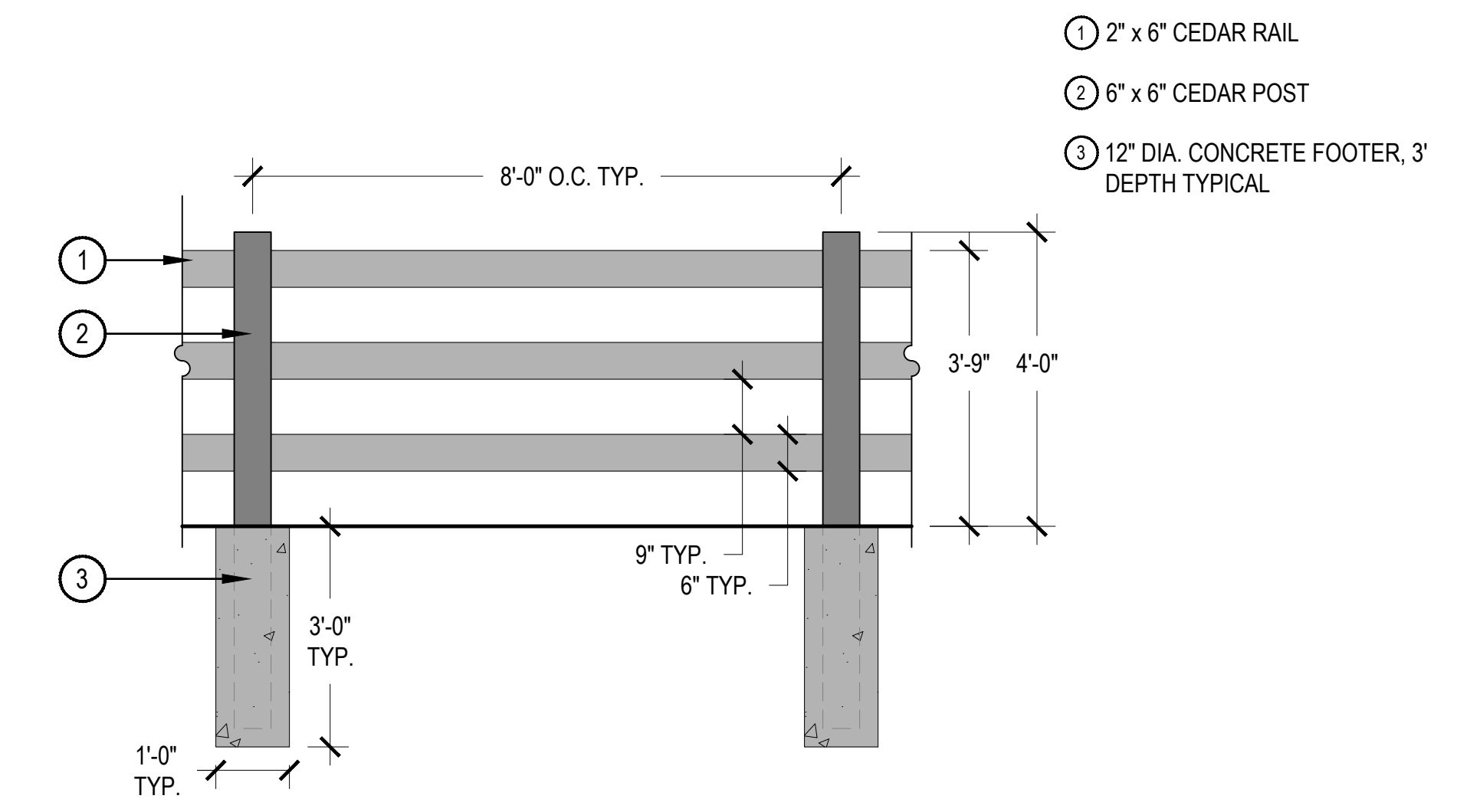
TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
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- PRUNING NOTES:**
- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
 - DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**
- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1-1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE).
 - 1-1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE).
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM.
 - WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.

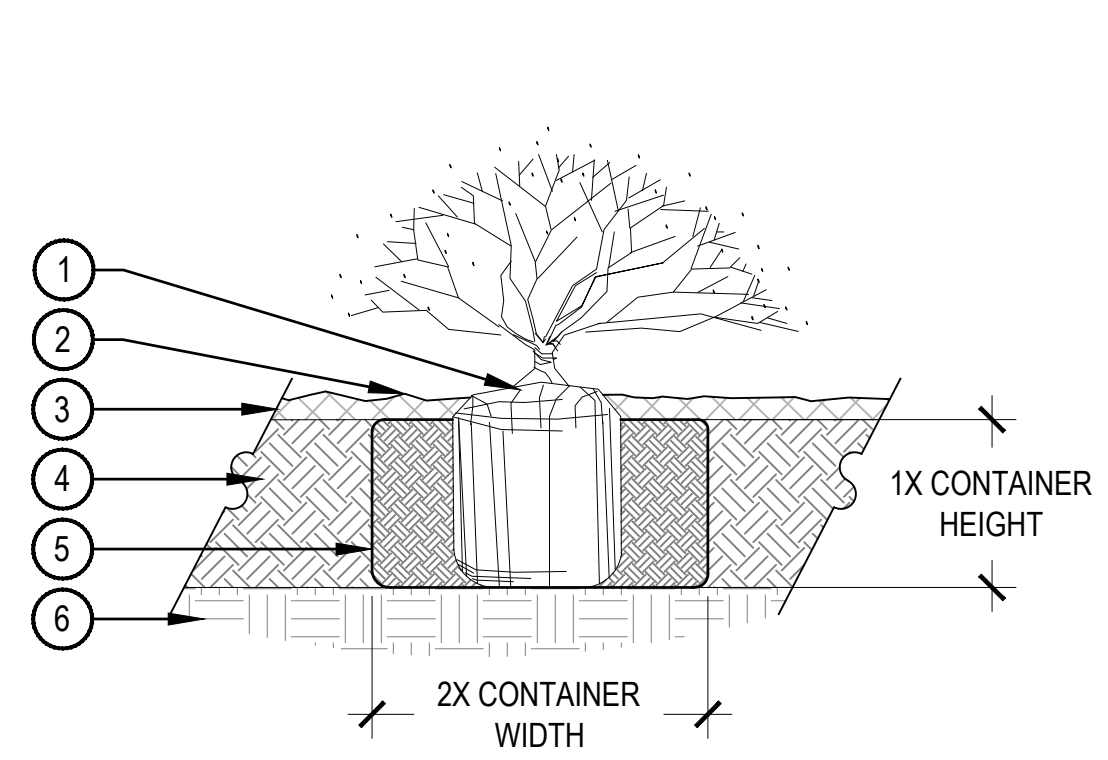


- PLACE MINIMUM 1/2" PVC PIPE AROUND EACH WIRE, EXPOSED WIRE SHALL BE MAXIMUM 2" EACH SIDE
- 6'-0" UNTREATED WOOD POST, MINIMUM 1.5" DIAMETER, ALL SHALL BE DRIVEN OUTSIDE ROOTBALL AND IN UNDISTURBED SOIL
- TREE WRAP TO BE INSTALLED ONLY FROM OCTOBER 1 THROUGH APRIL 30, DECIDUOUS ONLY. WRAP FROM BASE OF TRUNK TO BOTTOM LIMB
- PLANT TREE SO THAT TOP MOST MAJOR ROOT IS 1'-2" ABOVE FINISHED GRADE
- 2'-0" RADIUS MULCH RING, VENTERED ON TRUNK, 3" DEPTH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK, FINISHED GRADE REFERENCES TOP OF MULCH
- 1:1 SLOPE ON SIDES OF PLANTING HOLE
- ROPES AT TOP OF ROOTBALL SHALL BE CUT, REMOVE TOP 1/3 OF BURLAP, NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- GROMMETED NYLON STRAPS
- GALVANIZED WIRE, MINIMUM 12 GAUGE CABLE, TWIST WIRE ONLY TO KEEP FROM SLIPPING
- 4'-6" HIGH WATER SAUCER IN NON-TURF AREAS
- BACKFILL WITH BLEND OF EXISTING SOIL AND A MAXIMUM 20%, BY VOLUME, ORGANIC MATERIAL, WATER THOROUGHLY WHEN BACKFILLING
- 2'-0" STEEL T-POST, ALL SHALL BE DRIVEN BELOW GRADE AND OUTSIDE ROOTBALL IN UNDISTURBED SOIL
- PLACE SOIL AROUND ROOT BALL FIRMLY, DO NOT COMPACT OR TAMP, SETTLE SOIL WITH WATER TO FILL ALL AIR POCKETS
- PLACE ROOT BALL ON UNDISTURBED SOIL TO PREVENT SETTLEMENT



1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"

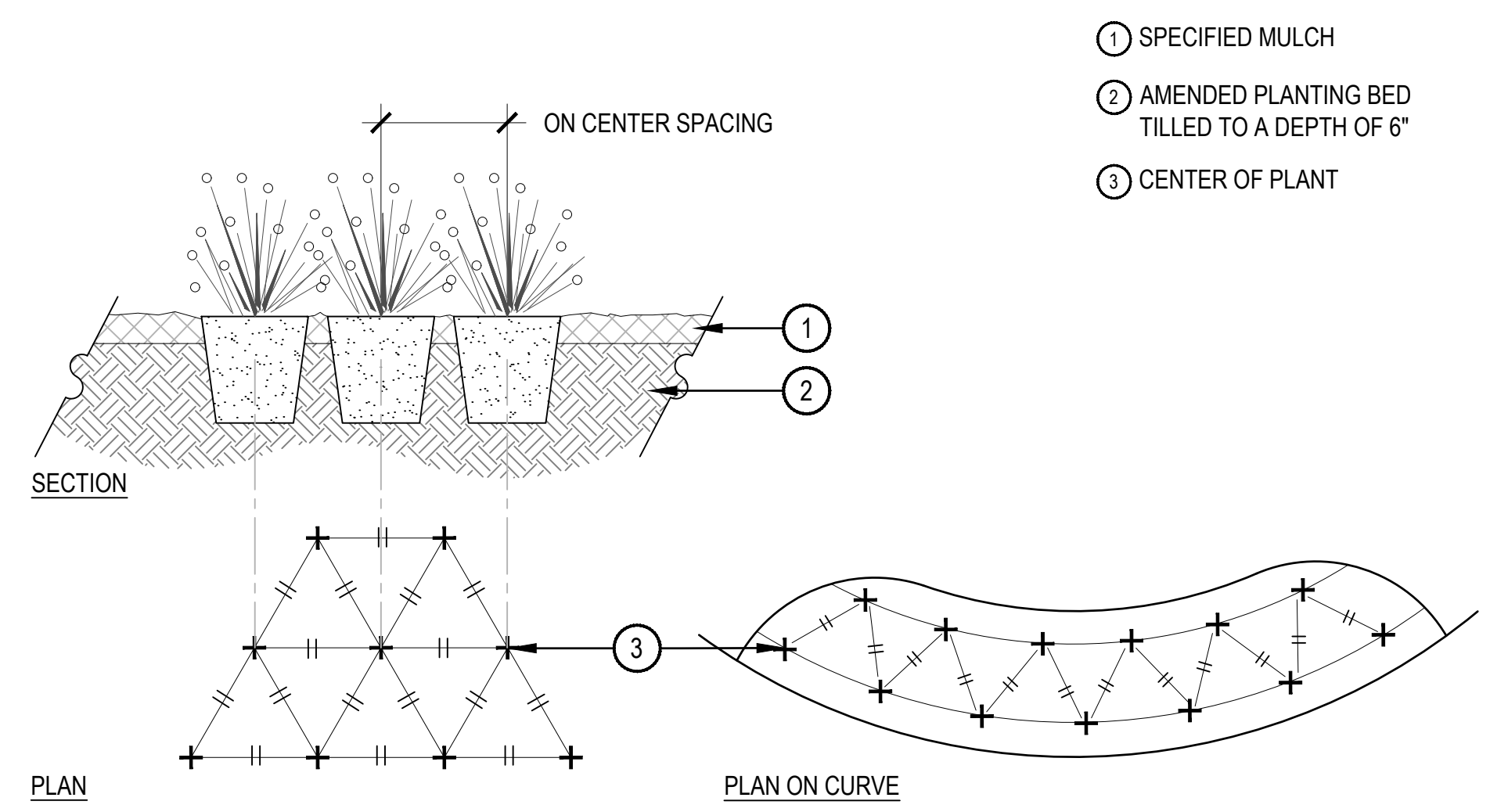


- SET SHRUB ROOT-BALL 1" HIGHER THAN FINISH GRADE
- FINISH GRADE (TOP OF MULCH)
- SPECIFIED MULCH
- TILL IN SPECIFIED SOIL AMENDMENT TO A DEPTH OF 8" IN BED
- BACKFILLED AMENDED SOIL
- UNDISTURBED SOIL

- NOTE:**
- BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED.
 - CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER.
 - ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER.
 - DIG PLANT PIT TWICE AS WIDE AND AS HIGH AS THE CONTAINER.
 - PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING, DO NOT PRUNE MORE THAN 20% OF LIMBS.

3 SHRUB PLANTING

SCALE: 1 1/2" = 1'-0"



- SPECIFIED MULCH
- AMENDED PLANTING BED TILLED TO A DEPTH OF 6"
- CENTER OF PLANT

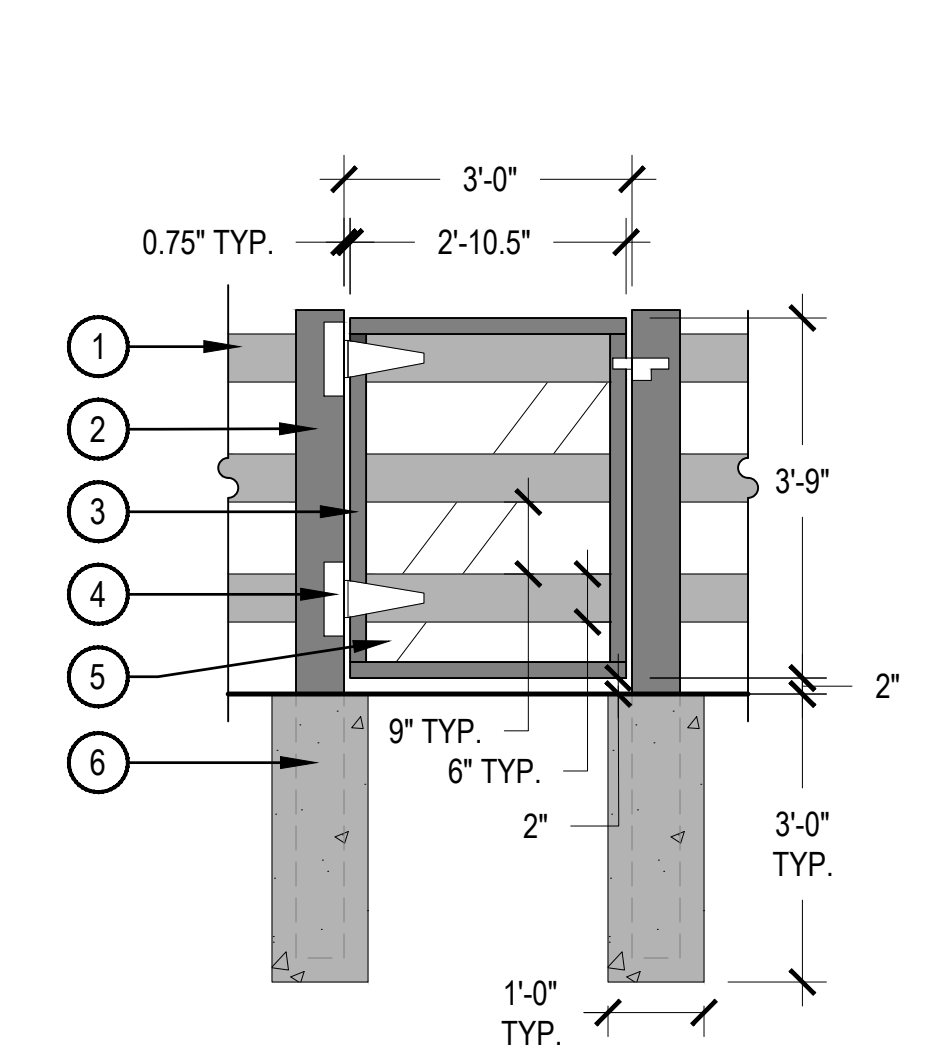
- NOTES:**
- WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

4 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

2 SPLIT-RAIL FENCE

SCALE: 1/2" = 1'-0"



- 2" x 6" CEDAR RAIL
- 6" x 6" CEDAR POST
- 2" x 4" CEDAR FRAME
- STANLEY 8" T-HINGE HARDWARE SET WITH MATCHING SLIDE BOLT LATCH
- 2" x 6" CEDAR CROSS BRACE
- 12" DIA. CONCRETE FOOTER, 3' DEPTH TYPICAL

5 SPLIT-RAIL FENCE GATE

SCALE: 1/2" = 1'-0"

TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

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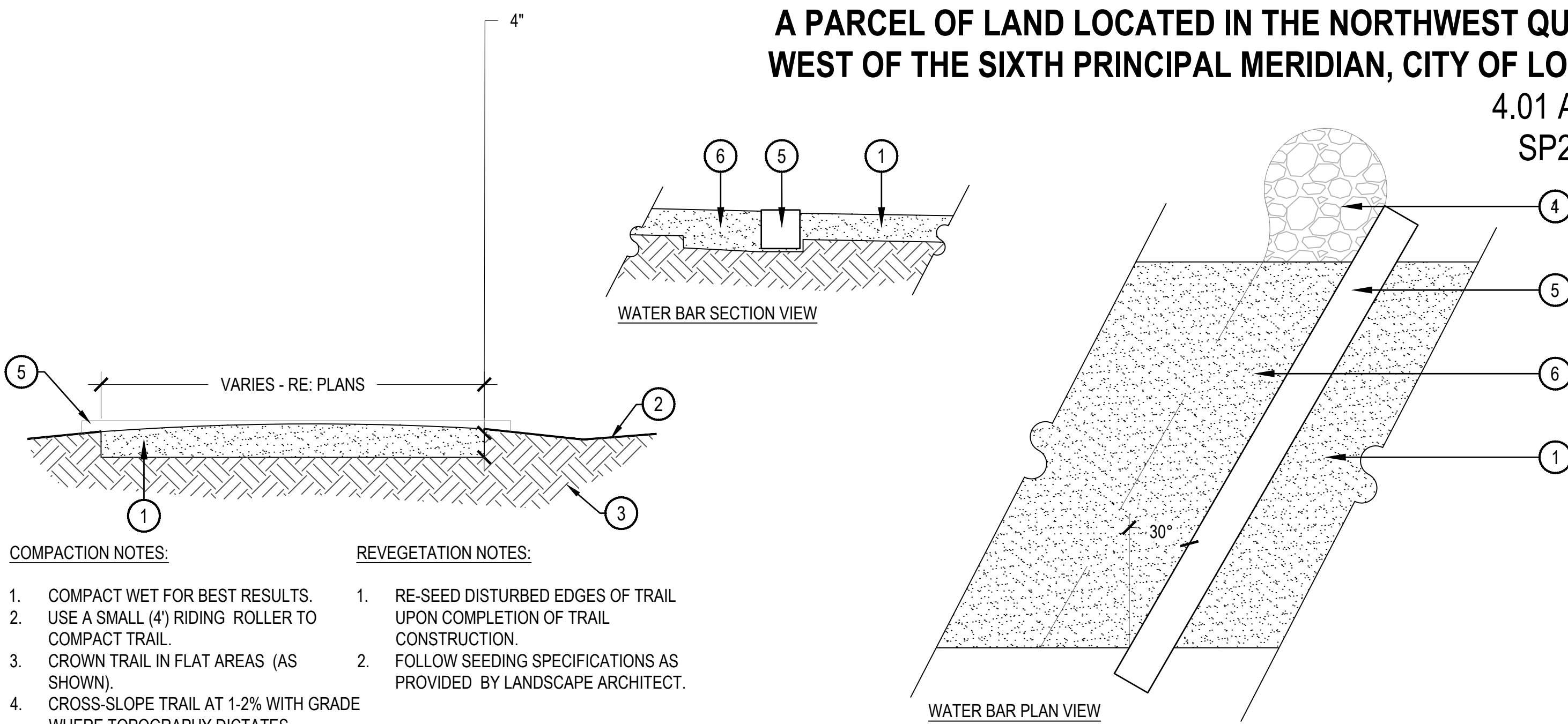
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SHEET TITLE:
LANDSCAPE
DETAILS

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

4.01 ACRES
 SP20-02



COMPACTION NOTES:

1. COMPACT WET FOR BEST RESULTS.
2. USE A SMALL (4") RIDING ROLLER TO COMPACT TRAIL.
3. CROWN TRAIL IN FLAT AREAS (AS SHOWN).
4. CROSS-SLOPE TRAIL AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES.

REVEGETATION NOTES:

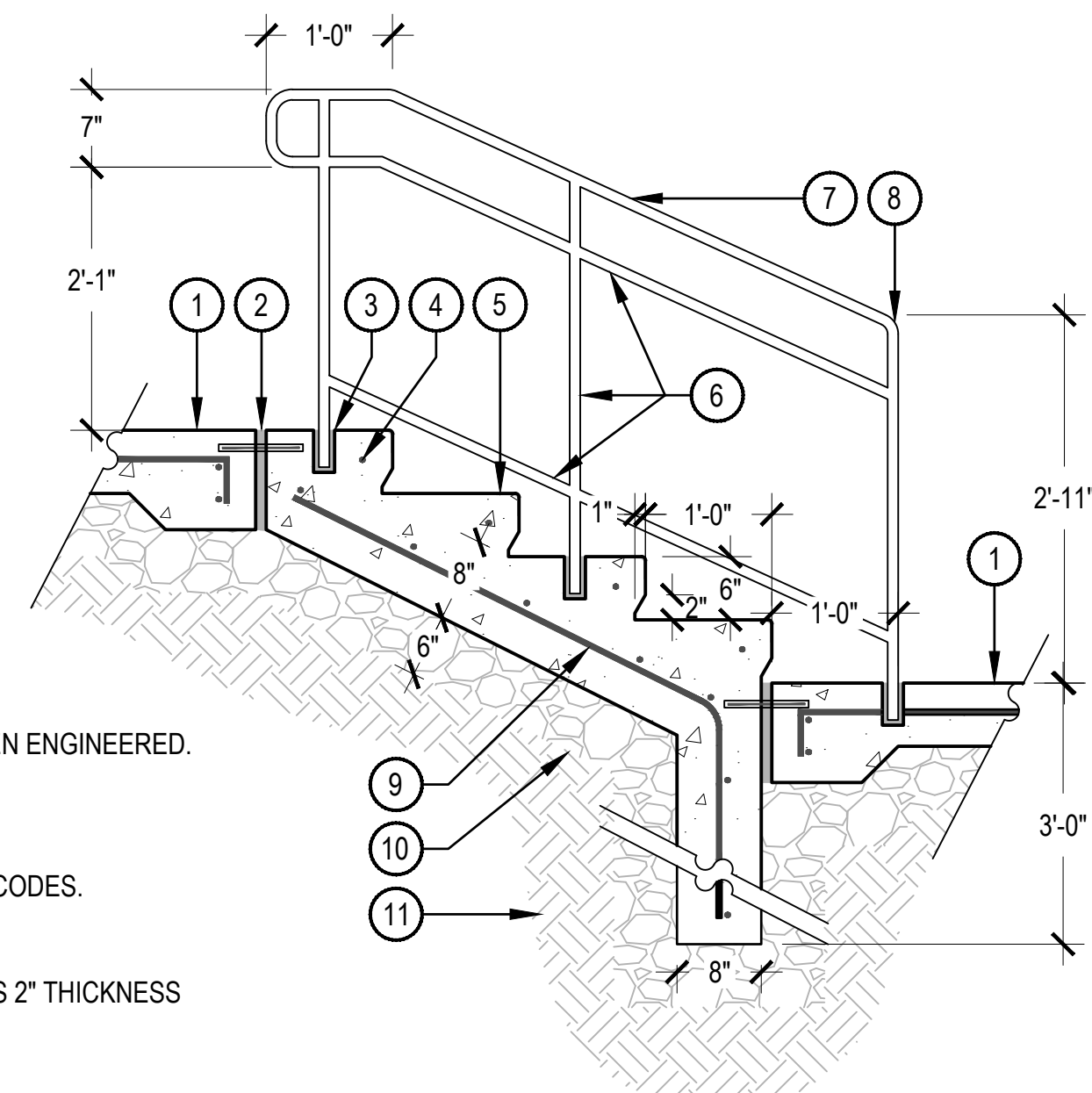
1. RE-SEED DISTURBED EDGES OF TRAIL UPON COMPLETION OF TRAIL CONSTRUCTION.
2. FOLLOW SEEDING SPECIFICATIONS AS PROVIDED BY LANDSCAPE ARCHITECT.

1 CRUSHER FINES TRAIL

SCALE: 3/4" = 1'-0"

2 SPLIT-RAIL FENCE WITH MESH

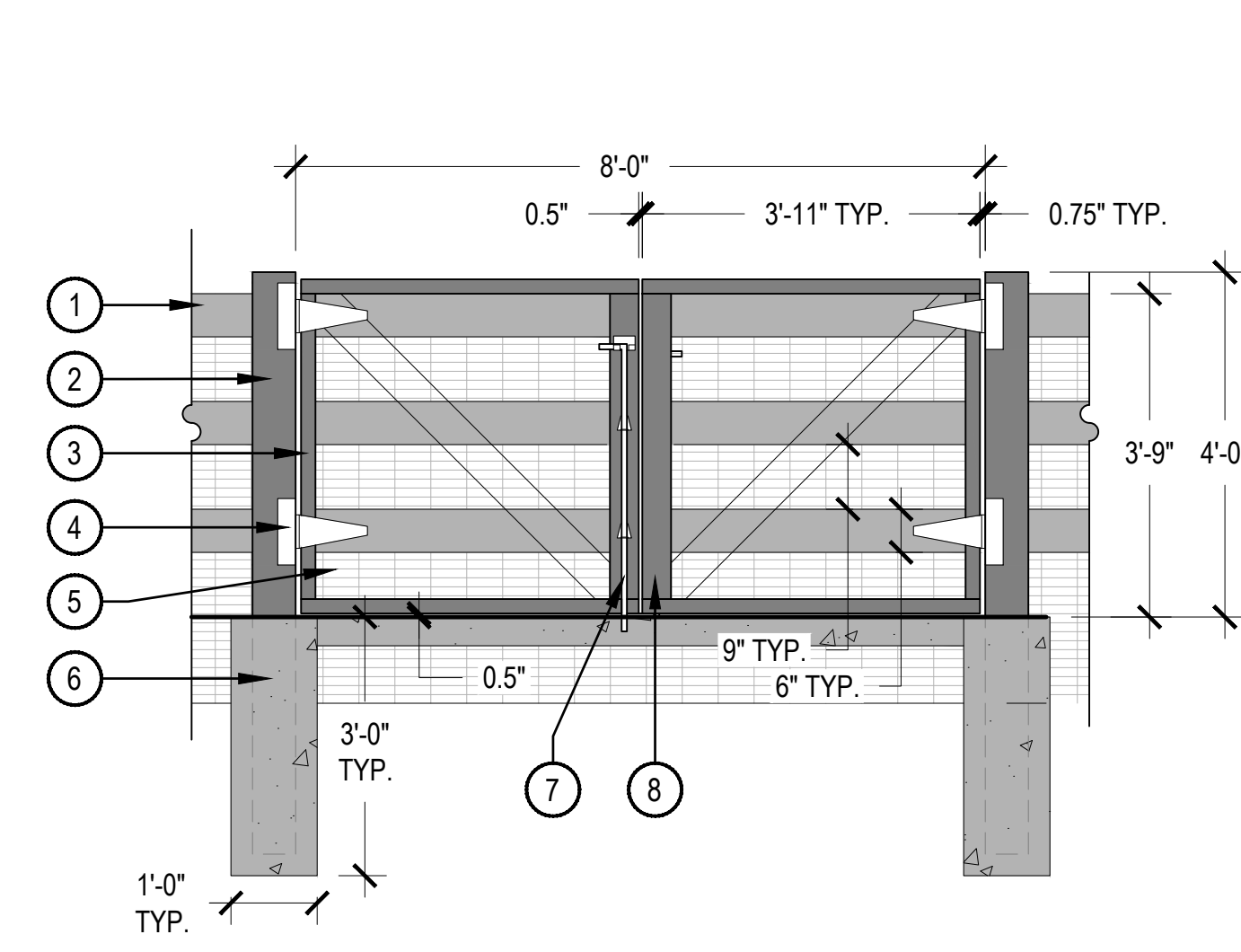
SCALE: 1/2" = 1'-0"



NOTES:

1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE. THIS DETAIL HAS NOT BEEN ENGINEERED.
2. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN AND CALCULATIONS.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 / 4,000 PSI AT 28 DAYS.
4. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
5. THE CONTRACTOR SHALL ENSURE THAT RAILING MEETS ALL APPLICABLE CURRENT ADA AND CITY CODES.
6. ALL RAILING WELDS TO BE GROUNDED AND SMOOTH.
7. REFER TO CIVIL ENGINEER PLANS FOR FINISHED ELEVATIONS AND NUMBER OF STAIRS.
8. STAIR TREADS AND RISERS SHALL BE HIGHLIGHTED WITH HIGH CONTRAST YELLOW PAINTED BANDS 2" THICKNESS ORIGINATING FROM LEADING EDGE OF STAIR NOSING.

1. ADJACENT PAVING, REFER TO PLANS
2. EXPANSION JOINT WITH DOWEL
3. EMBED MOUNT RAILING, GROUT SOLID WITH NON-METALLIC, NON-SHRINK GROUT
4. #4 REBAR AT EACH TREAD 2" MINIMUM, COVER FULL WIDTH OF STAIR
5. CONCRETE STEPS, SLOPE TREADS 1/8" TOWARDS TOE, 1" TREAD, 1/2" RADIUS ON NOSE
6. 1" Ø TUBE RAILS AND POST
7. 1-1/2" Ø TUBE CAP
8. TRANSITION TO 1" Ø TUBING
9. #4 REBAR 12" ON CENTER BOTH WAYS
10. 6" AGGREGATE BASE
11. SUBGRADE COMPACTED TO 95% STANDARD PROXY DENSITY



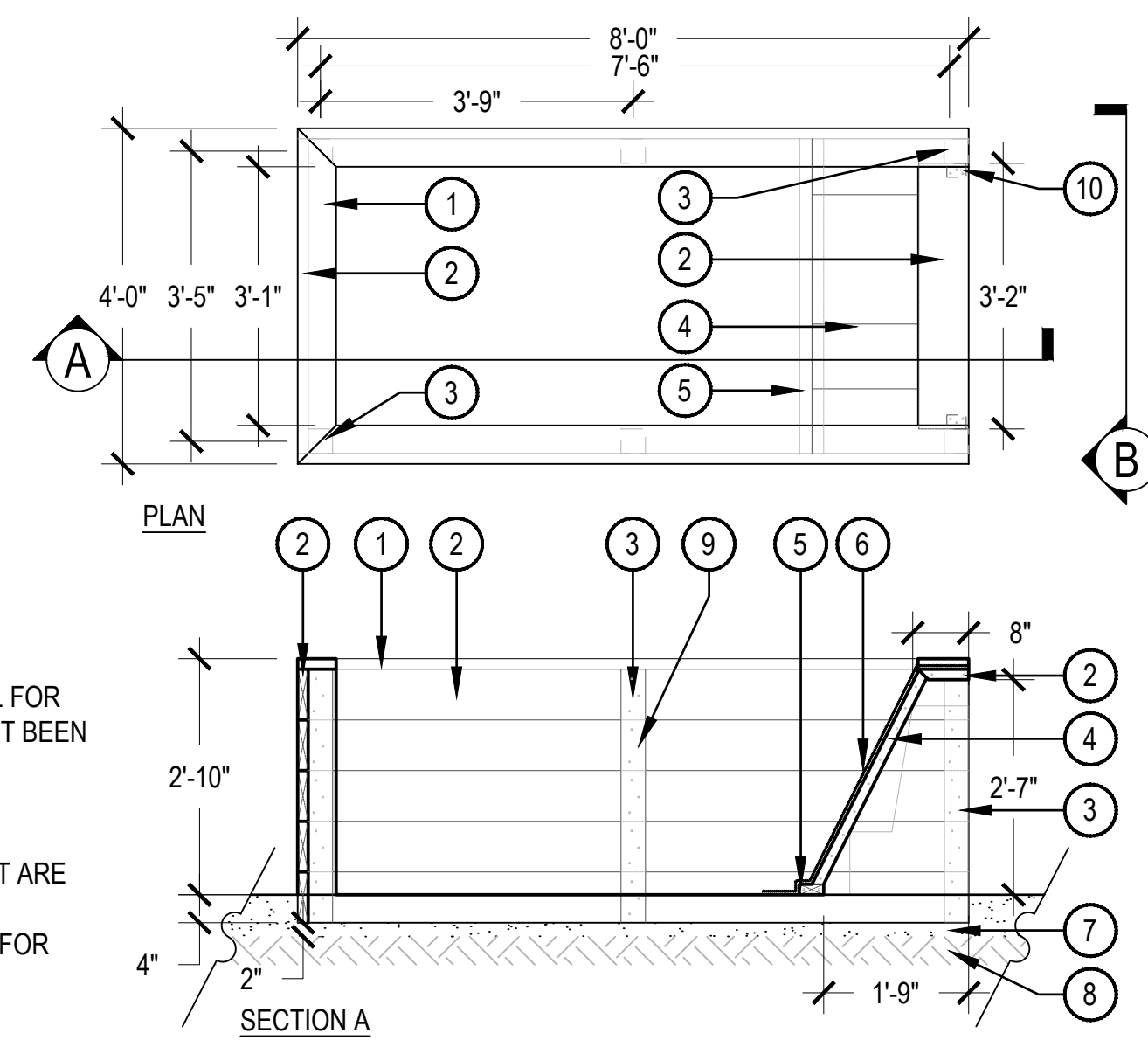
1. 2" x 6" CEDAR RAIL
2. 6" x 6" CEDAR POST
3. 2" x 4" CEDAR FRAME
4. 8" T-HINGE HARDWARE
5. 2" GALVANIZED WIRE MESH, BURY 12" DEEP WITH 12" FOOTER BEND PERPENDICULAR TO FENCING FACING OUTWARD
6. 12" DIA. CONCRETE FOOTER, 3" DEPTH TYPICAL
7. 40" DROP ROD HARDWARE WITH 2" DEPTH DOWEL FORMED RECEIVER HOLE
8. 4" x 4" CEDAR GATE POST

3 CONCRETE STAIR

SCALE: 3/4" = 1'-0"

4 SPLIT-RAIL FENCE GATE WITH MESH

SCALE: 1/2" = 1'-0"



NOTES:

1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE. THIS DETAIL HAS NOT BEEN ENGINEERED.
2. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN AND CALCULATIONS.
3. CEDAR SIZES ARE WRITTEN NOMINALLY, BUT ARE DRAWN TO ACTUAL SIZE.
4. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

1. 2" x 6" CEDAR BOARD
2. 2" x 8" CEDAR BOARD
3. 4" x 4" CEDAR POST
4. 2" x 10" CEDAR BOARD
5. 2" x 4" CEDAR BOARD
6. WATERPROOF MEMBRANE
7. CRUSHER FINES
8. SUBGRADE COMPACTED TO 95% STANDARD PROXY DENSITY
9. 4" GALVANIZED WOOD SCREWS
10. 1.5" x 2" x 2.75" GALVANIZED STEEL ANGLE

TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

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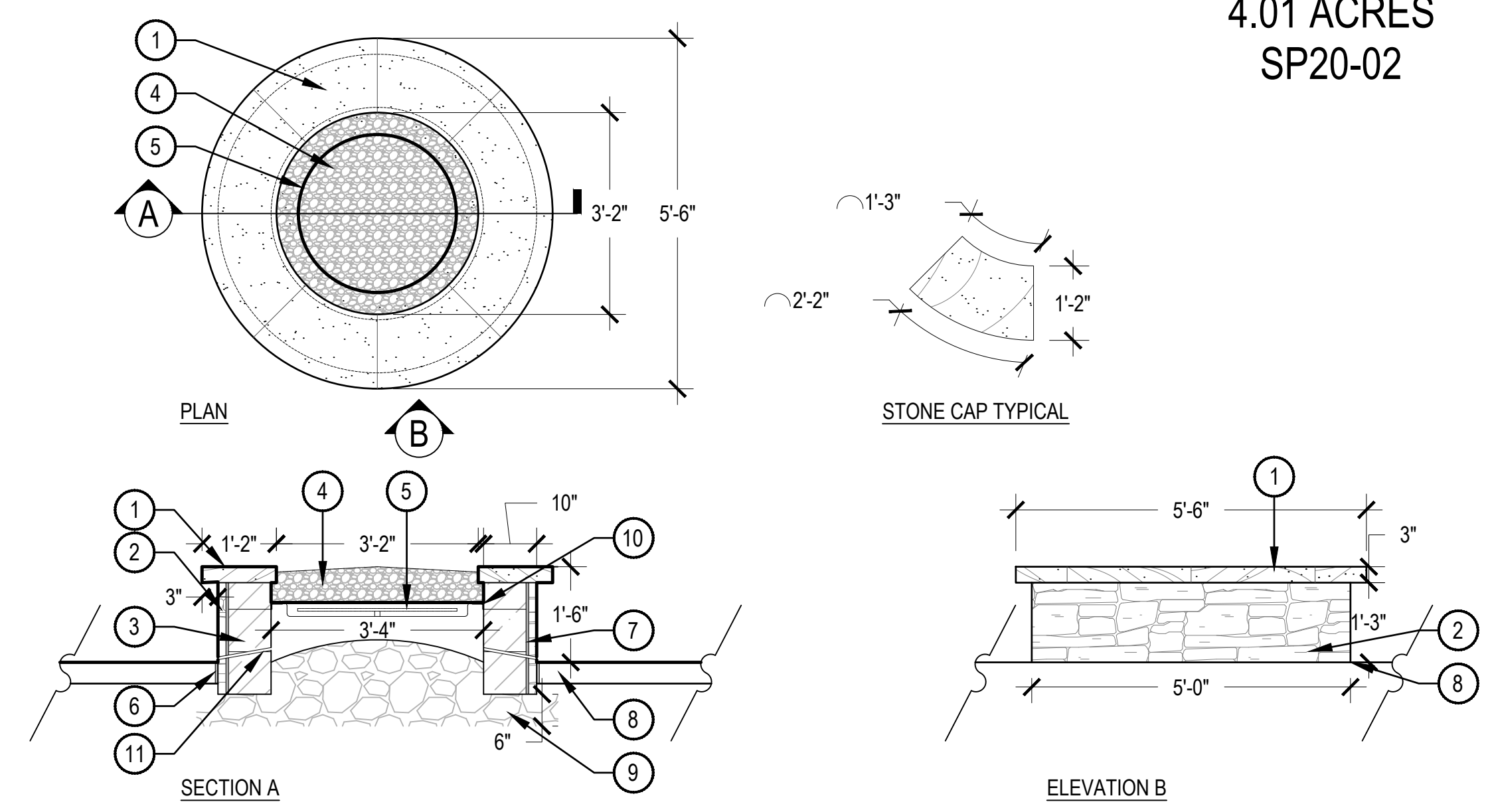
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SHEET TITLE:
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 DETAILS

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

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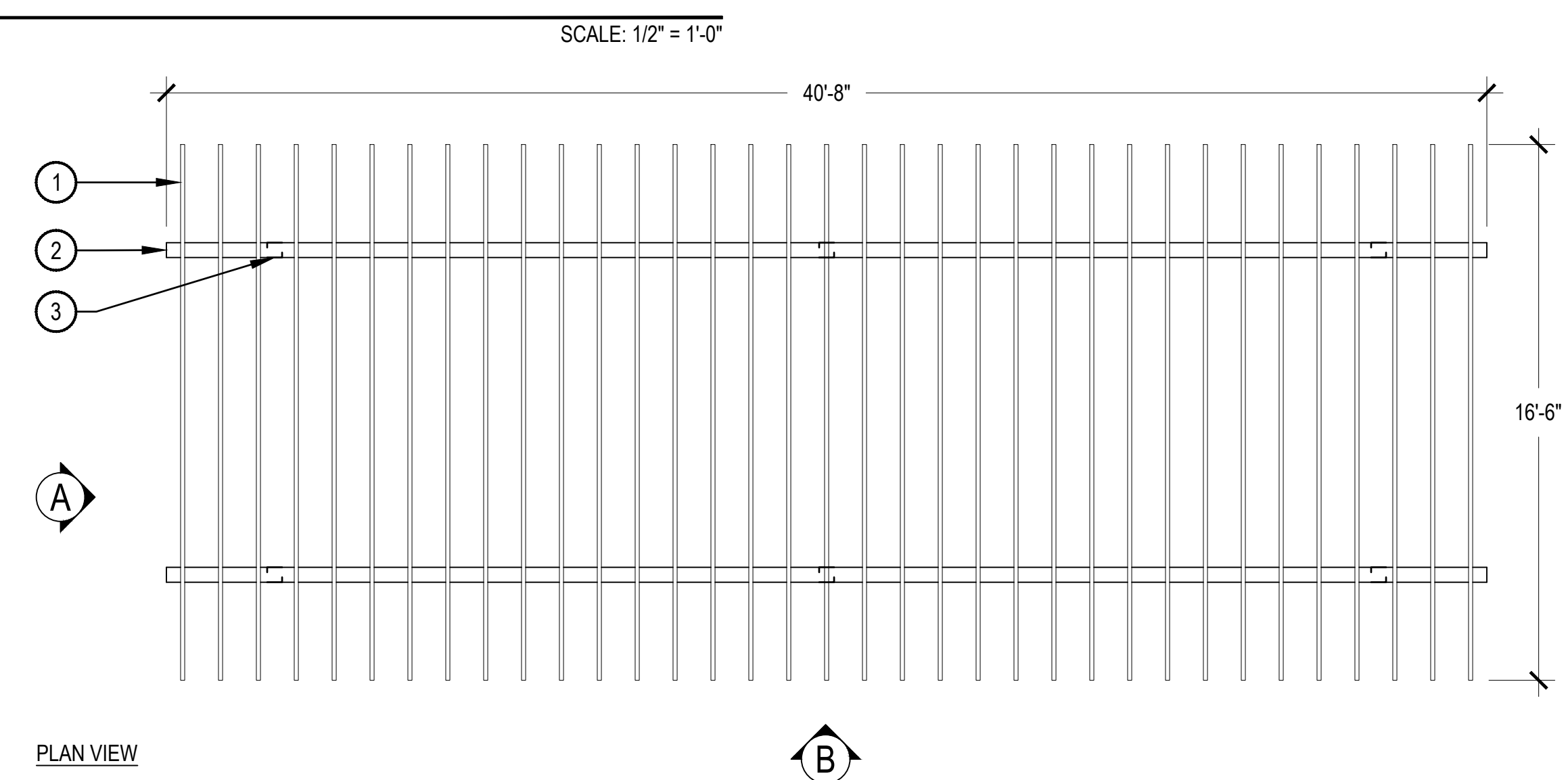
- ① BUFF SANDSTONE CAP
- ② STONE VENEER, EXTEND 6" BELOW FINISHED GRADE
- ③ STANDARD GRAY 8" x 8" x 16" CMU BLOCK, EXTEND 6" BELOW FINISHED GRADE
- ④ DECORATIVE STONE
- ⑤ 37" FIRE PAN AND 30" FIRE RING, STAINLESS STEEL
- ⑥ EXPANSION JOINT
- ⑦ STONE VENEER MORTAR
- ⑧ ADJACENT FLATWORK
- ⑨ COMPACTED AGGREGATE
- ⑩ MORTARED COLLAR
- ⑪ WEEP HOLES

- NOTES:
1. SHOP DRAWINGS ARE TO BE SUBMITTED TO AND APPROVED BY THE LANDSCAPE ARCHITECT.
 2. WALLS TO INCLUDE WEEPHOLES WHERE NECESSARY TO INSURE DRAINAGE AND ADEQUATE AIRFLOW FOR FIRE FEATURE.
 3. PROVIDE EMERGENCY SHUT OFF SWITCH AND AUTOMATIC TIMER. SHUT OFF SWITCH AND TIMER TO BE ADA ACCESSIBLE AND LOCATED MIN. 15" ABOVE GRADE.
 4. EMERGENCY SHUT OFF AND AUTOMATIC TIMER SHALL BE LOCATED ON ADJACENT POST. SEE PLAN.
 5. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

1 FIRE PIT

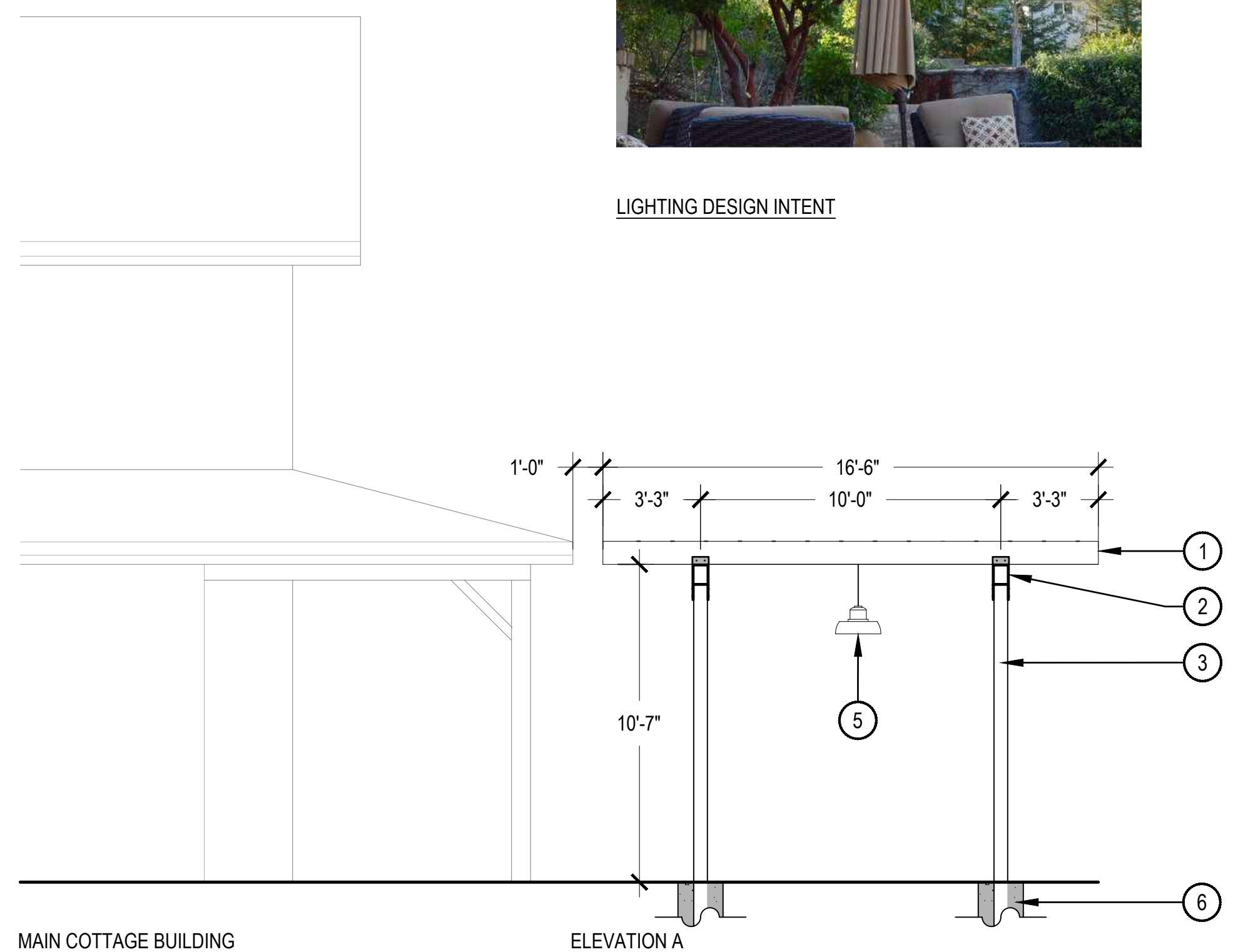


LIGHTING DESIGN INTENT

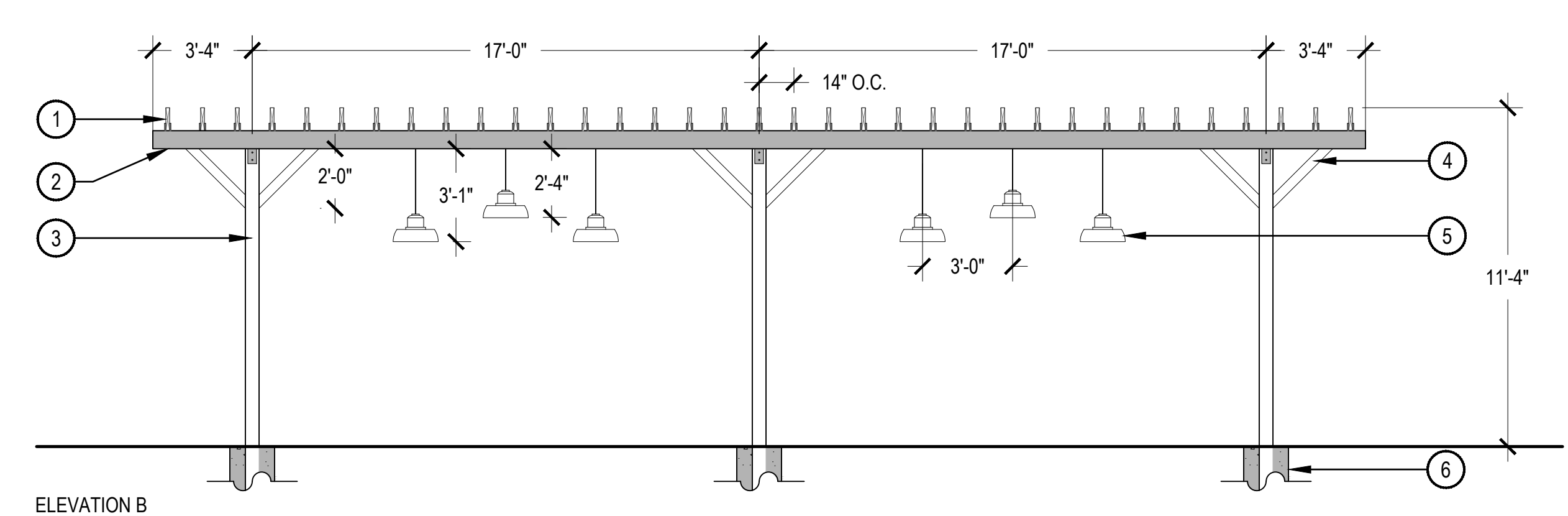


PLAN VIEW

- ① 2" x 10" ROUGH SAWN HEARTWOOD CEDAR SLATS, SPACED 14" O.C.
- ② 6" x 8" TUBE STEEL BEAM, CUSTOM WELDED POST BRACKETS (TO EXTEND 6" OVER WOOD POST, FLUSH WITH BEAM) AND SLAT BRACKETS (TO EXTEND 3" OVER WOOD SLAT, FLUSH WITH BEAM), WELD ENDS SHUT, POWDER COAT FINISH IN CHARCOAL GRAY COLOR
- ③ 6" x 6" ROUGH SAWN HEARTWOOD CEDAR POSTS
- ④ WOOD BRACKET, TO MATCH ARCHITECTURE
- ⑤ BRUSHED ALUMINUM LIGHT FIXTURE, PLACEMENT DEPENDENT ON OUTDOOR FURNITURE
- ⑥ STRUCTURAL FOOTING, REFER TO SHOP DRAWINGS



ELEVATION A



ELEVATION B

- NOTES:
1. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 2. ALL STEEL THICKNESS TO BE SIZED BY STRUCTURAL ENGINEER.
 3. LUMBER IS CALLED OUT IN NOMINAL SIZES BUT IS DRAWN IN ACTUAL SIZE.
 4. THIS DETAIL SHOWS DESIGN INTENT ONLY. THE FOUNDATIONS AND SUPPORT POSTS SHALL BE PROVIDED WITH SHOP DRAWINGS TO PROVIDE AMPLE STRUCTURAL SUPPORT.
 5. COORDINATE ELECTRIC CONNECTIONS.

2 BACK PORCH TRELLIS

TALL TALES RANCH

SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

NOT FOR CONSTRUCTION

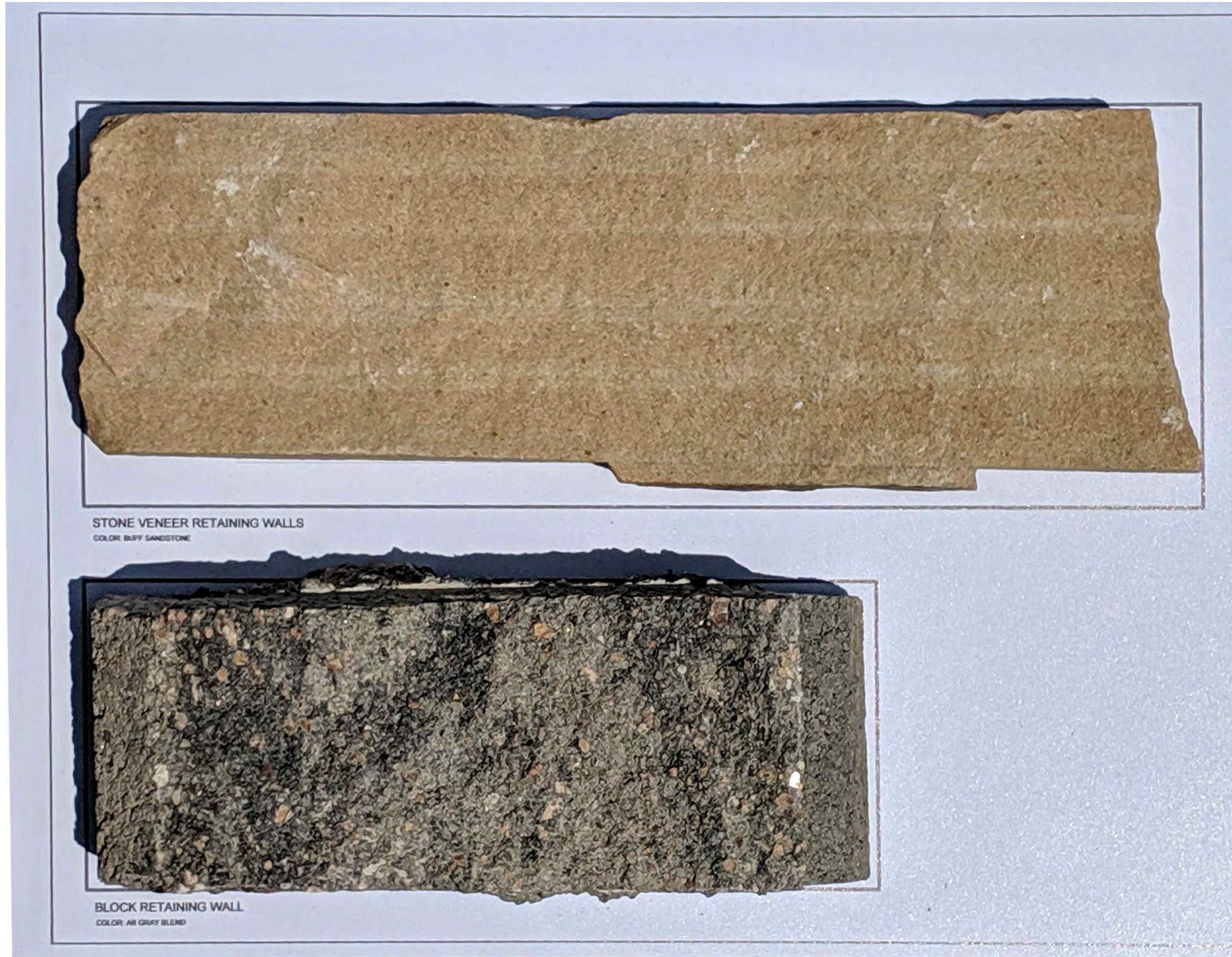
DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
LANDSCAPE DETAILS

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

4.01 ACRES
SP20-02



STONE VENEER RETAINING WALLS
COLOR: BUFF SANDSTONE

BLOCK RETAINING WALL
COLOR: AS GRAY BLEND

TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
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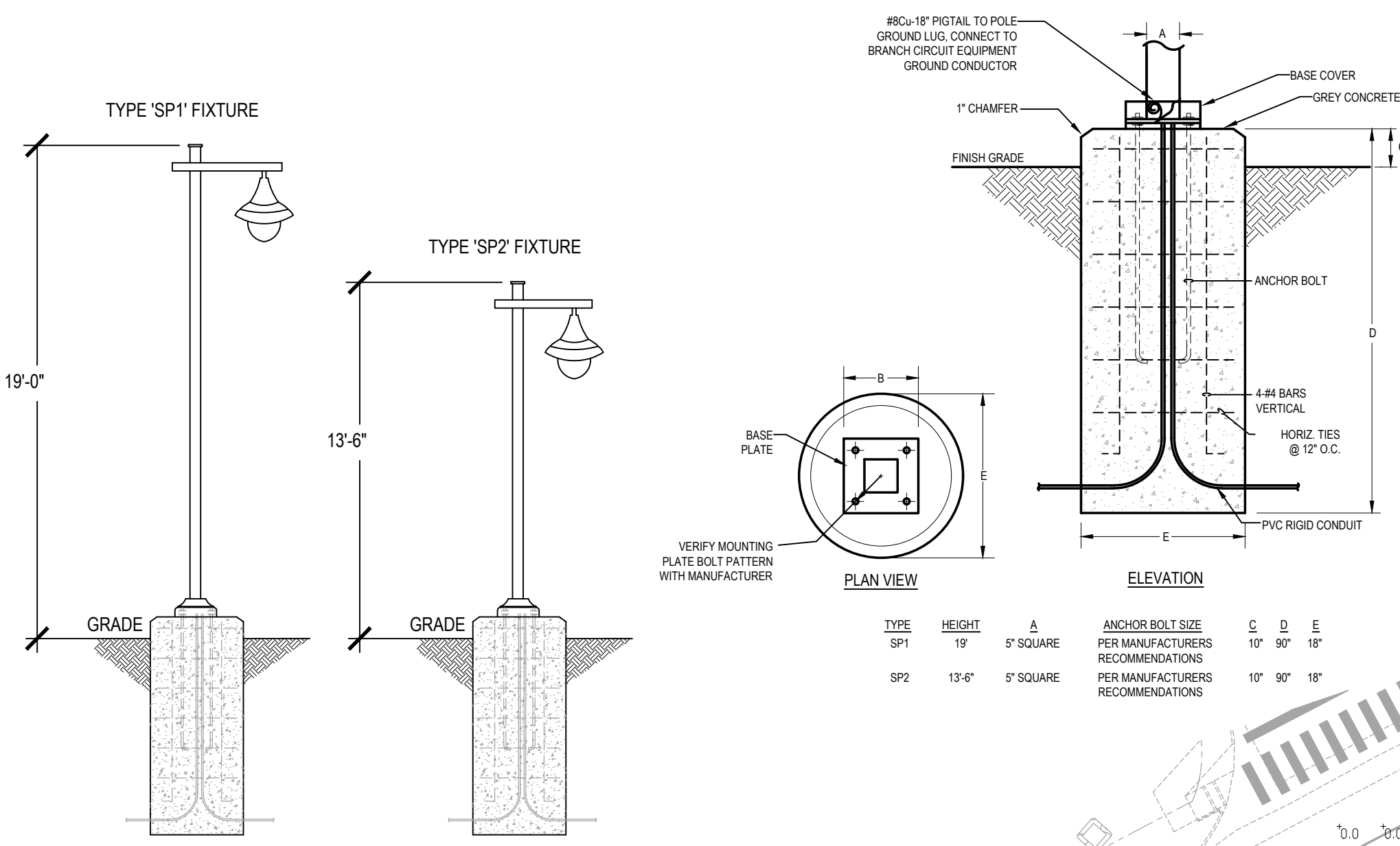
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CONSTRUCTION

DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
LANDSCAPE
MATERIALS

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
4.01 ACRES
SP20-02



TYPE	HEIGHT	A	ANCHOR BOLT SIZE	C	D	E
SP1	19'	5' SQUARE	PER MANUFACTURERS RECOMMENDATIONS	10"	90"	18"
SP2	13'-6"	5' SQUARE	PER MANUFACTURERS RECOMMENDATIONS	10"	90"	18"

2 SITE POLE & BASE DETAILS

SCALE: NTS

GENERAL NOTES:

- HEIGHT IS INDICATED AS FROM GRADE TO TOP OF FIXTURE FOR ALL FIXTURES.

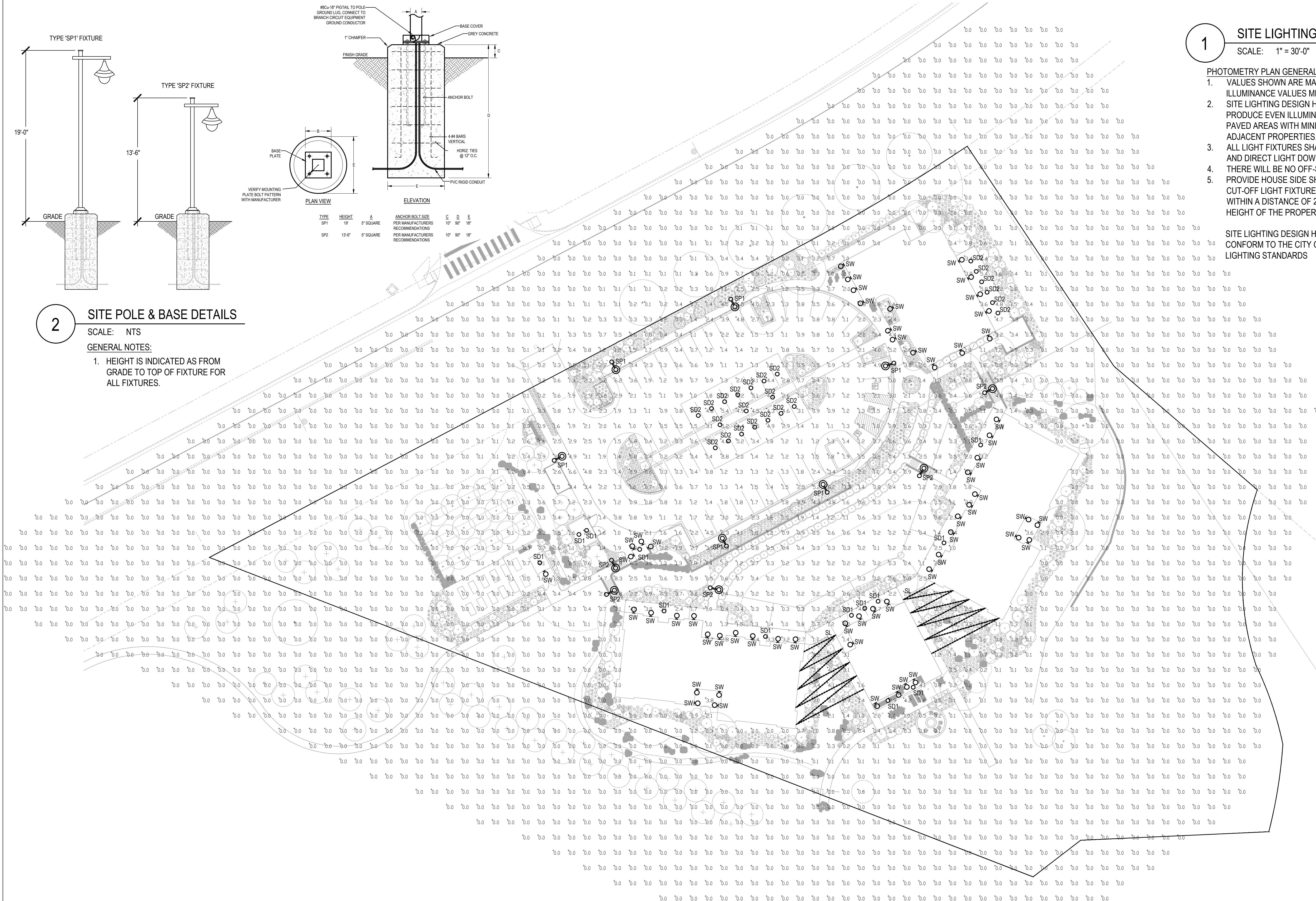
1 SITE LIGHTING PHOTOMETRIC

SCALE: 1" = 30'-0"

PHOTOMETRY PLAN GENERAL NOTES:

- VALUES SHOWN ARE MAINTAINED HORIZONTAL ILLUMINANCE VALUES MEASURED AT GRADE.
- SITE LIGHTING DESIGN HAS BEEN COMPLETED TO PRODUCE EVEN ILLUMINATION OF PARKING AND PAVED AREAS WITH MINIMAL GLARE ONTO ADJACENT PROPERTIES.
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND DIRECT LIGHT DOWNWARDS.
- THERE WILL BE NO OFF-SITE GLARE ALLOWED. PROVIDE HOUSE SIDE SHIELDS FOR ALL FULL CUT-OFF LIGHT FIXTURES THAT ARE INSTALLED WITH A DISTANCE OF 2.5 TIMES THE MOUNTING HEIGHT OF THE PROPERTY LINE.

SITE LIGHTING DESIGN HAS BEEN COMPLETED TO CONFORM TO THE CITY OF LONE TREE EXTERIOR LIGHTING STANDARDS



TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

NOT FOR CONSTRUCTION

DATE:
(SIP.01) 01/10/2020
(SIP.02) 04/05/2020

SHEET TITLE:
SITE LIGHTING
PHOTOMETRIC

CHECKED BY: SM
DRAWN BY: WW

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

4.01 ACRES
SP20-02

Symbol	Label	General Description	Mounting Height	Color	Catalog Number	Lamp	LLF	Watts	SHIELDING
○	SD1	PENDANT DOWNLIGHT ENTRIES	10'-0" AFG	BLACK	KICHLER 49777BK	LED	1.00	13W	FULL CUT-OFF
○	SD2	DOWNLIGHT OVERHANGS	10'-0" AFG	NA	HALO SMD6R-6-930-WH	LED	1.00	9.6W	FULL CUT-OFF
●	SL	CATENARY LIGHTS FRONT COURTYARD	12'-0" AFG	N/A	AMERICAN LIGHTING LFS-12V-1.5-LED	LED	1.00	1.5W/FT	N/A
⊕	SP1	PARKING POLE PARKING/DRIVES	19'-0" AFG	BRONZE LUMINAIRE W/ WOODEN POLE	LUMCA CPL6405-EKF-48LED07 107W-30K-L4-120-BE	LED	1.00	107W	FULL CUT-OFF
⊕	SP2	PEDESTRIAN POLE SIDEWALKS	13'-6" AFG	BRONZE LUMINAIRE W/ WOODEN POLE	LUMCA CPL6414-EKF-18LED07 30W-30K-L2B-120-BE	LED	1.00	30W	FULL CUT-OFF
⊕	SW	WALL SCONCE ENTRIES	8'-0" AFG	BLACK	KICHLER 49775BK	LED	1.00	13W	FULL CUT-OFF

Northland Collection
Northland 1 Light Outdoor Pendant BK
49777BK (Black (Painted))



Dimensions
Height 14.25"
Overall Height 62.00"
Width 18.00"

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Alternate	INCA	150W		
No	Hybrid	CFL	30-62W		

SD1

Project Name: _____
Location: _____
Type: _____
City: _____
Comments: _____

Ordering Information
Product ID 49777BK
Finish Black (Painted)
Available Finishes BA, BK
Collection Northland Collection

Dimensions
Base Backplate 6.00 DIA
Chain/Stem Length 36.00"
Weight 2.50 LBS

Specifications
Material Aluminum

Electrical
Voltage 120 V
Lead Wire Length 67.00"

Qualifications
Safety Rated Damp
Warranty www.kichler.com/warranty

Primary Lamping
Light Source Incandescent
Lamp Included Not Included
of Bulb/LED Modules 1
Socket Wire 105
Socket Type Medium
Lamp Type A21

Kichler
771 East Pleasant Valley Road
Cleveland, Ohio 44116-0911
Tel: 888.856.8100 or kichler.com

Notes:
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KICHLER

CONCEPT CP6114 SP2

Date: _____ City/Location: _____ Project name: _____

Type: _____ Qty: _____

Weight: 37 lb - 16.8 kg

Ordering example: CP6114 36LED07 80W 40K L3 120 BK RCD

Options:
 BTP Button Type Photocell
 HSS House Side Shield
 RCD Remote Control Dimmer (Requires AC)
 SP10 Surge Protection (10W)
 SP20 Surge Protection (20W)
 TR8 Tenon Reducer
 TRP Trunk Lock Photocell (Requires CPW Spring Cage)
 PG Programmable Driver

CONCEPT CPL6105 SP1

Date: _____ City/Location: _____ Project name: _____

Type: _____ Qty: _____

Weight: 30.4lb - 13.8 kg

Ordering example: CPL6105 36LED07 80W 40K L3FL 120 BK HSS

Options:
 BTP Button Type Photocell
 HSS House Side Shield
 RCD Remote Control Dimmer (Requires AC)
 SP10 Surge Protection (10W)
 SP20 Surge Protection (20W)
 TRP Trunk Lock Photocell (Requires CPW Spring Cage)
 PG Programmable Driver
 CFU Conus Factory

186 LINEAR LIGHTING / DECORATIVE LIGHT STRING / FEESTOON



Feestoon Light String

Custom built to specifications (allow 3-4 weeks lead time for special order)

- Transparent polycarbonate globes are shatterproof, weatherproof, and resistant to vibrations
- Rubber cable with injection molded nylon sockets supports spans up to 15 feet (use catenary cable for spans greater than 15 feet)
- cULus Listed
- Suitable for wet locations (IP68)

Technical Information

Series LFS
Input Voltage 12V DC (LED) / 24V AC, 60Hz (Xenon)
CCT 3000K / 2800K
CRI 74+ (LED) / 95+ (Xenon)
Voltage Four Colors: 1.0V (LED) / 5W, 8.5W, 10W (Xenon)
Lumens Up to 90lm per ft (see individual product)
Max Run 30W (LED) / 600W (Xenon)
Catable N/A
IP Rating IP68
Dimmable Not dimmable (LED) / Standard dimmers (Xenon)
Rating cULus Listed for wet locations
Rated Life 60,000 hrs (LED) / 25,000 hrs (Xenon)

Available Globe Colors

Clear Blue Pink
Purple Red Yellow

Dimming Options

- Standard dimmers (Xenon only)

Listing / Ratings

AMERICAN LIGHTING

HALO

The Halo Surface Mount LED Downlight (SMD) is a low profile surface mounting luminaire with a modern look and high performance. SMD is designed for installation in many 3-1/2" and 4" square, octagon, or round ceiling holes. Supply wire enters from LED quick wiring connector included. The SMD may also retrofit in 5" and 6" aperture IC and non-IC recessed housings.

HOUSING

- Non-electrically conductive polycarbonate frame.
- High impact diffuse polystyrene lens provides shielding to the light guide with no pollution.
- Stamped aluminum housing provides thermal cooling achieving L70 at 50,000 hours in IC and non-IC applications.

GASKETS

- Closed cell gasket achieves restrictive airflow and wet location requirements without additional caulking.

OPTICS

- Precision acrylic light guide organizes source flux into wide distribution with 1.2 - 1.4 spacing criteria useful for general area illumination.
- Mid power LED array provide a uniform source with high efficiency and long life.
- Available in 90 CRI minimum, R9 greater than 92 and color accuracy within 3 SDCM provide color accuracy and uniformity.

DRIVER

SMD 120V

- Integral 120V 50/60Hz constant current driver provides noise free operation.
- Continuous, flicker-free dimming from 100% to 0% with select leading or trailing edge 120V phase cut dimmers.
- Dimming to 0% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note: some dimmers require a neutral in the wallbox.)
- Inline electrical quick connect and EMI shield (provided) provides mains connections.

SMD 120-277V

- Integrated 120-277V 60Hz constant current driver provides noise free operation.
- SMD Universal Voltage (120-277V) configurations are recommended for use with compatible 0-10V DC low voltage dimmers only.

COMPLIANCE

- cULus Certified for use with Halo housings and for use with other's housings, see instruction sheet for conditions of acceptability.
- Wet and Damp Location listed, in-rough per ASTM E2893.
- Five year limited warranty, consult website for details: www.kichler.com/lighting/legal
- EMF/RFI emissions per FCC 47CFR Part 15B
- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79-06
- Lumen maintenance projections in accordance with IES LM-80-08 per IES LM-80-08
- Can be used for State of California Title 24 high efficacy luminaire compliance, reference the California Energy Commission Title 24 Appliance Efficiency Database for current listings.
- Can be used for International Energy Conservation Code (IECC) and International Building Code (IBC) compliance.
- ENERGY STAR® listed, reference database for current listings

90 CRI

AMERICAN LIGHTING

F.A.T.N.

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SP1/SP2 POLE

J.H. Baxter/TimberWood Light Poles

Grown by Nature, Engineered for Strength
Natural, Renewable Preserved for long life

Outrigger Aina Nalu Resort Condominiums in Lahaina, Maui
TimberWood 15P pole with A-3 crossarms
Luminaires supplied by others

www.woodlightpoles.com
P.O. Box 5912, San Mateo, CA 94402
(800) 556-1098

Kichler
771 East Pleasant Valley Road
Cleveland, Ohio 44116-0911
Tel: 888.856.8100 or kichler.com

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SW

Project Name: _____
Location: _____
Type: _____
City: _____
Comments: _____

Ordering Information
Product ID 49775BK
Finish Black (Painted)
Available Finishes BA, BK
Collection Northland Collection

Dimensions
Extension 17.25"
Height from center of wall opening 3.00"
Base Backplate 6.00 DIA
Weight 2.20 LBS

Specifications
Material Aluminum

Electrical
Voltage 120 V

Qualifications
Safety Rated Wet
Warranty www.kichler.com/warranty

Primary Lamping
Light Source Incandescent
Lamp Included Not Included
of Bulb/LED Modules 1
Socket Wire 150
Socket Type Medium
Lamp Type A19

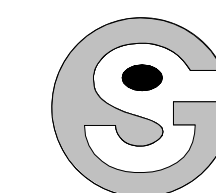
Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Alternate	INCA	100W		

KICHLER

Kichler
771 East Pleasant Valley Road
Cleveland, Ohio 44116-0911
Tel: 888.856.8100 or kichler.com

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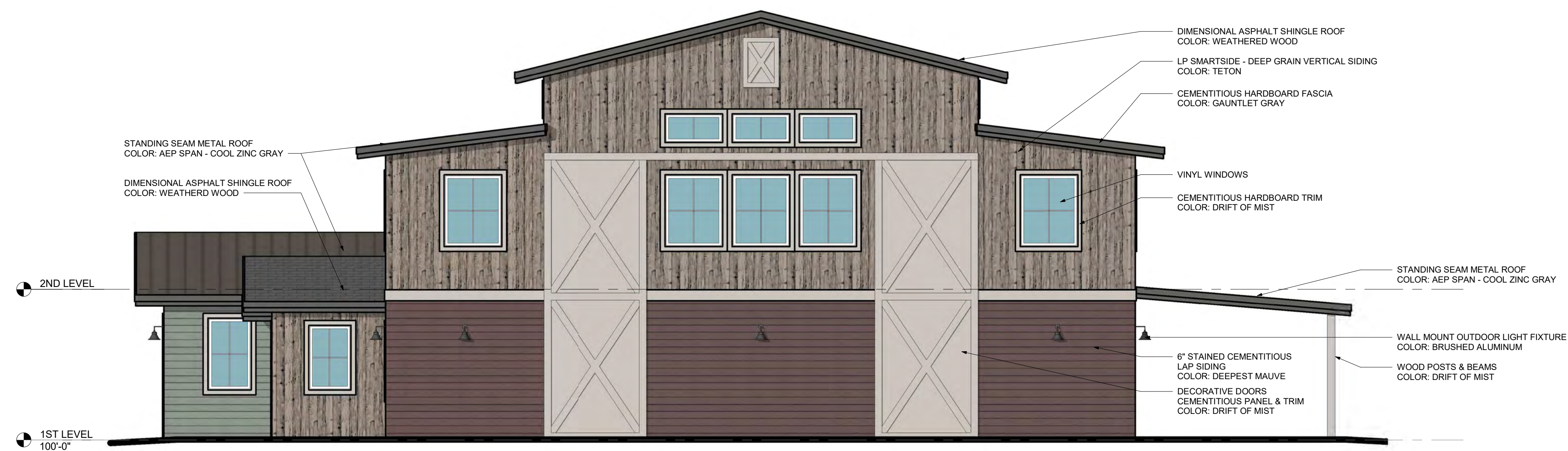


Godden|Sudik
ARCHITECTS

5975 S. Quebec Street, Suite 250
Centennial, Colorado 80111
ph 303.455.4437 fx 303.477.5680
www.goddensudik.com

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
4.01 ACRES
SIP SP20-02



2 EAST ELEVATION
3/16" = 1'-0"



1 SOUTH ELEVATION
3/16" = 1'-0"

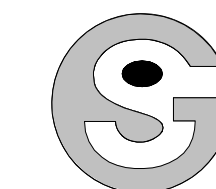
TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

NOT FOR
CONSTRUCTION

DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
BARN
ELEVATIONS



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WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
4.01 ACRES
SIP SP20-02

TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE



2 WEST ELEVATION
3/16" = 1'-0"



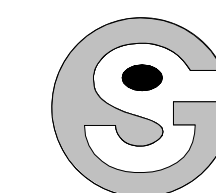
1 NORTH ELEVATION
3/16" = 1'-0"

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

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4.01 ACRES
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1 WEST ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

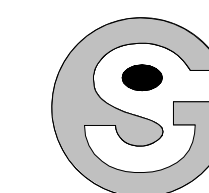
TALL TALES RANCH
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LONE TREE, COLORADO
CITY OF LONE TREE

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(SIP 02) 04/05/2020

SHEET TITLE:
PAIRED 7-PLEX
ELEVATIONS

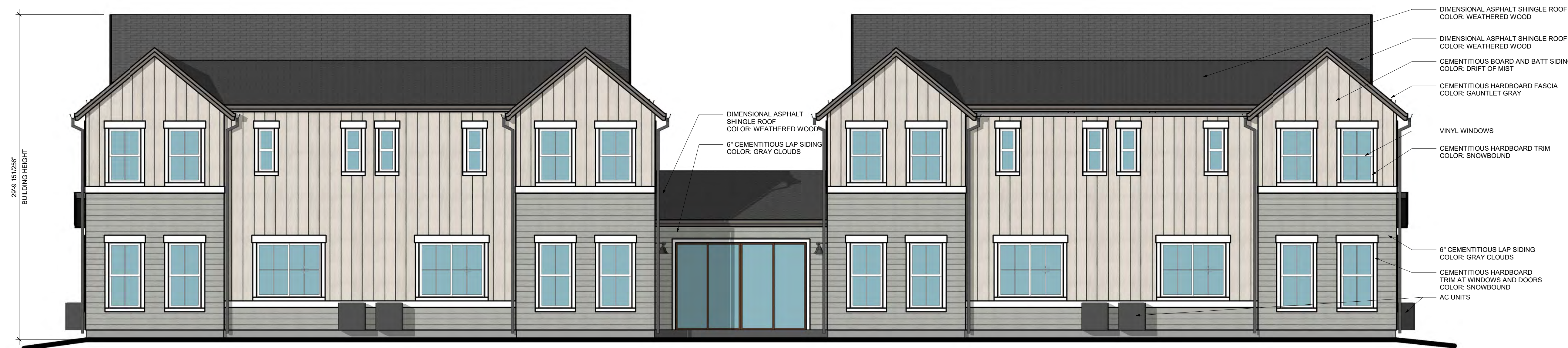


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WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
4.01 ACRES
SIP SP20-02



1 EAST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"

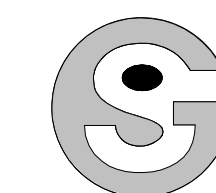
TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

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SHEET TITLE:
PAIRED 7-PLEX
ELEVATIONS



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WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
4.01 ACRES
SIP SP20-02

TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
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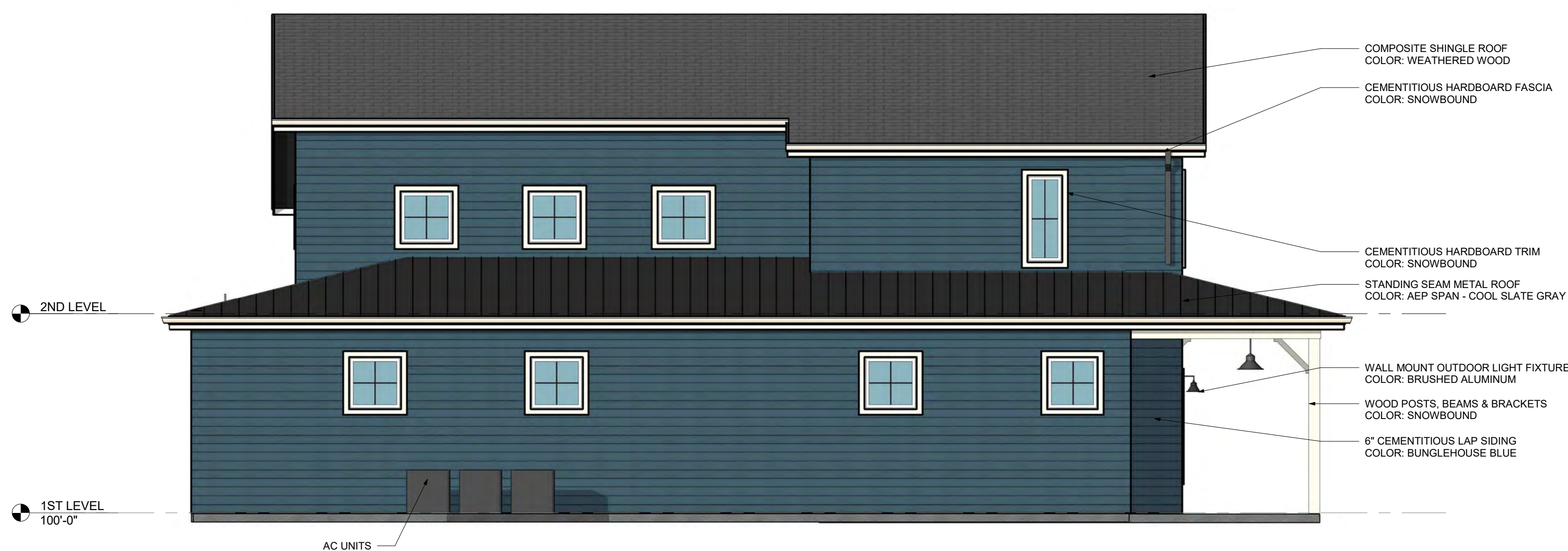
SHEET TITLE:
MAIN COTTAGE
ELEVATIONS



4 EAST ELEVATION
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"

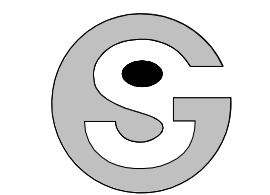


2 NORTH ELEVATION
3/16" = 1'-0"



1 WEST ELEVATION
3/16" = 1'-0"

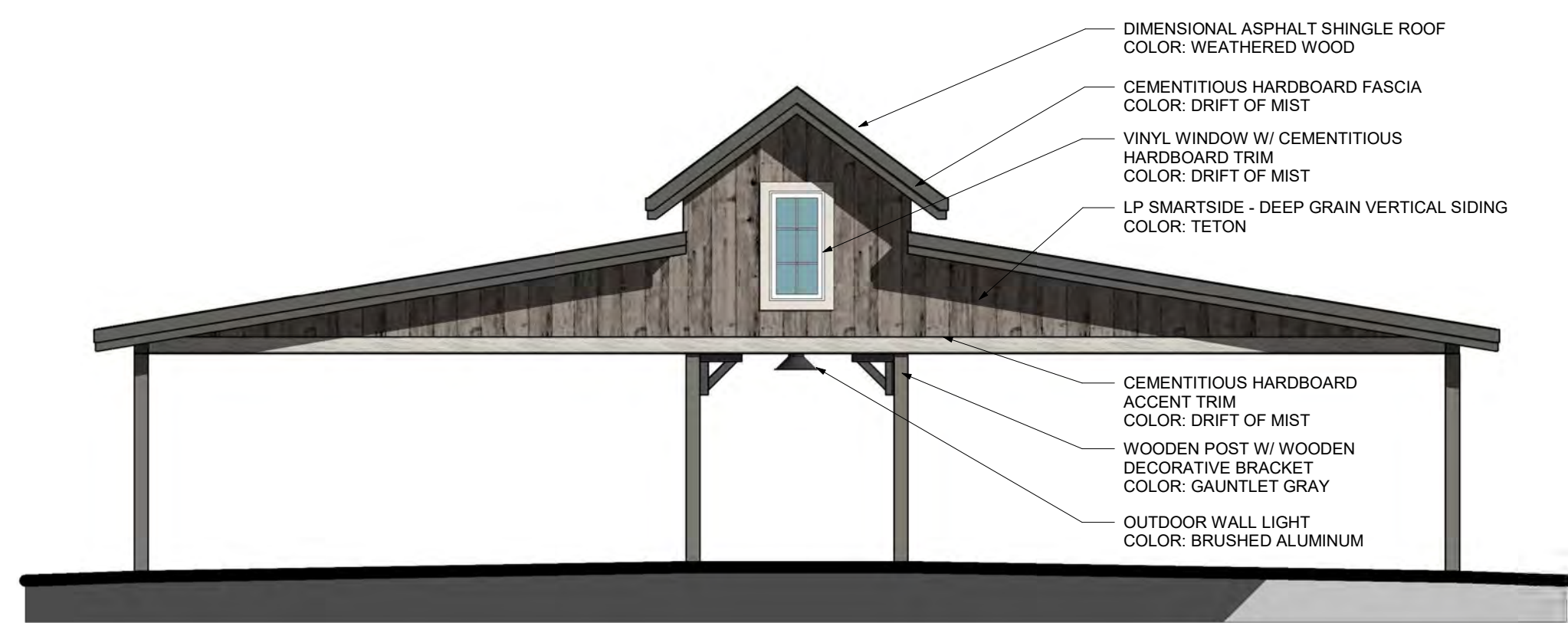
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 4.01 ACRES
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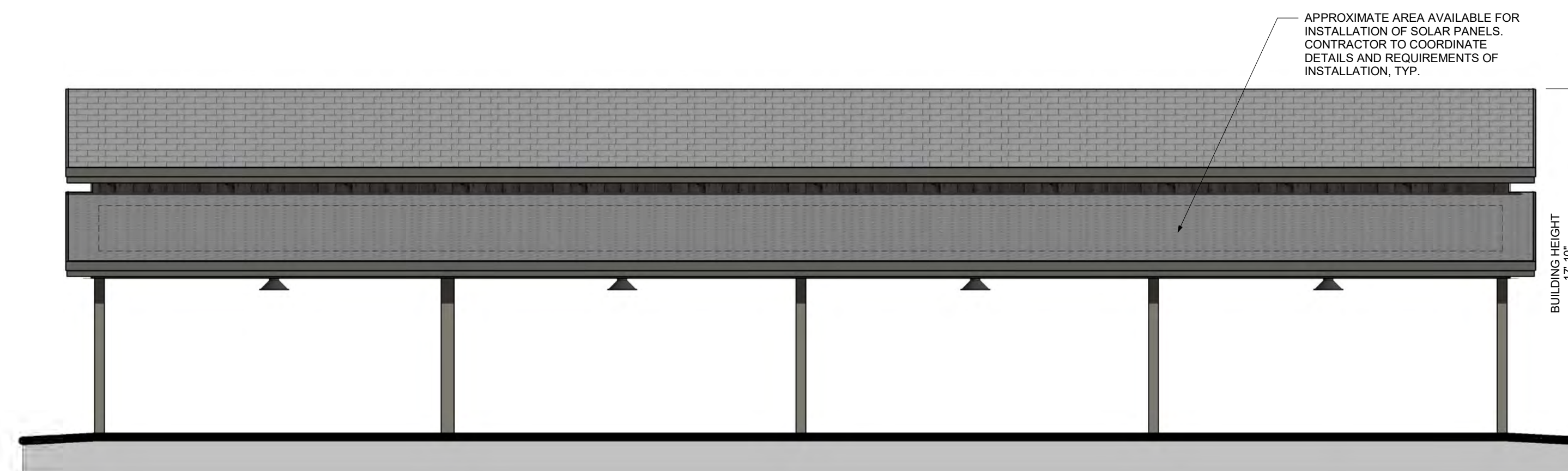
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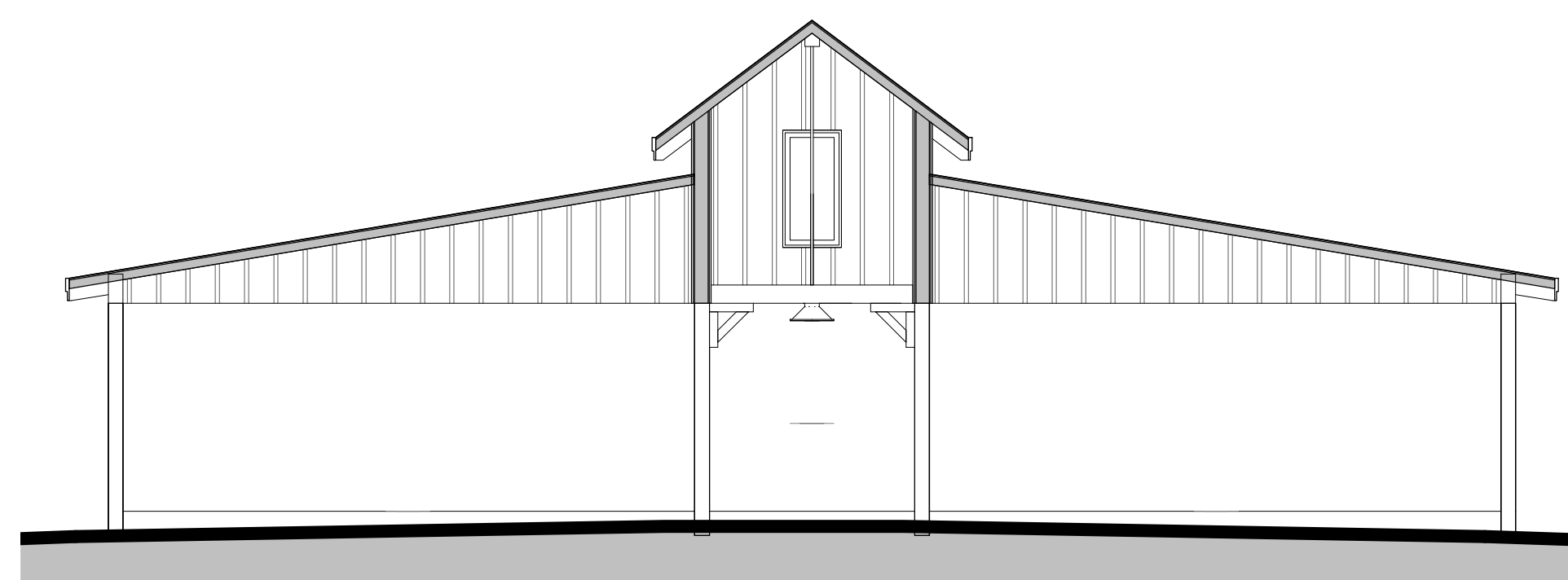
3 NORTH ELEVATION - PARKING STRUCTURE
 3/16" = 1'-0"



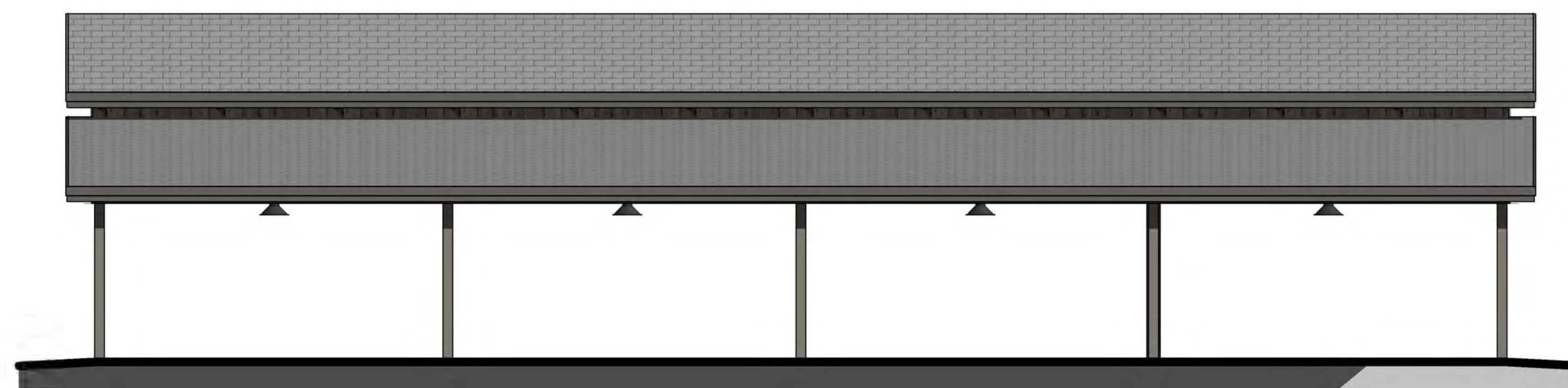
4 SOUTH ELEVATION - PARKING STRUCTURE
 3/16" = 1'-0"



1 WEST ELEVATION - PARKING STRUCTURE
 3/16" = 1'-0"



5 PARKING STRUCTURE - SECTION
 3/16" = 1'-0"



2 EAST ELEVATION - PARKING STRUCTURE
 3/16" = 1'-0"

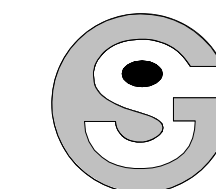
TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

OWNER:
 TALL TALES RANCH
 SUSAN MOONEY
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 CENTENNIAL, CO 80121
 303.806.9140

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 CONSTRUCTION

DATE:
 (SIP 01) 01/10/2020
 (SIP 02) 04/05/2020

SHEET TITLE:
 PARKING
 STRUCTURE

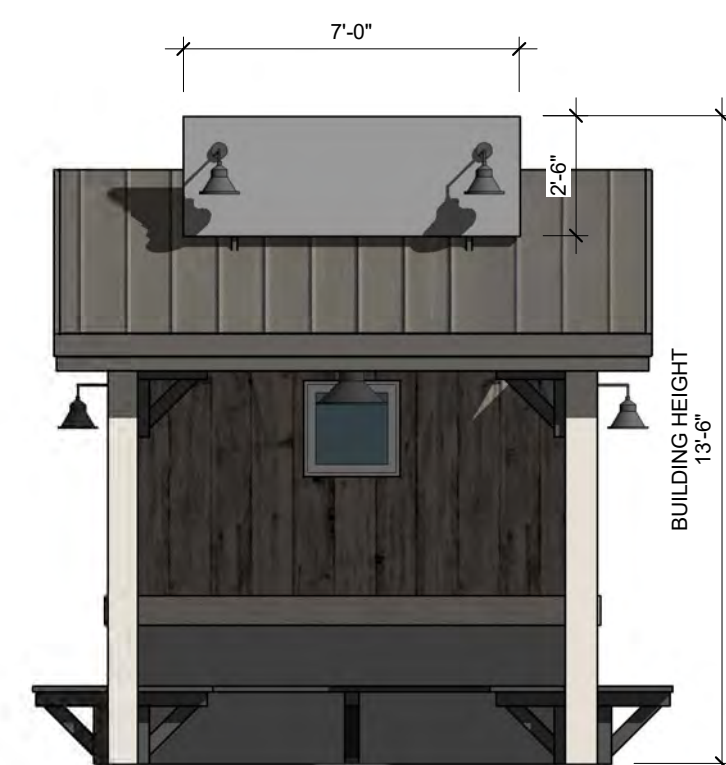


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4.01 ACRES
SIP SP20-02



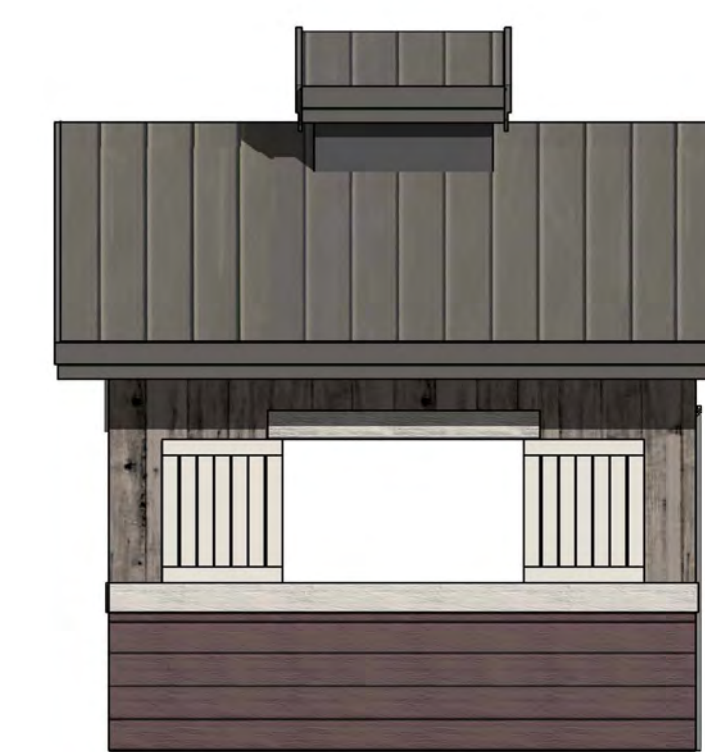
1 WEST ELEVATION - SHELTER
1/4" = 1'-0"



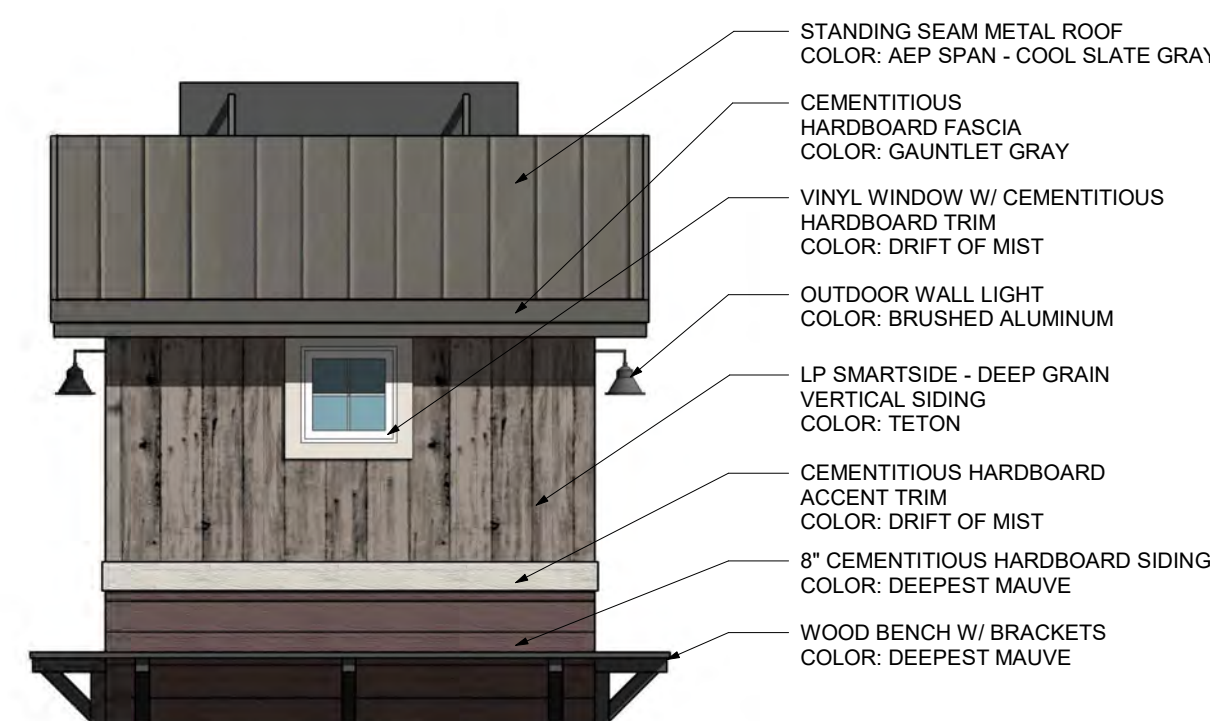
3 NORTH ELEVATION - SHELTER
1/4" = 1'-0"



5 SOUTH ELEVATION - POTTING SHED
1/4" = 1'-0"



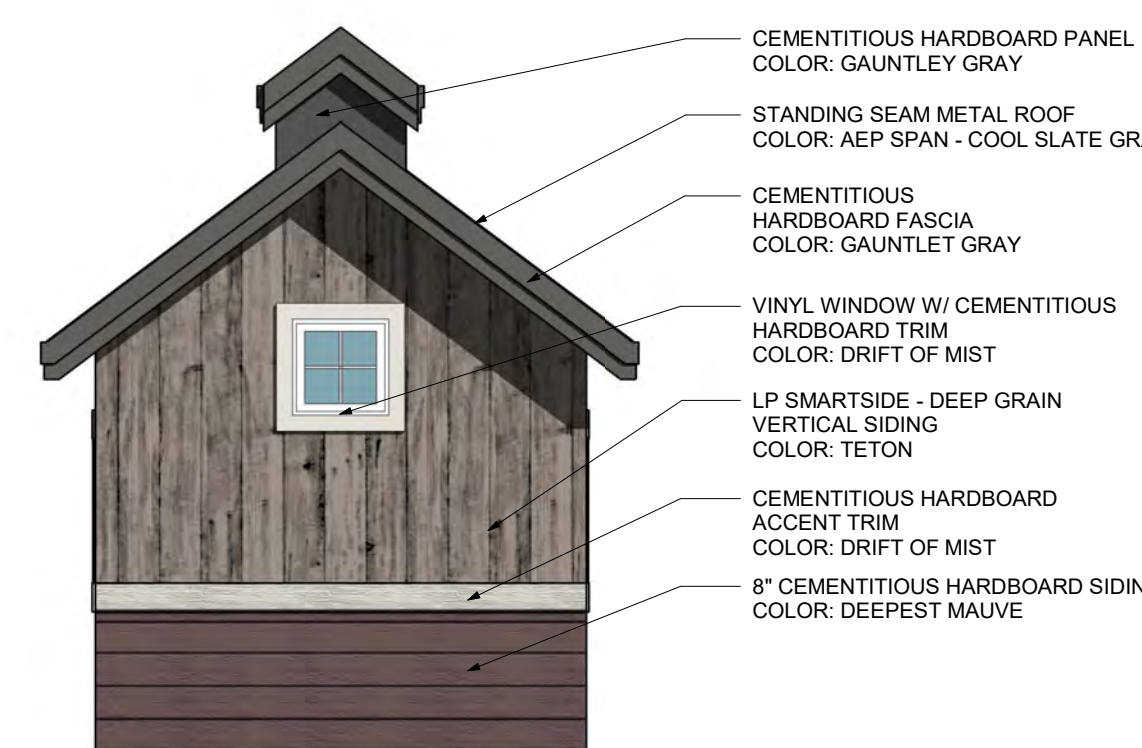
7 WEST ELEVATION - POTTING SHED
1/4" = 1'-0"



2 EAST ELEVATION - SHELTER
1/4" = 1'-0"



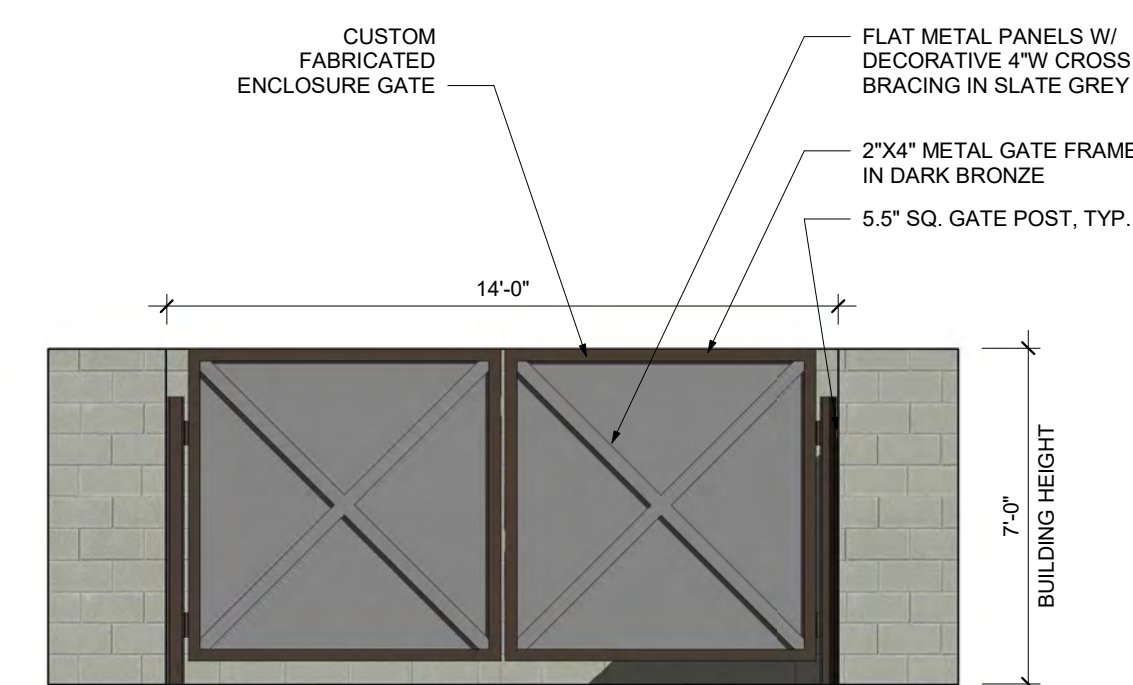
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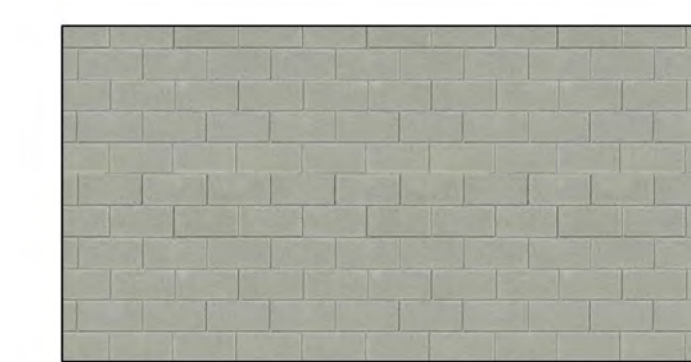
6 NORTH ELEVATION - POTTING SHED
1/4" = 1'-0"



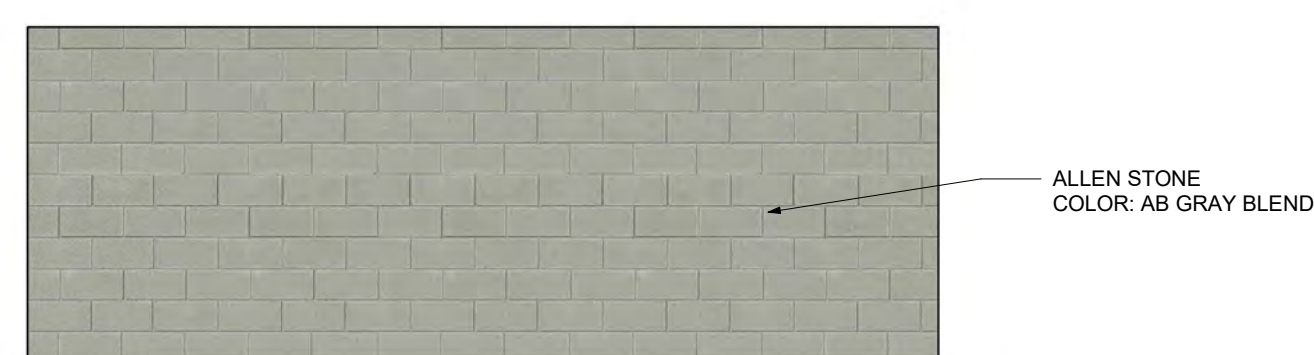
8 EAST ELEVATION - POTTING SHED
1/4" = 1'-0"



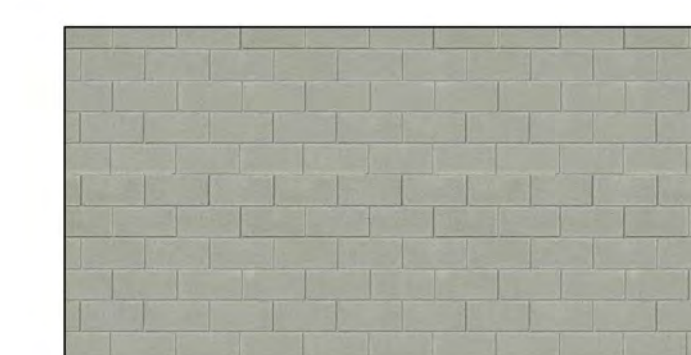
9 NORTH ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"



11 EAST ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"



10 SOUTH ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"



12 WEST ELEVATION - TRASH ENCLOSURE
1/4" = 1'-0"

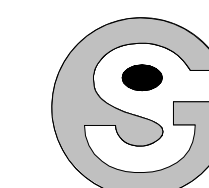
TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
6311 SOUTH GRANT DRIVE
CENTENNIAL, CO 80121
303.806.9140

NOT FOR
CONSTRUCTION

DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
ACCESSORY
BUILDINGS



Godden|Sudik
ARCHITECTS
5975 S. Quebec Street, Suite 250
Centennial, Colorado 80111
ph 303.455.4437 fx 303.477.5680
www.goddensudik.com

TALL TALES RANCH
A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
4.01 ACRES
SIP SP20-02

	6" LAP SIDING	BOARD & BATT	VERTICAL SIDING	TRIM	FASCIA	ACCENTS	ASPHALT ROOF	METAL ROOF	MASONRY
EVENT BARN/COFFEE SHOP									
DEEPEST MAUVE - SW 0005	•								
LP SMARTSIDE - DEEP GRAIN - TETON			•						
DRIFT OF MIST - SW 9166				•					
GAUNTLET GRAY - SW 7019					•				
EARL GREY - SW 7660	• COFFEE SHOP								
GAF - WEATHERED WOOD							•		
AEP SPAN - COOL ZINC GRAY								•	
PAIRED 7-PLEX COTTAGES									
GRAY CLOUDS - SW 7658	•								
DRIFT OF MIST - SW 9166		•							
SNOWBOUND - SW 7004				•					
GAUNTLET GRAY - SW 7019					•				
GAF - WEATHERED WOOD							•		
AEP SPAN - COOL ZACTIQUE II								•	
MAIN COTTAGE									
BUNGLHOUSE BLUE - SW 0048	•								
GRAY CLOUDS - SW 7658		•							
SNOWBOUND - SW 7004				•	•	•			
GAF - WEATHERED WOOD							•		
AEP SPAN - COOL SLATE GRAY								•	
ACCESSORY BUILDINGS									
DEEPEST MAUVE - SW 0005	•								
LP SMARTSIDE - DEEP GRAIN - TETON			•						
DRIFT OF MIST - SW 9166				•					
GAUNTLET GRAY - SW 7019					•	•			
GAF - WEATHERED WOOD							• PKG STRUCTURE		
AEP SPAN - COOL SLATE GRAY								•	
ALLEN STONE, AB GREY BLEND									• TRASH ENCLOSURE

TALL TALES RANCH
SITE IMPROVEMENT PLAN
LONE TREE, COLORADO
CITY OF LONE TREE

OWNER:
TALL TALES RANCH
SUSAN MOONEY
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CENTENNIAL, CO 80121
303.806.9140

NOT FOR
CONSTRUCTION

DATE:
(SIP 01) 01/10/2020
(SIP 02) 04/05/2020

SHEET TITLE:
SITE MATERIAL
SCHEDULE

TALL TALES RANCH
 A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 4.01 ACRES
 SP20-02

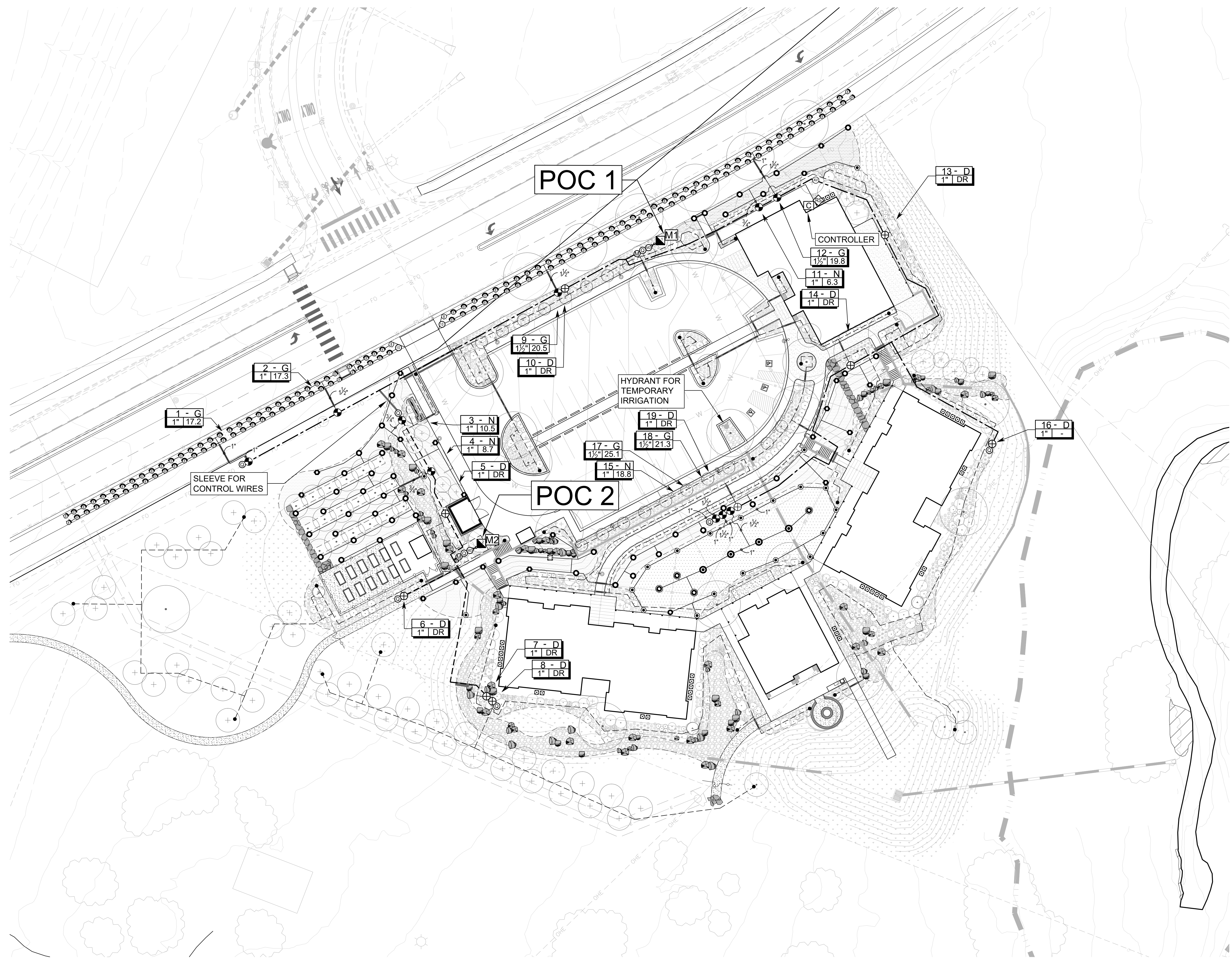
TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

OWNER:
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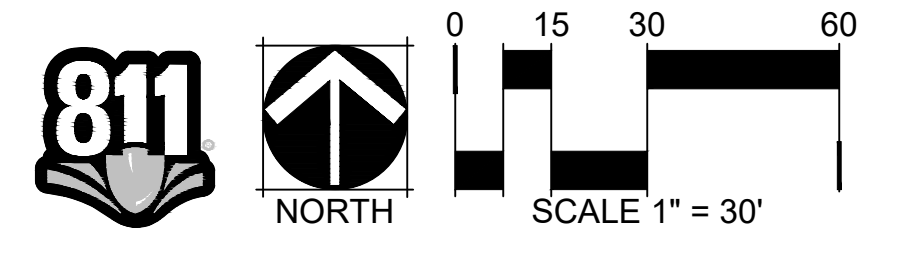
NOT FOR
 CONSTRUCTION

DATE:
 (SIP 01) 01/10/2020
 (SIP 02) 04/05/2020

SHEET TITLE:
 IRRIGATION
 PLAN



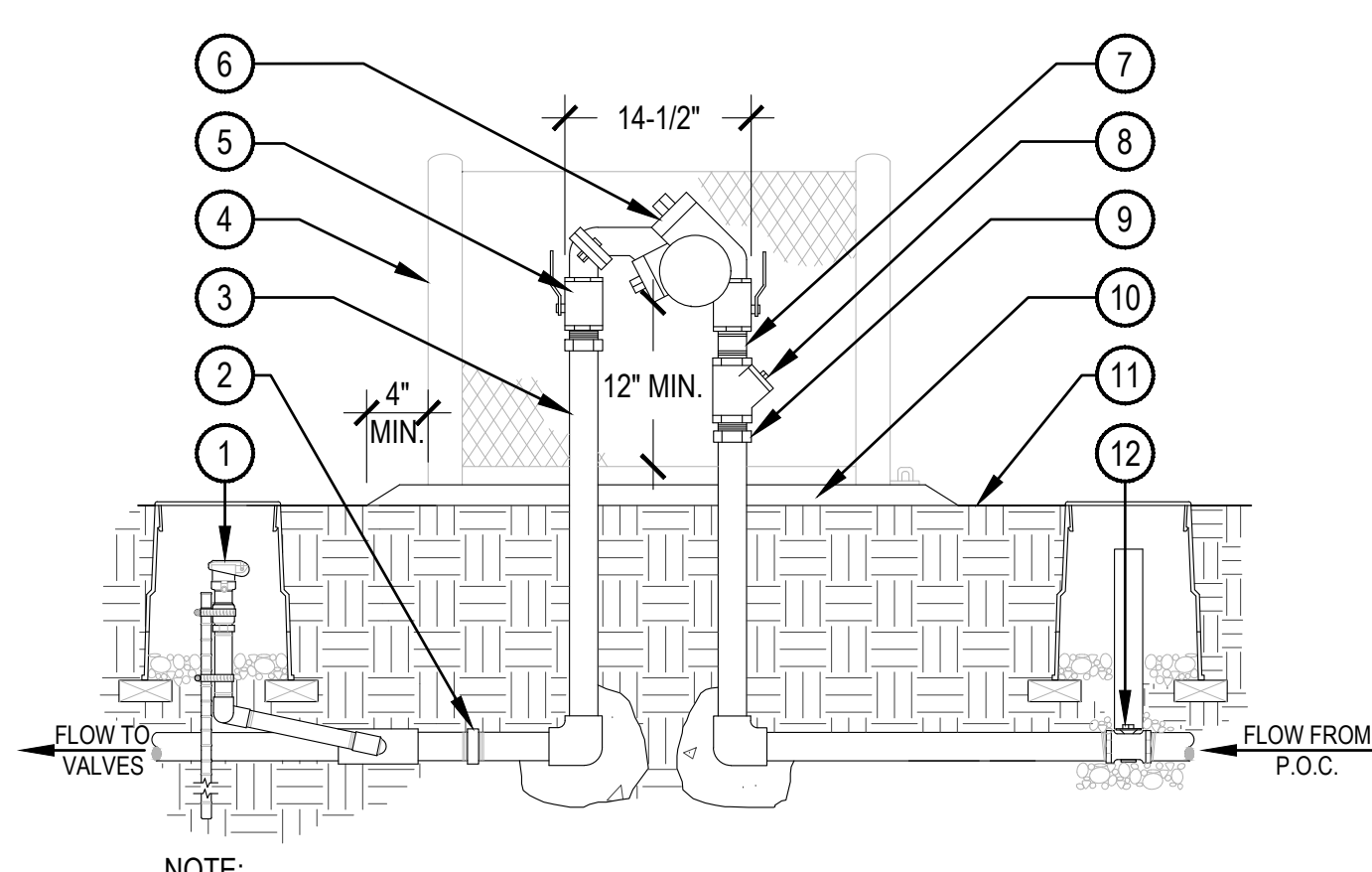
CHECKED BY: SM
 DRAWN BY: WW



TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO

4.01 ACRES
 SP20-02

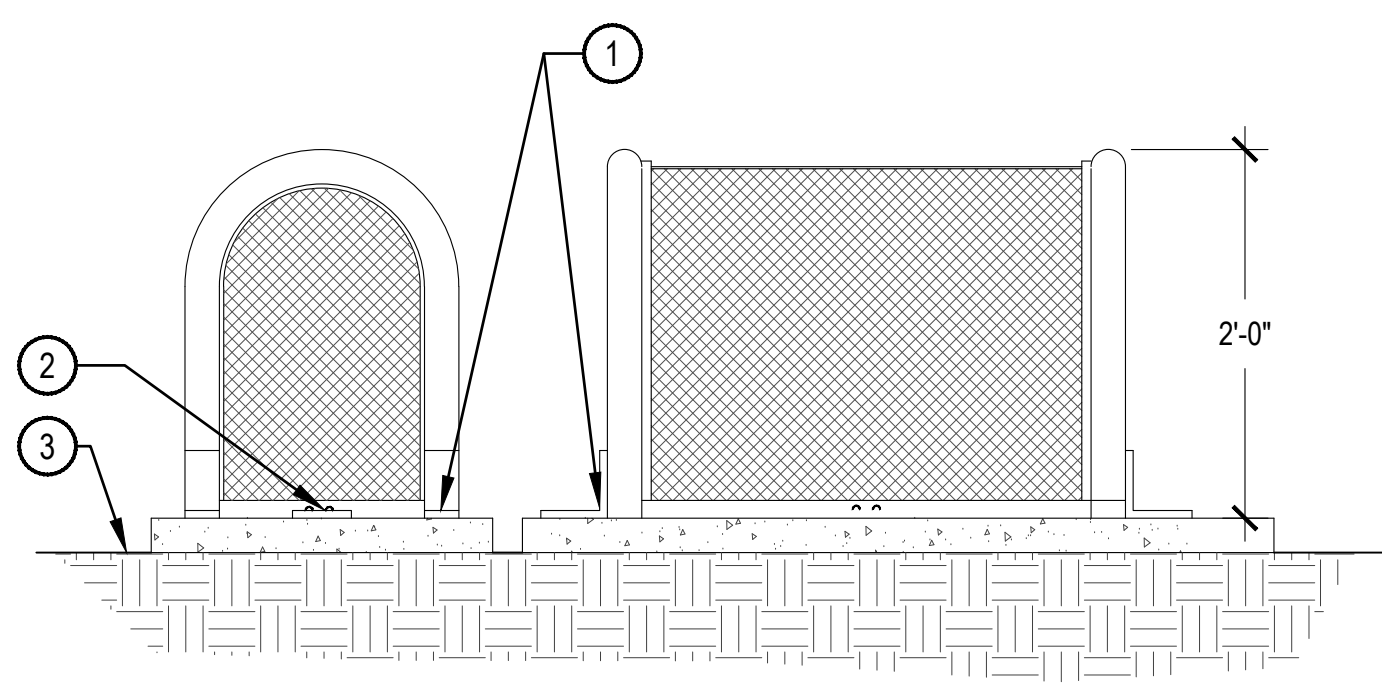


- ① QUICK COUPLING VALVE
- ② PVC ADAPTOR 30" BEYOND UNIT
- ③ TYPE K COPPER (TYP)
- ④ BACKFLOW PREVENTER ENCLOSURE PER SCHEDULE
- ⑤ BRASS BALL VALVE
- ⑥ BACKFLOW PREVENTER
- ⑦ BRASS NIPPLE
- ⑧ BRASS WYE STRAINER (100 MESH)
- ⑨ COPPER ADAPTER
- ⑩ 4" THICK CONCRETE PAD
- ⑪ FINISH GRADE
- ⑫ MANUAL DRAIN VALVE

NOTE:
 1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND SHALL BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/2" OR LARGER

1 BACKFLOW PREVENTER

SCALE: NTS

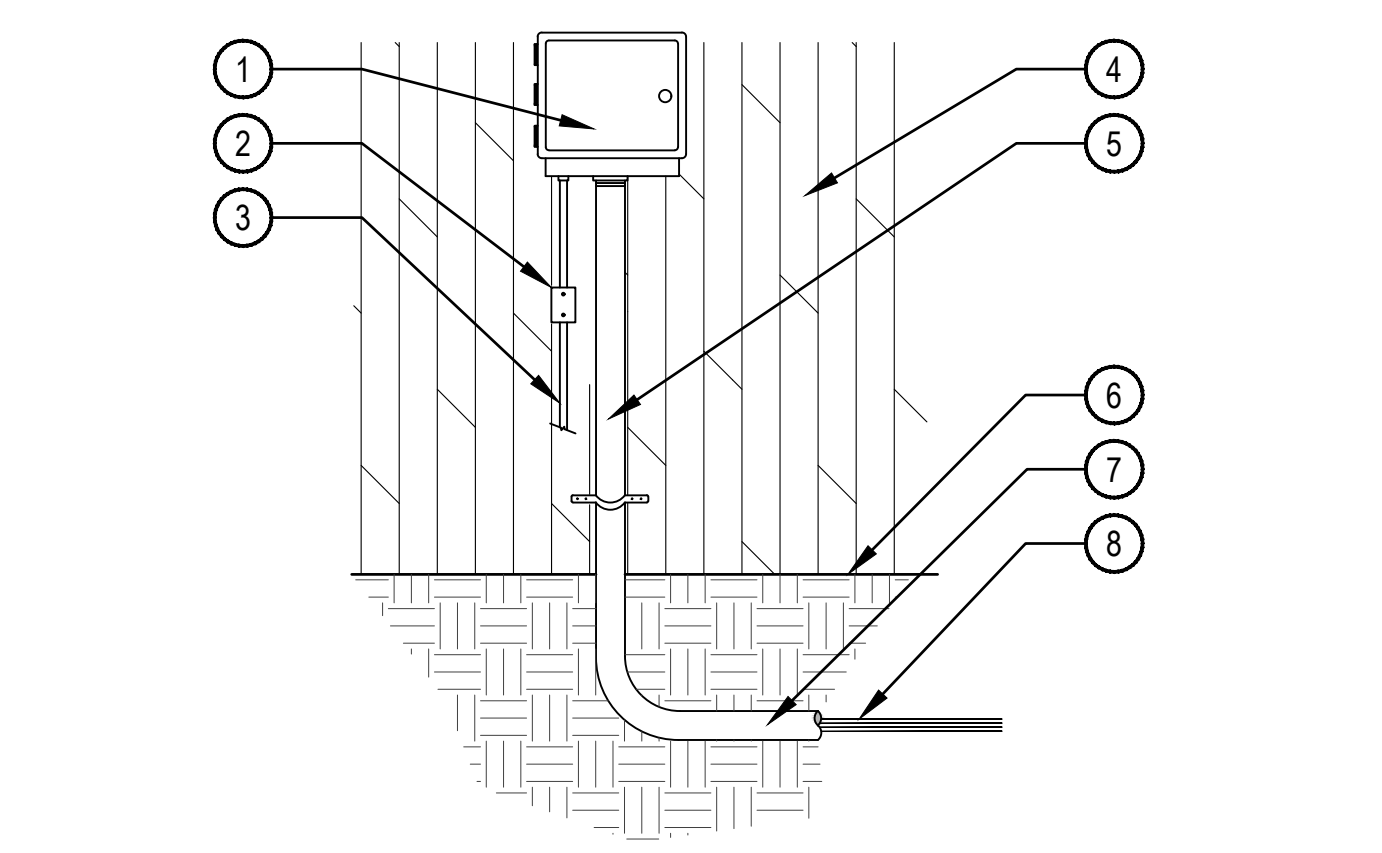


- ① WELDED BRACKETS - BOTH ENDS
- ② DRILL TWO 5/16" HOLES CENTERED FOR LOCKING BRACKET
- ③ FINISH GRADE

NOTE:
 1. INSTALL GUARDSHACK GS1 = 10" W x 24" H x 22" L LIFT-OFF UNIT 51 POWDER COATED STEEL GUARD SHACK PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 3. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005
 4. PROVIDE KEYPAD LOCK, MASTER LOCK MODEL #957 W/ (2) TWO KEYS FOR LOCKING SECURITY ENCLOSURE.

2 GUARDSHACK LIFT-OFF BACKFLOW ENCLOSURE

SCALE: NTS

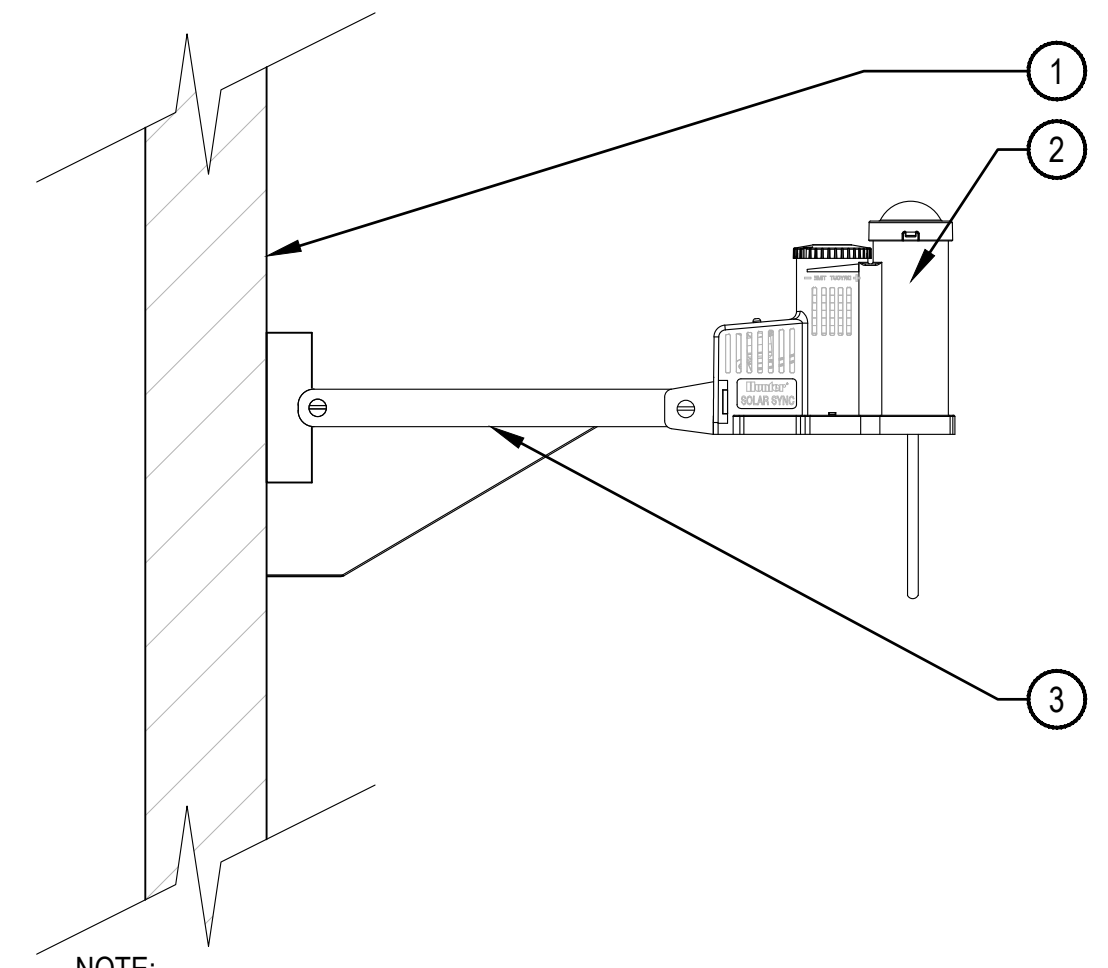


- ① CONTROLLER MOUNT AT EYE-LEVEL PER MANUFACTURER'S RECOMMENDATIONS
- ② DISCONNECT SWITCH
- ③ 120 POWER SOURCE IN STEEL CONDUIT
- ④ BUILDING EXTERIOR WALL
- ⑤ RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES
- ⑥ FINISH GRADE
- ⑦ CONDUIT TO EXTEND 5 FT. BEYOND WALL
- ⑧ UF DIRECT BURIAL WIRE TO REMOTE CONTROL VALVES.

NOTE:
 1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 3. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 4. PROVIDE LOCK FOR ENCLOSURE.

3 WALL MOUNT IRRIGATION CONTROLLER

SCALE: NTS

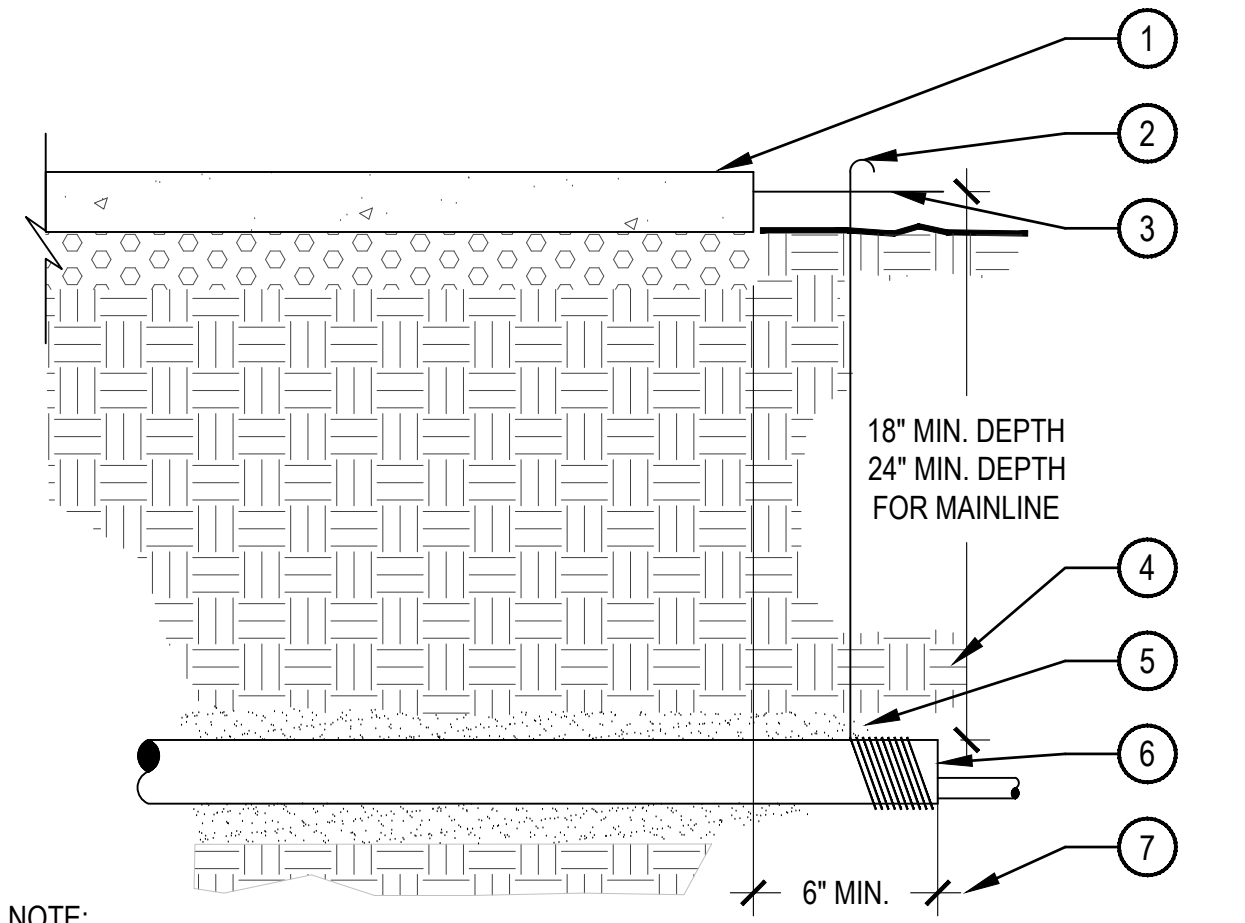


- ① SUITABLE FASCIA, WALL, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN, IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
- ② SENSOR 200' MAX. FROM CONTROLLER
- ③ MOUNTING BRACKET PER MANUFACTURER

NOTE:
 1. INSTALL SENSOR PER MANUFACTURER'S SPECIFICATIONS.
 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE DETERMINED BY OWNER.

4 RAIN/FREEZE SENSOR-WIRELESS

SCALE: NTS

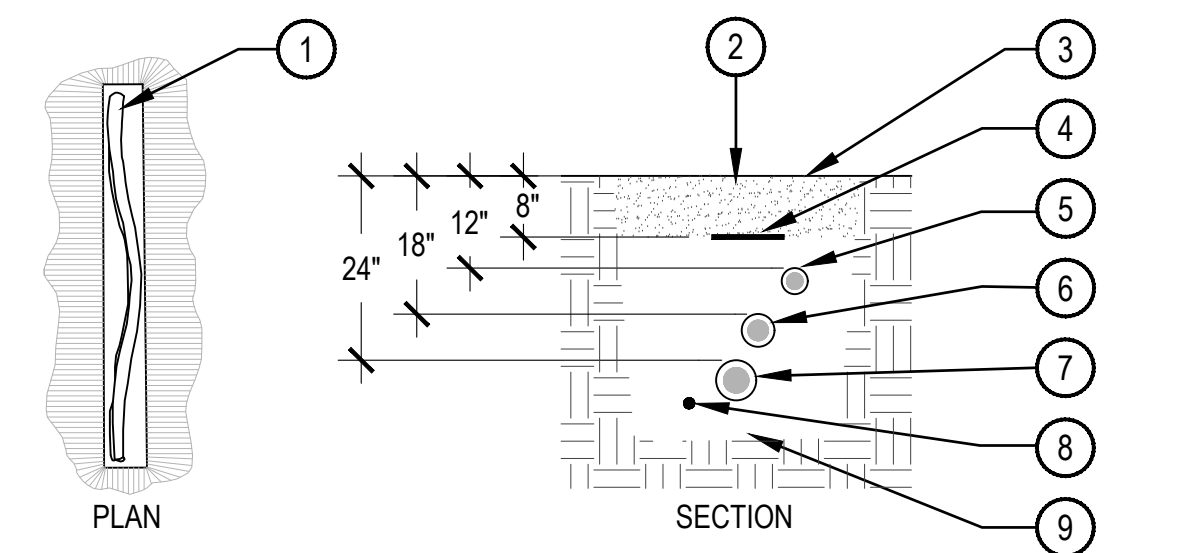


- ① PAVING
- ② WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE.
- ③ FINISH GRADE / TOP OF DG.
- ④ COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- ⑤ WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- ⑥ PVC SLEEVE PER SCHEDULE. TWICE DIAMETER OF THE SUM OF THE PIPES/WIRES
- ⑦ EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

NOTE:
 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
 2. CAP SLEEVES UNTIL USE.
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

5 IRRIGATION SLEEVE

SCALE: NTS

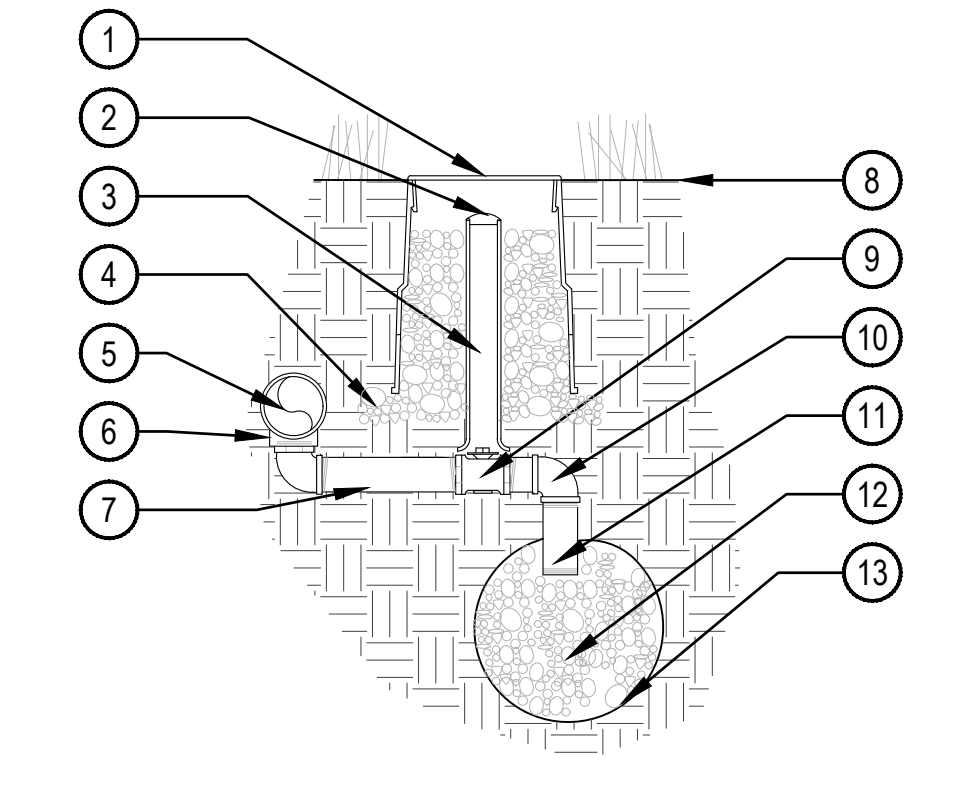


- ① SNAKE PVC OR POLYETHYLENE PIPE IN TRENCH
- ② EXCAVATED COVER MATERIAL (SEE NOTES)
- ③ FINISH GRADE
- ④ INDICATOR TAPE (MAIN LINE)
- ⑤ POLYETHYLENE DRIP LATERAL (12" MIN. COVERAGE, 18" MIN. COVERAGE BELOW PEDESTRIAN WALKS.)
- ⑥ IRRIGATION SUB-MAIN LATERAL
- ⑦ IRRIGATION MAINLINE
- ⑧ VALVE WIRING
- ⑨ BEDDING MATERIAL (SEE NOTES)

NOTE:
 1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS
 6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WEIR WITHIN TRENCH.
 8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

6 IRRIGATION TRENCH

SCALE: NTS

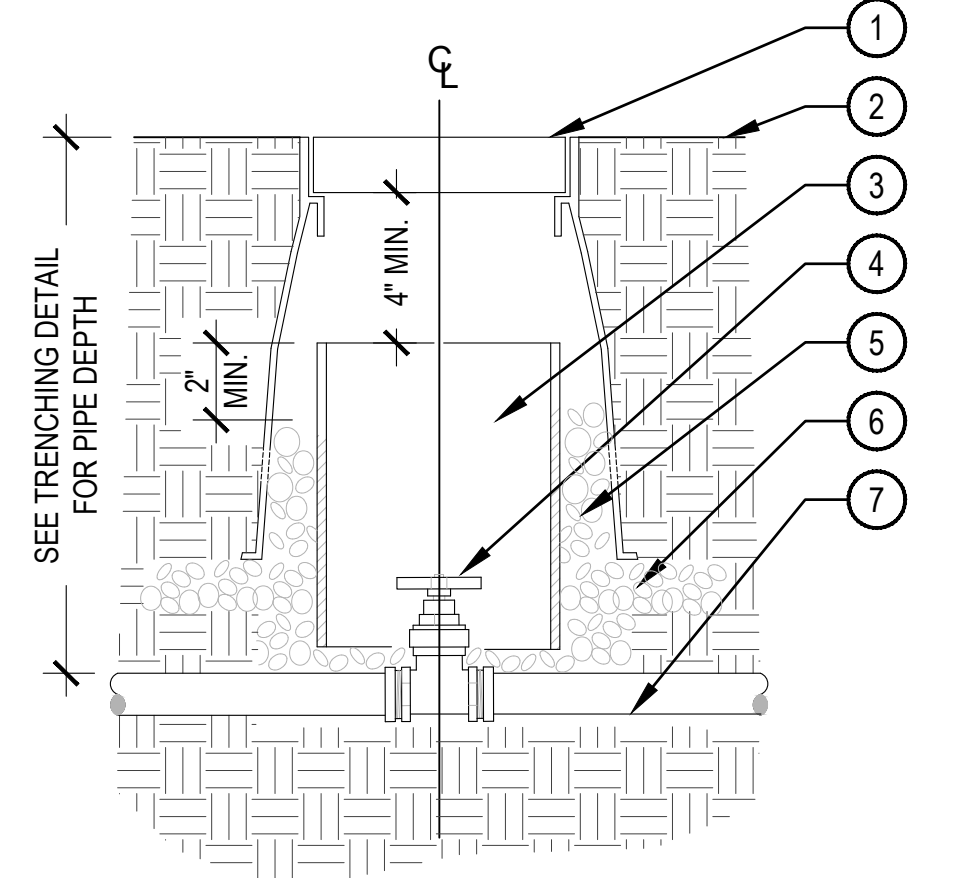


- ① 10" LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE.
- ② 2" VALVE MARKER
- ③ 2" CL 160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- ④ 3" DEPTH 3/4" CRUSHED GRAVEL 6" BEYOND EDGE OF BOX
- ⑤ PVC PRESSURE MAIN LINE
- ⑥ SCH. 80 TEE PER MAINLINE SIZE. ALIGN IN A DOWNWARD POSITION
- ⑦ SCH. 80 PVC NIPPLE
- ⑧ FINISH GRADE
- ⑨ 1" BRONZE STOP VALVE WITH SLOTTED KEY OPERATOR
- ⑩ SCH. 80 PVC ELL
- ⑪ SCH. 80 PVC NIPPLE
- ⑫ 3/4" GRAVEL SUMP - 1 CU. FT. MIN
- ⑬ SOIL BLANKET ENCLOSING SUMP AMOCO ENG. FABRIC 4545 - 4.5 OZ. OR EQUAL

NOTE:
 1. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 2. LOCATE DRAIN VALVE AT POINT OF CONNECTION AND AT ALL LOW POINT(S) ALONG THE IRRIGATION MAINLINE AS NEEDED.

7 MANUAL DRAIN VALVE

SCALE: NTS

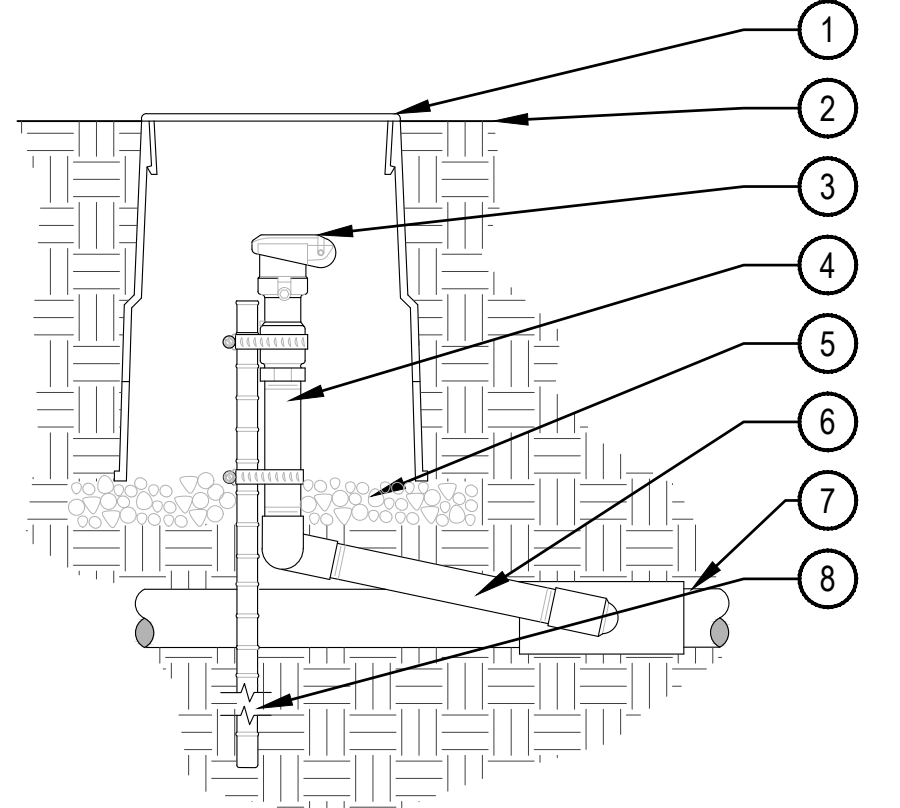


- ① LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- ② FINISH GRADE
- ③ 2" CL 160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- ④ GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- ⑤ 3/4" GRAVEL SUMP FILL IN AND AROUND BOX AS REQUIRED.
- ⑥ 3" DEPTH 3/4" GRAVEL EXTEND 6" BEYOND EDGE OF BOX
- ⑦ PVC MAINLINE AS PER PLAN

NOTE:
 1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
 3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

8 GATE VALVE 3" & SMALLER

SCALE: NTS



- ① 6" ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO FLUSH WITH FINISH GRADE
- ② FINISH GRADE
- ③ QUICK COUPLING VALVE W/ LOCKING COVER PER SCHEDULE
- ④ SCH. 80 NIPPLE
- ⑤ 3" DEPTH 3/4" GRAVEL BASE EXTEND 6" BEYOND EDGE OF BOX
- ⑥ 1" PVC SWING JOINT
- ⑦ PVC MAINLINE
- ⑧ 24" #4 REBAR TO HOLD COUPLER IN PLACE W/ (2) STAINLESS STEEL CLAMPS

NOTE:
 1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX
 2. PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE.
 3. QUICK COUPLER SHALL HAVE YELLOW LOCKING RUBBER COVER
 4. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 5. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

9 QUICK COUPLER

SCALE: NTS

CHECKED BY: SM
 DRAWN BY: WW

TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

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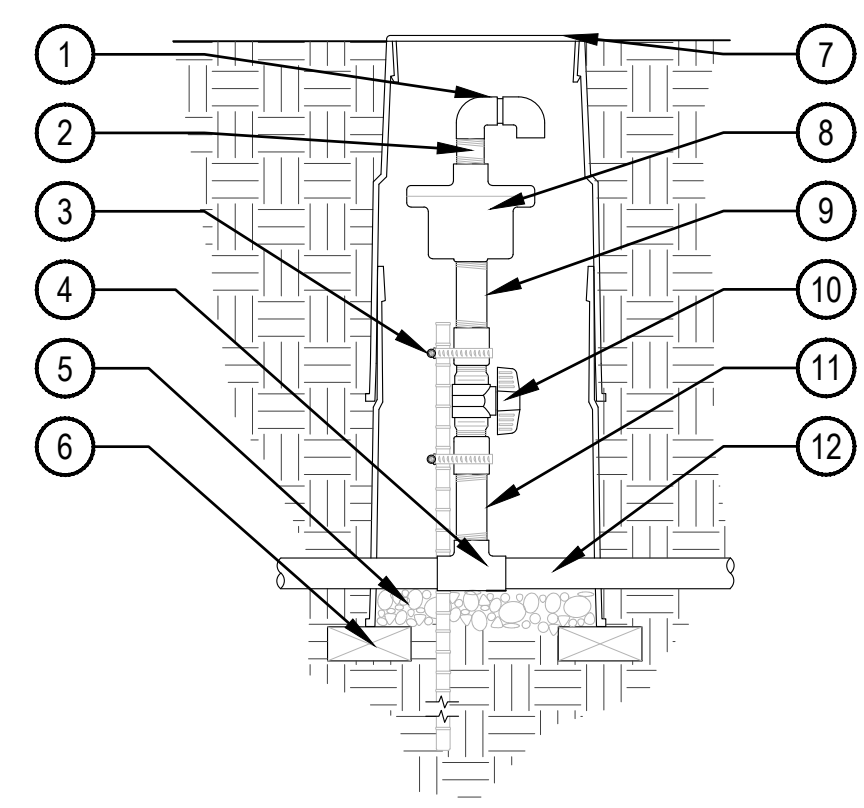
DATE:
 (SIP 01) 01/10/2020
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SHEET TITLE:
 IRRIGATION
 DETAILS

TALL TALES RANCH

**A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO**

4.01 ACRES
 SP20-02

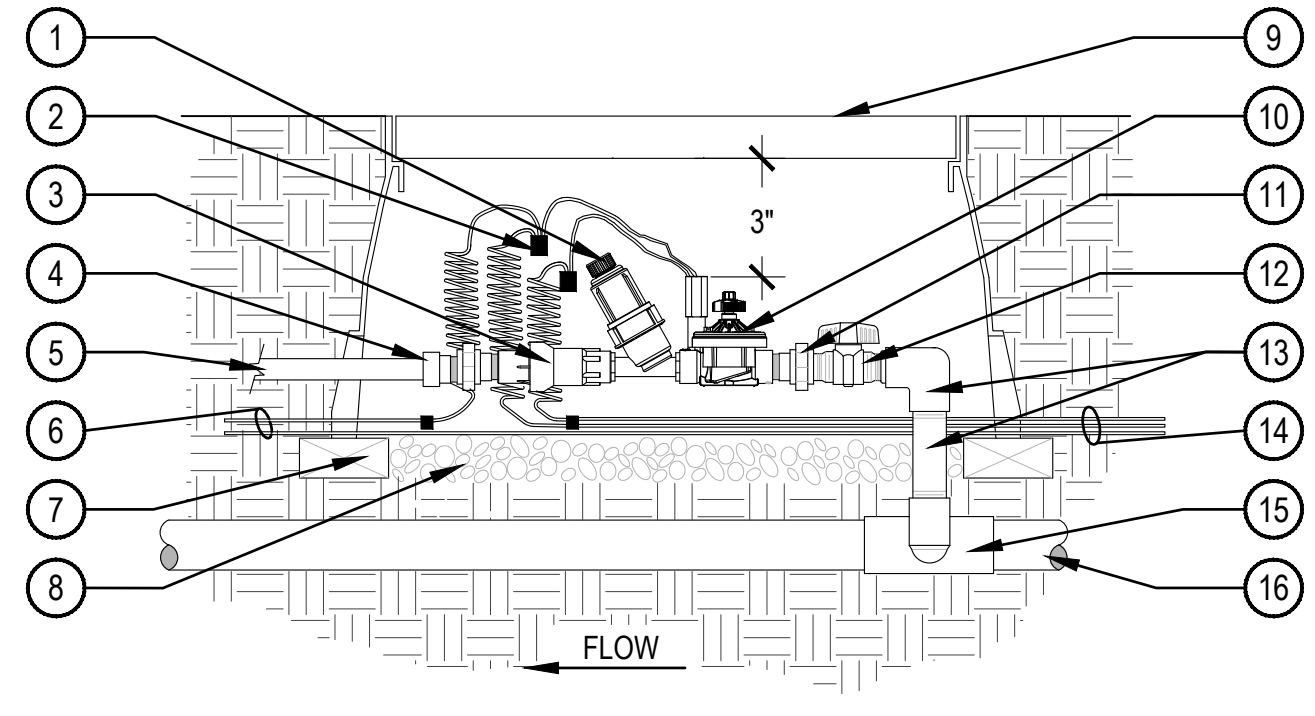


- ① (2) SCH 40 ELL
- ② SCH 80 NIPPLE
- ③ 24" #4 REBAR TO HOLD EQUIPMENT IN PLACE W/ (2) STAINLESS STEEL CLAMPS
- ④ SCH 80 PVC SxSxT TEE
- ⑤ 3/4" GRAVEL SUMP - 4" DEPTH WITH GEOTECH FABRIC
- ⑥ PVC MAIN LINE
- ⑦ TWO STACKED 10" LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE.
- ⑧ AIR AND VACUUM VALVE PER SCHEDULE. SIZE PER MAIN LINE OR MANUFACTURER'S REC.
- ⑨ SCH 80 PVC NIPPLE
- ⑩ SCH 80 PVC BALL VALVE
- ⑪ SCH 80 PVC NIPPLE
- ⑫ PVC MAIN LINE

NOTES:
 1. INSTALL PER MANUFACTURER'S SPECIFICATIONS
 2. LOCATE VALVE AT HIGH POINTS ALONG THE IRRIGATION MAINLINE AS NEEDED.

1 AIR AND VACUUM VALVE

SCALE: NTS

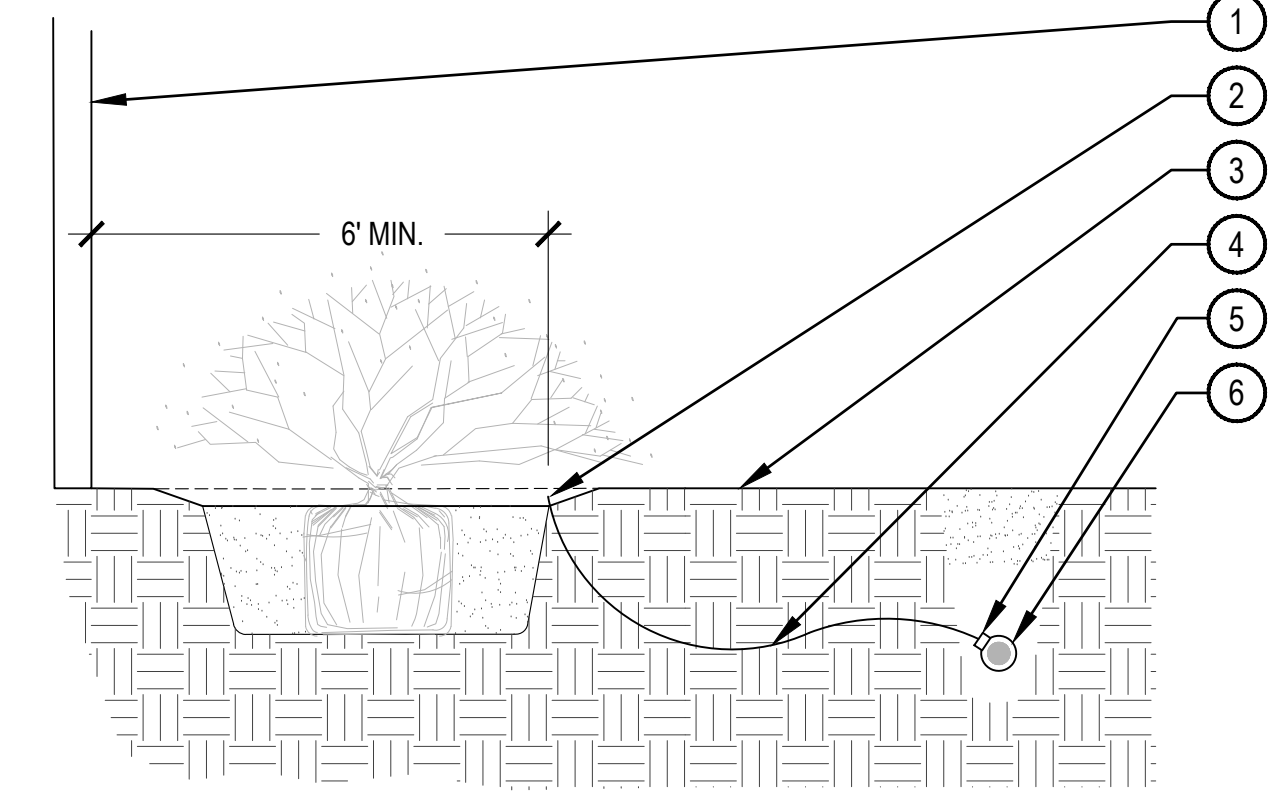


- ① WYE FILTER PER SCHEDULE
- ② WATERPROOF CONNECTORS
- ③ PRESSURE REGULATOR PER SCH.
- ④ PVC TO POLY ADAPTER
- ⑤ 3/4" POLY DRIP LATERAL
- ⑥ COMMON AND CONTROL WIRE TO NEXT VALVE(S)
- ⑦ BRICK SUPPORTS 4 MIN.
- ⑧ 3/4" GRAVEL SUMP, 4" DEPTH
- ⑨ PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- ⑩ CONTROL VALVE
- ⑪ SCH. 80 PVC UNION (TYP.) OF 2
- ⑫ PVC BALL VALVE PER SCHEDULE
- ⑬ SCH. 80 ELL AND NIPPLE
- ⑭ WIRES FROM CONTROLLER
- ⑮ SCH. 80 PVC TEE
- ⑯ PVC MAINLINE

NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

4 DRIP VALVE ASSEMBLY

SCALE: NTS

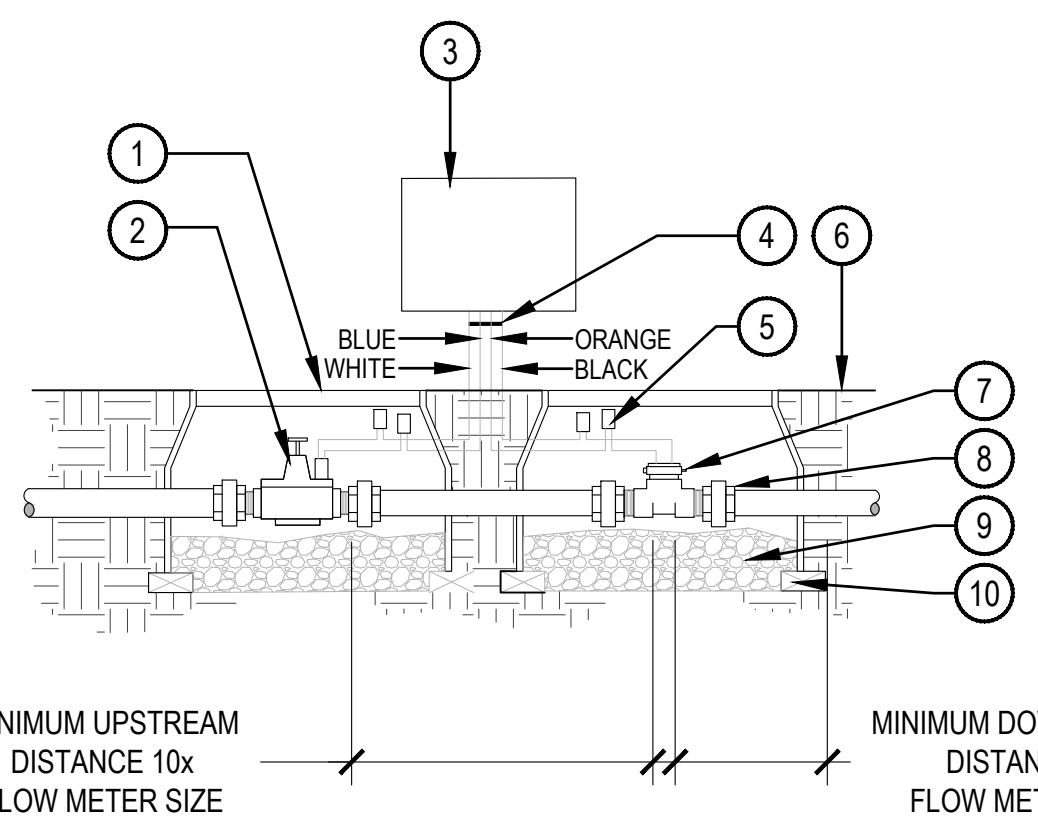


- ① EXTERIOR OF BUILDING
- ② EMISSION POINT, DIFFUSER CAP W/ DRIP STAKE (TYP.)
- ③ FINISH GRADE
- ④ 1/4" DISTRIBUTION TUBING
- ⑤ EMITTER PER SCHEDULE
- ⑥ POLYETHYLENE LATERAL

NOTE:
 1. ALL IRRIGATION TO BE A MINIMUM OF 6' FROM BUILDING, OR PER GEOTECH REPORT, WHICHEVER IS GREATER.

7 EMITTER PLACEMENT NEAR BUILDING

SCALE: NTS

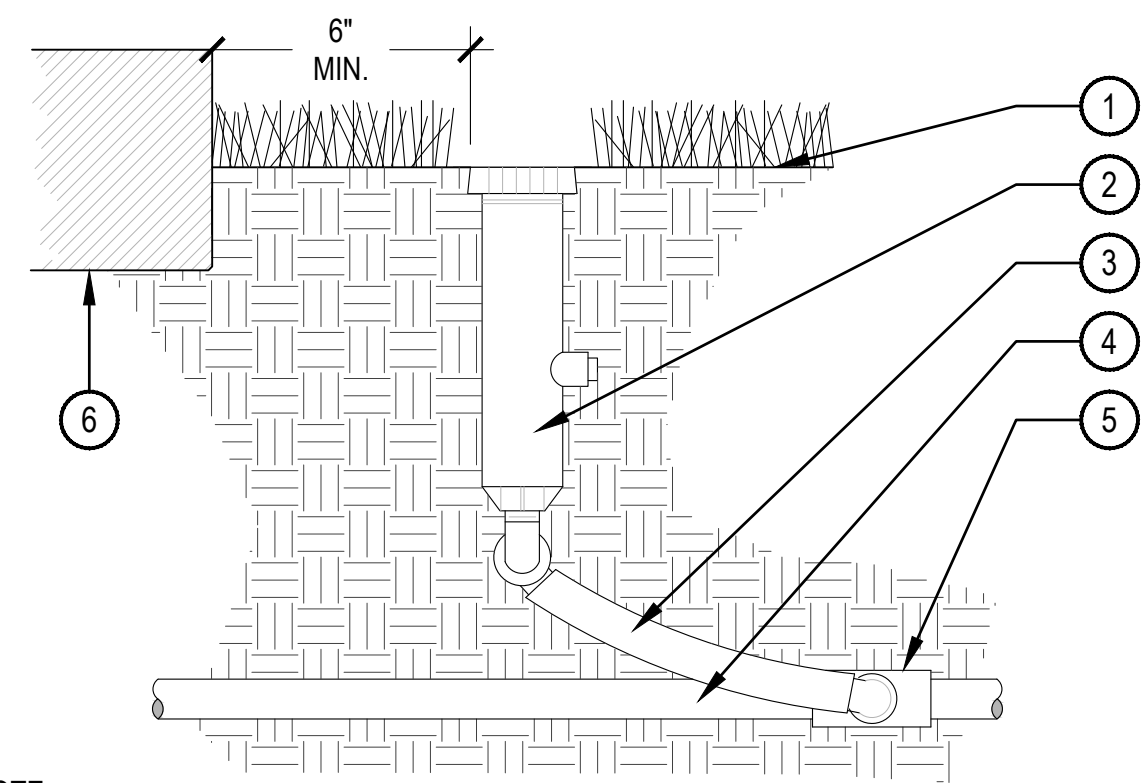


- ① PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- ② MASTER VALVE PER SCHEDULE
- ③ CONTROLLER
- ④ WIRE HARNESS PER MANUFACTURER SPECIFICATION
- ⑤ WATERPROOF ELECTRICAL CONNECTIONS, PER MANUFACTURER SPECIFICATION
- ⑥ FINISH GRADE
- ⑦ FLOW METER PER SCHEDULE
- ⑧ SCH. 80 UNION (TYP)
- ⑨ 3/4" GRAVEL SUMP 8" DEPTH
- ⑩ BRICK SUPPORTS 2 MIN.

NOTE:
 1. INSTALL ICD SENSOR AND ICD DECODERS PER HUNTER'S SPECIFICATIONS FOR WIRING AND GROUNDING. REFER TO DETAIL X OF THIS SHEET

2 MASTER VALVE / FLOW SENSOR INSTALLATION

SCALE: NTS

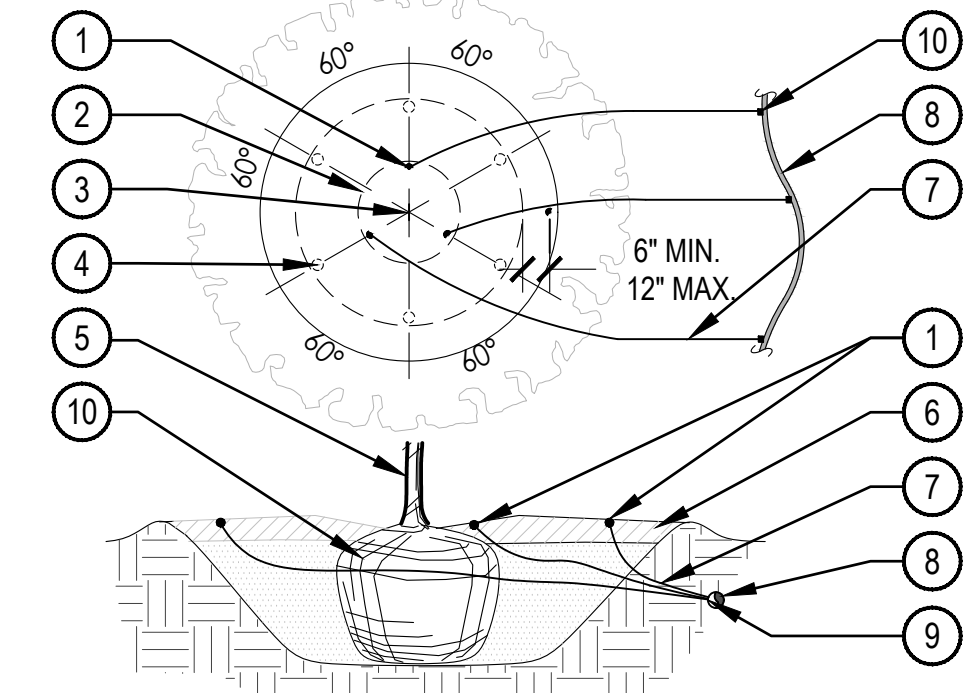


- ① FINISH GRADE
- ② POP-UP SPRAY SPRINKLER PER SCHEDULE
- ③ FLEXIBLE SWING JOINT - 18" MAX
- ④ PVC LATERAL PIPE
- ⑤ PVC SCH. 40 TEE OR ELL, THREADED
- ⑥ EDGE OF PAVING OR HEADER

NOTE:
 1. AFTER FLUSHING HEADS, REGRADE AND COMPACT AS NEEDED TO RETURN TO FINISH GRADE.
 2. SPRINKLERS SHALL BE MIN. 6" FROM ANY WALLS, WALKS, COURTS, AND 12" FROM TURF EDGE.
 3. ADJUST ALL SPRINKLER HEADS SO THAT NO OVERSPRAY OCCURS ON ANY WALLS, WALKS, COURTS, ETC.
 4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 5. COMPACT SOIL AROUND HEAD TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.

5 POP-UP SPRAY ASSEMBLY

SCALE: NTS

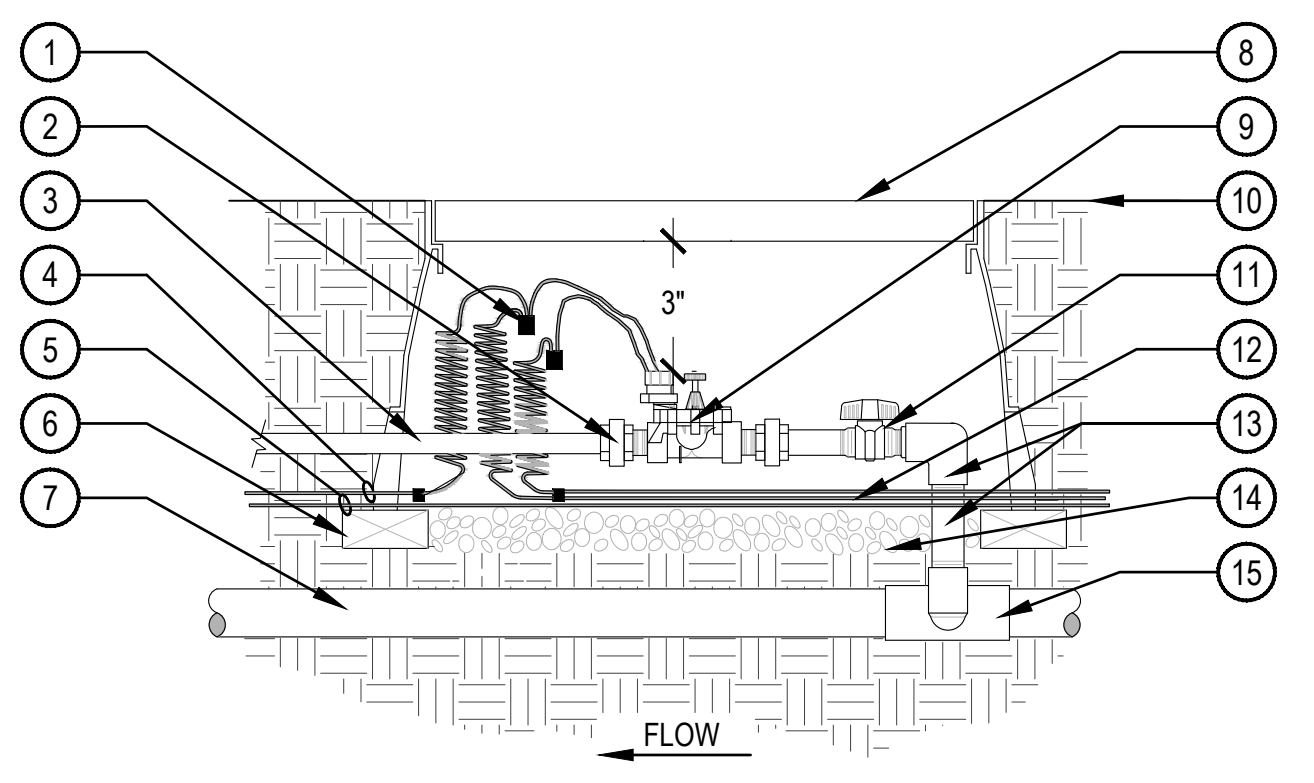


- ① EMISSION POINT, DIFFUSER CAP W/ DRIP STAKE (TYP.)
- ② PLANT ROOT BALL (TYP.)
- ③ PLANT CENTER (TYP.)
- ④ SECOND EMISSION POINTS SEE NOTE 3 BELOW
- ⑤ TREE TRUNK
- ⑥ MULCH LAYER
- ⑦ 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')
- ⑧ 3/4" POLYETHYLENE DRIP TUBING
- ⑨ SINGLE OUTLET EMITTER
- ⑩ ROOTBALL

NOTE:
 1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8'.
 2. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
 3. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT.
 4. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

8 TREE EMITTER PLACEMENT

SCALE: NTS

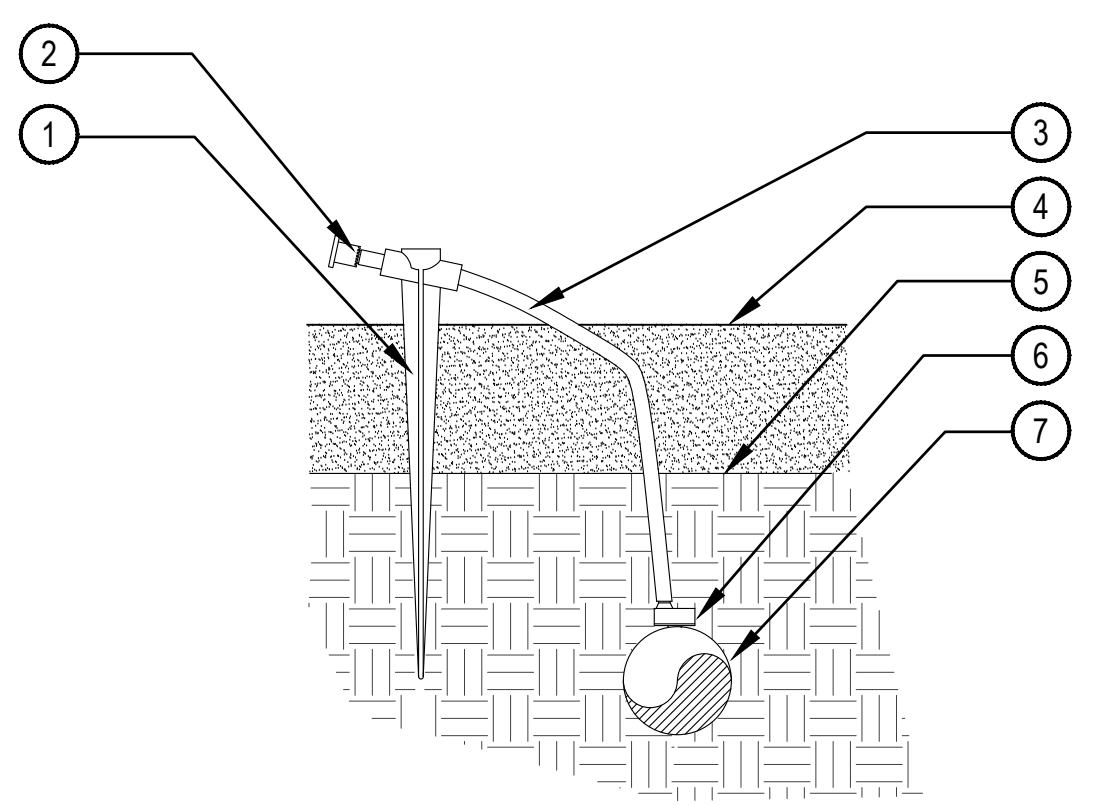


- ① WATERPROOF CONNECTORS
- ② SCH. 80 PVC UNION (TYP) OF 2
- ③ POLYETHYLENE LATERAL
- ④ COMMON WIRE TO NEXT VALVE(S)
- ⑤ CONTROL WIRE TO NEXT VALVE(S)
- ⑥ BRICK SUPPORTS 4 MIN.
- ⑦ PVC MAINLINE
- ⑧ PLASTIC LOCKING VALVE BOX PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- ⑨ VALVE ASSEMBLY
- ⑩ FINISH GRADE
- ⑪ PVC BALL VALVE PER SCHEDULE
- ⑫ WIRES FROM CONTROLLER
- ⑬ SCH. 80 ELL AND NIPPLE
- ⑭ 3/4" GRAVEL SUMP, 4" DEPTH
- ⑮ SCH. 80 TEE

NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

3 TURF VALVE ASSEMBLY

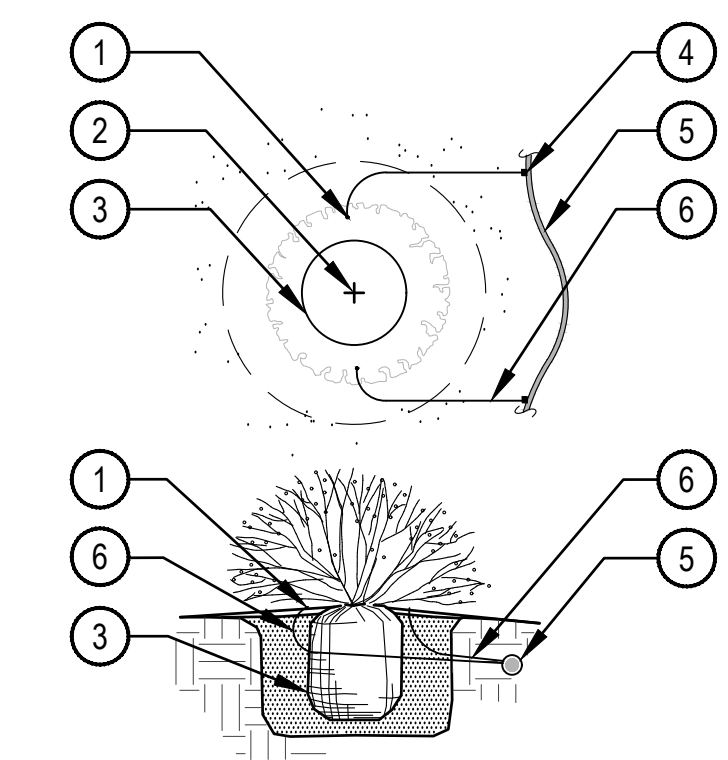
SCALE: NTS



- ① UNIVERSAL 1/4" TUBING STAKE
- ② DBC-25 DIFFUSER CAP
- ③ 1/4" DISTRIBUTION TUBING: LENGTH NOT TO EXCEED 8'
- ④ TOP OF MULCH
- ⑤ FINISH GRADE
- ⑥ PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE
- ⑦ 3/4" POLYETHYLENE TUBING DEPTH PER DETAIL

6 SINGLE OUTLET EMITTER

SCALE: NTS



- ① DIFFUSER CAP W/ DRIP STAKE
- ② PLANT CENTER
- ③ PLANT ROOTBALL
- ④ SINGLE OUTLET EMITTER
- ⑤ 3/4" POLYETHYLENE DRIP TUBING
- ⑥ 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')

NOTE:
 1. EMITTERS SHALL BE EQUALLY SPACED AROUND ROOTBALL.
 2. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
 3. IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL EMITTERS ON THE UPHILL SIDE OF PLANT.
 4. EMITTERS SHALL BE SELF-FLUSHING PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE.
 5. CONTRACTOR SHALL ENSURE HYDROZONES ARE VALVED SEPARATELY AS SHOWN ON PLAN.

9 SINGLE OUTLET EMITTER PLACEMENT

SCALE: NTS

TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

OWNER:
 TALL TALES RANCH
 SUSAN MOONEY
 6311 SOUTH GRANT DRIVE
 CENTENNIAL, CO 80121
 303.806.9140

DATE:
 (SIP 01) 01/10/2020
 (SIP 02) 04/05/2020

SHEET TITLE:
 IRRIGATION
 DETAILS

TALL TALES RANCH

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 6 SOUTH, RANGE 67
 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LONE TREE, COUNTY OF DOUGLAS, STATE OF COLORADO
 4.01 ACRES
 SP20-02

ParkerWater & SANITATION DISTRICT
 Landscape/Irrigation Worksheet
 Project Name: Tall Tales Ranch

Landscape/Irrigation Tap address (physical location of tap) POC #1

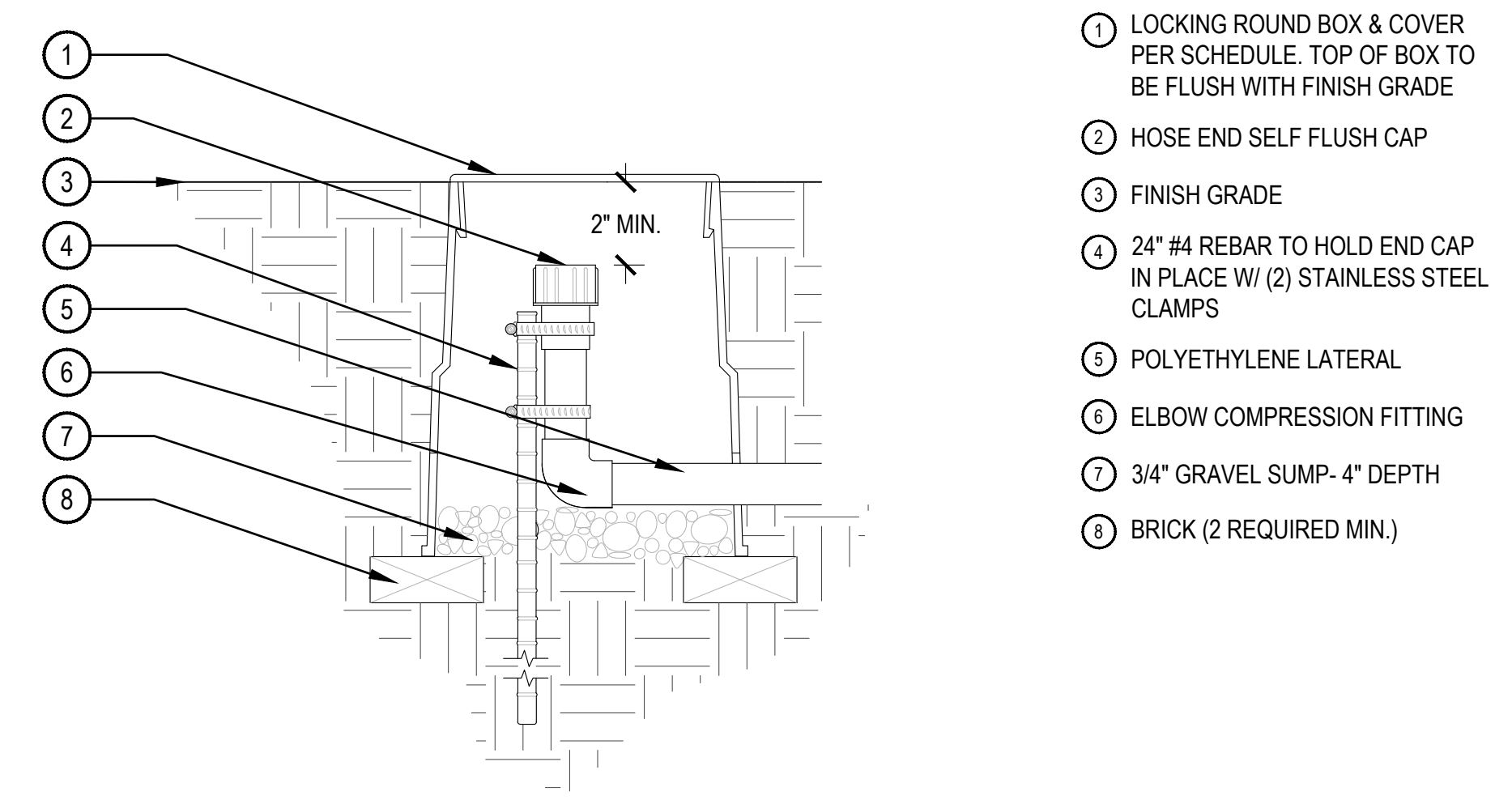
Landscape Area	High Water TURF (6,000sf = 1 SFE)	Low Water Native Grass and Spray Shrubs & Perennials (10,000sf = 1 SFE)	Drip Irrigated area (20,000sf = 1 SFE)	Non-Irrigated area	Sub-Total of (calculated) Areas	PWSD one SFE per 6000	SFE Requirement (Sub-Total Calculation divided by 6000 = requirement)
Area #1	9,290sf x 1 = 9,290	8,522 sf x .6 = 5,133	22,769 sf x .3 = 6,831	sf x 0 = 0	21,254 sf	6,000	3.54 SFE's

Worksheet Completed by: Jeff Dilts
 Company: Norris Design
 Address: 418 N. Toole Ave., Tucson, AZ 85701
 Phone #: 520-622-9565

Owner/Developer: Tall Tales Ranch
 Attn: Susan Mooney
 Billing Address: 6311 South Grant Drive, Centennial, CO 80121
 Phone #: 303-806-9140

ET Controller (with Rain Sensor)
 Manufacturer: Hunter ACC2
 Model number: A2C-1200M; Module A2M-600

Tap Size Requirements:
 0 - 1 SFE's requires a 3/4-inch tap
 1.1 - 2.0 SFE's requires a 1-inch tap
 2.1 - 4.0 SFE's requires a 1 1/2-inch tap
 4.1 - 7.0 SFE's requires a 2-inch tap
 7.1 - 16.0 SFE's requires a 3-inch tap



NOTE:
 1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. SECURE STAKE TO FLUSH END CAP WITH A MIN. OF TWO S.S. CLAMPS.

1 DRIP FLUSH END CAP SCALE: NTS

ParkerWater & SANITATION DISTRICT
 Landscape/Irrigation Worksheet
 Project Name: Tall Tales Ranch

Landscape/Irrigation Tap address (physical location of tap) POC #2

Landscape Area	High Water TURF (6,000sf = 1 SFE)	Low Water Native Grass and Spray Shrubs & Perennials (10,000sf = 1 SFE)	Drip Irrigated area (20,000sf = 1 SFE)	Non-Irrigated area	Sub-Total of (calculated) Areas	PWSD one SFE per 6000	SFE Requirement (Sub-Total Calculation divided by 6000 = requirement)
Area #1	0 sf x 1 = 0	5,416 sf x .6 = 3,250	19,005 sf x .3 = 5,702	sf x 0 = 0	8,952 sf	6,000	1.49 SFE's

Worksheet Completed by: Jeff Dilts
 Company: Norris Design
 Address: 418 N. Toole Ave., Tucson, AZ 85701
 Phone #: 520-622-9565

Owner/Developer: Tall Tales Ranch
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TALL TALES RANCH
 SITE IMPROVEMENT PLAN
 LONE TREE, COLORADO
 CITY OF LONE TREE

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